



PUBLIC NOTICE

IN ACCORDANCE WITH THE APPLICABLE STATUTES OF THE STATE OF ILLINOIS AND ORDINANCES OF THE CITY OF PROSPECT HEIGHTS, NOTICE IS HEREBY GIVEN THAT

THE REGULAR WORKSHOP MEETING
OF THE MAYOR AND CITY COUNCIL OF THE CITY OF PROSPECT HEIGHTS
WILL BE HELD ON MONDAY, DECEMBER 14, 2015 AT 6:30 P.M.

**IN THE COUNCIL CHAMBERS, PROSPECT HEIGHTS CITY HALL,
8 NORTH ELMHURST ROAD, PROSPECT HEIGHTS, ILLINOIS
MAYOR NICHOLAS J. HELMER PRESIDING**

**DURING WHICH MEETING IT IS ANTICIPATED THERE WILL BE DISCUSSION AND
CONSIDERATION OF AND, IF SO DETERMINED, ACTION UPON
THE MATTERS CONTAINED IN THE FOLLOWING:**

- 1. CALL TO ORDER**
- 2. PLEDGE OF ALLEGIANCE** – Led by Asst. to the Administrator Peter Falcone
- 3. INVOCATION** – None
- 4. ROLL CALL FOR QUORUM**
- 5. APPROVAL OF MINUTES**
 - A.** November 23, 2015 City Council Regular Meeting Minutes
 - B.** November 23, 2015 Proposed Property Tax Levy Public Hearing Minutes
- 6. PROCLAMATIONS, CONGRATULATORY RESOLUTIONS AND AWARDS**
 - A.** Oath of Office for Police Officer Michael Coglianese.
 - B.** Presentation by State Representative David Harris Honoring Prospect Heights Police Officer of the Year, Sergeant Jim Zawlocki.

**This meeting will be televised on the following Prospect Heights cable channels:
Comcast and WOW Channel 17 and AT&T U-verse Channel 99**

C. Presentation Honoring Kathy Nowicki, Executive Director, Prospect Heights Park District.

D. Proclamation Honoring Police Chief Jamie Dunne.

7. APPOINTMENTS AND CONFIRMATIONS

A. Appointment of John Kamysz, MD to the Natural Resources Commission

B. Appointment of Danielle Dash as Chairperson of the Plan/Zoning Board of Appeals.

8. CITIZEN CONCERNS AND COMMENTS (agenda matters)

9. STAFF AND ELECTED OFFICIALS REPORTS

Mayor Helmer – Invitation to Participate in Heartland Blood Centers 12 Days of Giving Event at Woodfield Mall, Door 6, December 18th to December 31st.

10. CONSENT AGENDA - All items listed on the Consent Agenda are considered to be routine by the City Council and will be enacted by one motion. There will be no separate discussion of these items unless a Council member or citizen so requests, in which event the item will be removed from the general order of business and considered after all other Agenda items.

A. An Ordinance for the Levy and Assessment of 2015 Taxes for the Fiscal Year Beginning May 1, 2015 and ending April 30, 2016 in and for the City of Prospect Heights Police Pension Fund. (Second Reading)

B. An Ordinance for the Levy and Assessment of 2015 Taxes for the Fiscal Year Beginning May 1, 2015 and ending April 30, 2016 in and for the City of Prospect Heights Special Service Area Number One. (Second Reading)

C. An Ordinance for the Levy and Assessment of 2015 Taxes for the Fiscal Year Beginning May 1, 2015 and ending April 30, 2016 in and for the City of Prospect Heights Special Service Area Number Two. (Second Reading)

D. An Ordinance for the Levy and Assessment of 2015 Taxes for the Fiscal Year Beginning May 1, 2015 and ending April 30, 2016 in and for the City of Prospect Heights Special Service Area Number Three. (Second Reading)

E. An Ordinance for the Levy and Assessment of 2015 Taxes for the Fiscal Year Beginning May 1, 2015 and ending April 30, 2016 in and for the City of Prospect Heights Special Service Area Number Four. (Second Reading)

F. An Ordinance for the Levy and Assessment of 2015 Taxes for the Fiscal Year Beginning May 1, 2015 and ending April 30, 2016 in and for the City of Prospect Heights Special Service Area Number Five. (Second Reading)

G. An Ordinance for the Levy and Assessment of 2015 Taxes for the Fiscal Year Beginning May 1, 2015 and ending April 30, 2016 in and for the City of Prospect Heights Special Service Area Number Eight. (Second Reading)

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H. An Ordinance Authorizing an Amended and Restated Dedication Agreement Between Rob Roy Country Club Village Association and the City of Prospect Heights. (Second Reading)

I. Approval of the City Council Meeting Calendar for 2016.

11. OLD BUSINESS

A. A Resolution in Support of a Class 7B Real Estate Tax Assessment Classification for a New Commercial Development in the City of Prospect Heights, Cook County, Illinois.

12. NEW BUSINESS

A. Request from Laredo Hospitality Ventures for Liquor License at Stella's Place, 1201A N. Elmhurst Road.

B. Request from the Natural Resources Commission to Hire Summer Natural Resources Management Intern to be paid for by a Donation from an Anonymous Donor.

C. Consideration of 2016/2017 Vehicle Sticker Fees.

D. A Resolution to Purchase Caterpillar Model 926M Small Wheel Loader for \$149,000.

E. An Ordinance Requesting the Declaration of Designated Items (Wheel Loader) as Surplus Property. (First Reading; Request to Waive Second Reading)

F. An Ordinance Approving a Subdivision and Granting a Special Use and Variations for 215 South Elmhurst Road. (First Reading)

G. A Resolution and Agreement for Health Inspector Services.

H. Resolution and Recommendation for Concrete Work for the Police Range.

I. Discussion of City Regulation of Video Gaming Facilities. (Workshop Item)

J. Consideration of Community Holiday Outreach Program. (Workshop Item)

13. APPROVAL OF WARRANTS

A. Approval of Expenditures

General Fund	\$83,018.75
MFT Fund	\$3,503.15
Palatine/Milwaukee TIF	\$336.00
Tourism District	\$1,300.00
Development Fund	\$147.00

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DEA Fund	\$171.46
Solid Waste Fund	\$1,205.00
SS Area #1	\$0.00
SS Area #2	\$0.00
SS Area #3	\$0.00
SS Area #4	\$0.00
SS Area #5	\$0.00
SS Area #8 – Levee Wall #37	\$0.00
SS Area-Constr #6 (Water Main)	\$0.00
SS Area- Debt #6	\$0.00
Road Construction	\$0.00
Road Construction Debt	\$0.00
Water Fund	\$4,898.10
Parking Fund	\$4,601.52
Sanitary Sewer Fund	\$1,433.00
Road/Building Bond Escrow	\$0.00
TOTAL	\$100,623.98
<u>Wire Payments</u>	
11/27/2015 PAYROLL POSTING	\$141,021.99
11/2015 IMRF	\$20,156.56
GENERAL OBLIGATION BOND, SERIES 2013	\$408,466.25
GENERAL OBLIGATION BOND, SERIES 2012	\$361,913.75
SSA#6 BONDS, SERIES 2009	\$174,876.25
GENERAL OBLIGATION BOND,	\$361,287.50

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SERIES 2011A

BANK OF AMERICA OBLIGATION #265	\$159,748.12
TIF ALLOCATION NOTES, SERIES 2004	\$453,424.23
DEBT CERTIFICATE SERIES 2010	\$63,755.00
TOTAL WARRANT	\$2,245,273.63

- 14. RESIDENT COMMENTS (non-agenda matters)**
- 15. EXECUTIVE SESSION**
- 16. ACTION ON EXECUTIVE SESSION ITEMS, IF REQUIRED**
- 17. ADJOURNMENT**

Posted: by Deputy Clerk Schultheis by 5 PM, December 11, 2015

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Comcast and WOW Channel 17 and AT&T U-verse Channel 99**



GA

OATH OF OFFICE

I, **MICHAEL COGLIANESE**, do solemnly swear that I will support and comply with the Constitution of the United States of America; the Constitution and Laws of the State of Illinois; the Charter, Laws, and Ordinances of the City of Prospect Heights; the Rules and Regulations of the Prospect Heights Police Department; and the Law Enforcement Code of Ethics; and that I will faithfully discharge the duties of my office as Prospect Heights Police Officer to the best of my ability.

Michael Coglianese (Signature)

Subscribed and sworn to before me
this 14th day of December, 2015.

City Clerk

**A PROCLAMATION IN HONOR OF THE OUTSTANDING SERVICE OF AN
ICONIC FIGURE IN THE CITY OF PROSPECT HEIGHTS - KATHY NOWICKI,
EXECUTIVE DIRECTOR OF THE PROSPECT HEIGHTS PARK DISTRICT**

WHEREAS, Kathy Nowicki, has been devoted to serving the City of Prospect Heights for thirty years in various capacities and combined service in the Prospect Heights Park District; and

WHEREAS, Kathy Nowicki, has worked in the Park District as a volunteer (1985-1995), as a PHPD elected Park Commissioner (April of 1995 to August of 2008), and most recently, the PHPD Executive Director (from August, 2002 until December, 2015); and

WHEREAS, Kathy Nowicki, has served the Park District and the City of Prospect Heights with genuine compassion and devotion, inspired creativity in handling the comprehensive nature of her position, and shown unrelenting dedication; and

WHEREAS, Kathy Nowicki, has always given extra time and effort to the City and to community events, such as the PHPD Summerfest Committee (1985-2002) and as an Event Volunteer (1992-2002) ; and

WHEREAS, Kathy Nowicki, has also played an integral role in other local memberships, in which she is still an active member/supporter such as The Prospect Heights Lions Club, Prospect Heights Garden Club, Mount Prospect/Prospect Heights Rotary Club, WHPH Chamber of Commerce (serving as a Director and Associate Director), PH Natural Resource Commission (Park District Liaison), and Link Together Coalition – supporting Drug and Alcohol Free Youth in Wheeling Township (as a member of the Leadership Team); and

WHEREAS, Kathy Nowicki, had been a resident of Prospect Heights for over twenty years; and

WHEREAS, Kathy Nowicki, is perceived by her peers, City residents, her coworkers and City Staff as respected, well-liked and endowed with an endless drive to enhance our community;

NOW, THEREFORE, BE IT RESOLVED, THAT I, Nicholas J. Helmer, Mayor of the City of Prospect Heights, Illinois acknowledge and commend the contributions that Kathy Nowicki has made to the Staff, Council, and citizens of Prospect Heights and the greater community as a whole, during his successful tenure of service to the Prospect Heights Park District and thank her for her committed service to the City of Prospect Heights.

DATED, this 14th day of December, 2015.

Mayor Nicholas J. Helmer

**A PROCLAMATION IN HONOR OF THE EXCEPTIONAL
PUBLIC SERVICE CONTRIBUTIONS BY JAMES
“JAMIE” DUNNE TO THE CITY OF PROSPECT HEIGHTS**

WHEREAS, Jamie Dunne, has been devoted to public service and the City of Prospect Heights since February 2011 and has been an inspirational and unflagging leader; and

WHEREAS, Jamie Dunne, guided the Prospect Heights Police Department through a period of organizational change, leading a department devastated by attrition and plagued by low morale to a department which is now a shining star amongst professional law enforcement organizations; and

WHEREAS, Jamie Dunne, also answered the call and has served the City of Prospect Heights as interim City Administrator and Public Works Director; and

WHEREAS, Jamie Dunne, is a dedicated, hardworking law enforcement professional who during his tenure as Chief, excelled in hiring, promoting and developing competent police personnel; and

WHEREAS, Jamie Dunne, played an integral role in the resurgence and reestablishment of a professional culture in not just the police department but throughout the offices of the City of Prospect Heights; and

WHEREAS, as a result of the Police Department's work with the community and its focus Community Oriented Policing and quality of life issues, the City of Prospect Heights has seen a significant decrease in both serious and nuisance crimes; and

WHEREAS, Jamie Dunne, has had the opportunity to serve and support the City Council and the Mayor; and

WHEREAS, the City of Prospect Heights wishes to honor **Jamie Dunne** for his remarkable contributions to the community and his Staff, and thank him for his dedication to the City of Prospect Heights.

NOW, THEREFORE, BE IT RESOLVED, THAT I, Nicholas J. Helmer, Mayor of the City of Prospect Heights, Illinois acknowledge and commend the contributions that Jamie Dunne has made to the Staff, Council, and citizens of Prospect Heights and the greater community as a whole, during his successful tenure of service to the City as Police Chief of the City of Prospect Heights and thank him for his committed service to the community.

DATED, this 14th day of December, 2015.

Nicholas J. Helmer, Mayor

7A



Prospect Heights Natural Resources Commission
December 3, 2015

Dear Mayor Helmer and Members of the City Council,

This is to formally request the appointment of Dr. John Kamysz to the position of Commissioner to the Prospect Heights Natural Resources Commission.

John has been volunteering with PHNRC for over five months now and in that time has proven that he would be a very valuable asset to the commission.

A Radiologist by profession, John has a degree in Biology and a great understanding and love of the natural world. As a resident of Prospect Heights and more importantly with a home on Hillcrest Lake, he would provide lake resident representation on the Commission.

As you know we are currently down two board members from our roster of seven. We have voted unanimously within our board to approve his appointment and certainly hope you will do the same. We are looking to add John as soon as possible.

Sincerely,
Agnes Wojnarski
Chairperson
PHNRC



CITY OF PROSPECT HEIGHTS COMMITTEE QUESTIONNAIRE

Name: John W. Kamysz, MD

Address: Prospect Hts, IL 60070

Home Telephone Number: _____

Email Address: J

Business, Address, and Phone Number: _____

I am interested in serving on the following board or commission:

____ Appearance Review Committee

____ Planning/Zoning Board

____ Economic/Business Development Committee

____ Police/Fire Commission

____ Finance Committee

____ Police Pension Board

____ Ad Hoc Flood Committee

____ Special Events Committee

☒ Natural Resources Committee

____ Water Committee

Please include resume if available.

Educational Background: BS, Biology, University of Illinois, 1986; MD Rush University, 1990;

Masters in Philosophy, Loyola 1993-5, incomplete

Service with other City organizations: None.

Special Skills: Life sciences, avid outdoorsman and gardener

Date: 12/3/15

Signature: _____

Return to: Mayor Nicholas J. Helmer
City of Prospect Heights
8 North Elmhurst Road
Prospect Heights, IL 60070
nhelmer@prospect-heights.org

JOHN W. KAMYSZ, M.D.

Prospect Heights, IL 60070 | (815) 396-1111

WORK EXPERIENCE

John W. Kamysz, M.D., LLC

8/21/2010-present

dba, Personal Radiology, President and Founder

Independent contract radiology services, MSK specialist

Open Advanced MRI, partner in 1 center

Read for: MetisMD for Alpha Medical Imaging

2010-present

Radiology Reports Online

2011-present

Open Advanced MRI

2013-present

Interventional Spine & Pain Management, private practice

8/21/2010-present

Dept. of Surgery, **Northwestern Lake Forest Hospital**

Northeast Radiology Associates/Global Medical Imaging

Northwestern Lake Forest Hospital

9/2004-8/20/2010

660 N. Westmoreland Drive, Lake Forest, IL 60045

Radiology Specialists of Milwaukee

5/2002-8/2004

St. Francis Hospital

3237 S. 16th Street, Milwaukee, WI 53215

Diagnostic Imaging Associates

5/2000-5/2002

Resurrection Medical Center

7235 W. Talcott Ave, Chicago, IL 60631

Grand Valley Radiology

7/1998-6/2000

607 Heritage Ct., Holland, MI 49423

EDUCATION

Oregon Health Sciences University

Portland, OR

Musculoskeletal Fellowship

7/1997-6/1998

St. Francis Hospital of Evanston
Evanston, IL
Diagnostic Radiology Residency

7/1993-6/1997

Loyola University
Maywood, IL
Masters work in Philosophy (not completed)

9/1992-6/1993

Henry Ford Hospital
Detroit, MI
General Surgery/Urology, finished 2 of 6 year program

7/1990-6/1992

Rush University
Chicago, IL
M.D.

9/1986-6/1990

University of Illinois
Urbana-Champaign, IL
Bachelor of Science, Biology

9/1982-6/1986

EXPERIENCE/SPECIAL SKILLS

Read all modalities: Experienced general radiologist with MSK specialty.

Experienced Musculoskeletal Imaging including providing imaging for Major League Baseball Team and other professional (NBA, NFL) and collegiate level athletes.

Extensive experience in Percutaneous Vertebroplasty, Kyphoplasty, Sacroplasty, Pubic Bone Osteoplasty.

Technical Faculty for Stryker Medical, teaching percutaneous vertebroplasty, kyphoplasty, discography, percutaneous disk decompression.

MR Arthrography of all joints, Bone biopsies, SI jt. Injections, bursography, discography (cervical-lumbar), **Percutaneous Disk Decompression**, Bone Tumor Coblation.

US guided procedures, including prolotherapy. Botox for MSK and cosmetic indications.

Biopsy and drainage procedures of other body parts.

Minor vascular intervention including venous access, porta-catheters, PICC, etc.

North American Spine Society (NASS), Radiology Education Committee

BOARD CERTIFICATION

American Board of Radiology, November 1997

National Board of Medical Examiners Parts I, II, III.

AWARDS

Alpha Omega Alpha Honor Medical Society

1988-present

Phi Kappa Phi National Honor Society

1984

Dean's List- 7 semesters University of Illinois

1982 – 1986

LICENSURE

State of Illinois, 036-084688

State of Oregon, MD21175

State of Michigan, 4301055861

State of Wisconsin, 44485-020

State of Arizona, 43985

State of Missouri 2014034232

PROFESSIONAL SOCIETIES

Alpha Omega Alpha Honor Medical Society

ACR

NASS, North American Spine Society

RSNA

Illinois Radiologic Society

Chicago Radiologic Society

OTHER PROFESSIONAL EMPLOYMENT

Resurrection Immediate Care Centers
Chicago, IL
Emergency and Family Outpatient Physician

9/1992 – 6/1995

RESEARCH, PUBLICATIONS AND PAPERS

Percutaneous Repair of Nonunion Pubic Rami Fractures Using Metallic Scaffolding and Cement Osteoplasty, Journal of Vascular and Interventional Radiology, August 2010.

*Percutaneous Cement Osteoplasty for Pubic Bone Insufficiency Fractures
Journal of Vascular and Interventional Radiology, September 2008.*

*Soft Tissue Chondroma of the Neck, A Report and Review of the Literature
Pediatric Radiology, March 1996*

*Survival of Renal Cell Carcinoma vs. Papillary Renal Cell Carcinoma
1991*

*Survival and Prognostic Factors of Stage 2 and 3 Endometrial Carcinoma
1989*

*Effects of Pancreatic Islet Cell Transplant vs. Insulin Therapy in Diabetic Rats
1987*

REFERENCES

Available upon request.

7B

Danielle M. Dash

Prospect Heights, IL 60070

December 10, 2015

Mayor Nicholas J. Helmer
City of Prospect Heights
8 N. Elmhurst Road
Prospect Heights, IL 60070

Dear Mayor Helmer:

As Tom Weidman has retired as the Chairman of the Plan Commission and Zoning Board I would like to apply for the vacant position. I have served on the PZBA for approximately 4 years and would be grateful for the opportunity to serve as the Chairman. Enclosed you will find my professional resume. I hope that you and the City will consider me to be a qualified candidate for the position.

Sincerely,
Danielle M. Dash

Danielle M. Dash

• Prospect Heights, Illinois 60070

PROFESSIONAL EXPERIENCE

RIALTO CAPITAL MANAGEMENT – Morton Grove, Illinois

September 2015 to Present

Real Estate Development Group, Asset Manager

- Manage the due diligence process for RDC deals.
- Oversee all transactions, goals and productivity of RDC deals.

NEXT GENERATION DEVELOPMENT – Wheaton, Illinois

2010 to September 2015

Director of Land Acquisition & Development

- Work with industry professionals to research markets, identify and select sites
- Manage real estate acquisition process and contract negotiations for internal developments and external investment groups, lenders and other organizations
- Secure and analyze due diligence information and prepare reports of recommendation
- Work with government officials to negotiate project obligations and requirements
- Prepare project proformas, budgets and cash flow projections
- Oversee all aspects of planning & engineering activities including design, municipal approvals, permitting, improvement sureties, etc.
- Oversee all aspects of land development activities including mass earthwork, underground, roadway construction, landscaping, street lights, signage, and other public improvements including utilities (gas, electric, phone, cable TV).
- Facilitate off-site easement acquisition and improvements when required.
- Provide consulting and asset/property management services for REO and investment properties to minimize risk, reduce losses and increase revenue

NGD ASSET SOLUTIONS – Wheaton, Illinois

2010 to 2014

Receivership Appointments & Property Management

- Allied First Bank
- Bank of America
- Bridgeview Bank

WISEMAN-HUGHES ENTERPRISES, INC. – Wheaton, Illinois

2003 to 2010

Project Engineer

Coordinate engineering and development operations to transition of a parcel of land to residential and commercial use. Related experience in the acquisition, planning and entitlement processes.

- Prepare cost estimates, budgets and cash flow projections
- Oversee bid process and construction contract administration
- Acquire permits from local, state and federal agencies
- Organize construction scheduling, coordination and management
- Coordinate efforts of department staff and outside consultants
- Secure final approvals and acceptance of public improvements

LAKEWOOD HOMES – Hoffman Estates, Illinois

2000 to 2003

Project Engineer

Coordinated the transition of parcels of land to residential use. Involved in the start up, construction, and completion of over a dozen communities. Developed over 3,000 improved lots.

- Prepared cost estimates, budgets and cash flow projections
- Administered bid process and construction contracts
- Oversaw permit acquisition from local, state and federal agencies
- Secured final approvals and acceptance of public improvements

PROFESSIONAL EXPERIENCE (CONT.)

BURNSIDE CONSTRUCTION CO. – Downers Grove, Illinois

1999 to 2000

Project Engineer/Land Development Manager

Responsible for office and field duties for mid-sized, locally owned developer.

- Prepared cost estimates, budgets and cash flow projections
- Administered bid process and construction contracts
- Developed schedules and supervised field operations and subcontractors

SUNDANCE HOMES – Schaumburg, Illinois

1998 to 1999

Project Engineer/Land Development Manager

Supervised field activities for large, publically traded developer.

- Developed construction schedules
- Coordinated, managed and supervised field operations and subcontractors
- Secured final approvals and acceptance of public improvements

NEUMANN HOMES – Naperville, Illinois

1997 to 1998

Project Engineer

Responsible for office duties for large, locally owned developer.

- Oversaw permit acquisition from local, state and federal agencies
- Prepared cost estimates, budgets and cash flow projections
- Administered bid process and construction contracts

BLINDERMAN CONSTRUCTION CO. – Deerfield, Illinois

1997

Project Engineer

Project management & construction supervision during the construction of a CTA facility in Skokie, IL.

- Solicited bids/quotes including research, transmittal and monitoring of RFI's
- Prepared and updated project schedules as required
- Research of drawing interpretation problems, conflicts, interferences and/or errors

EDUCATION

University of Illinois, Urbana/Champaign, Illinois

Bachelor of Science in Civil Engineering, 1996

- Specialization in Construction Engineering & Management
- Secondary in Geotechnical Engineering

E.I.T. License issued April 1996

ORDINANCE NO. O-15-24**AN ORDINANCE FOR THE LEVY AND ASSESSMENT OF 2015 TAXES FOR THE FISCAL YEAR BEGINNING MAY 1, 2015 AND ENDING APRIL 30, 2016 IN AND FOR THE CITY OF PROSPECT HEIGHTS POLICE PENSION FUND**

BE IT ORDAINED by the City Council of the City of Prospect Heights, Cook County, Illinois as follows:

Section 1. Findings.

The City of Prospect Heights Police Pension Fund has been created by Ordinance No. 0-90-34 entitled:

**“AN ORDINANCE RELATING TO THE POLICE PENSION FUND
FOR THE CITY OF PROSPECT HEIGHTS, ILLINOIS”**

adopted August 20, 1990. Said Ordinance provides that the City Council shall annually levy a tax upon all the taxable property of the City at the rate on the dollar of all such taxable property which will produce an amount which, when added to the deductions from the salaries of wages of police officers, and revenues available from all other sources as hereinafter referred to, will equal a sufficient sum to meet the annual requirements of the Police Pension Fund. The annual requirements to be provided by such tax levy are equal to (1) the normal cost of the pension fund for the year involved, plus (2) the amount necessary to amortize the fund unfunded accrued liabilities pursuant to State statute.

Section 2. Levy.

A tax for the sum of Three Hundred Seven Thousand and Six Hundred Dollars (\$307,600) be and the same is hereby levied for the purposes specified in Ordinance No. 0-90-34 against all taxable property in the City of Prospect Heights for the fiscal year commencing on the 1st day of May, 2015 and ending on the 30th day of April, 2016.

Section 3. Authority.

This tax is levied pursuant to Chapter 108-1/2, Illinois Compiled Statutes, Sec. 3-125 and pursuant to Ordinance 0-90-34, “An Ordinance Relating to the Police Pension Fund for the City of Prospect Heights, Illinois.”

Section 4. Filing.

There is hereby certified to the County Clerk of Cook County, Illinois the sum aforesaid, constituting the total amount the said City of Prospect Heights Police Pension Fund requires to be raised for the current fiscal year, and the City Clerk is hereby directed to file with the County Clerk of Cook County on or before the time required by law, a certified copy of this ordinance.

Section 5. This Ordinance shall be in full force and effect from and after its passage, approval and publication in pamphlet form as required by law.

PASSED and APPROVED this 14th, December 2015.

ATTEST:

CITY CLERK

MAYOR

AYES:

NAYS:

ABSENT:

Ordinance No. O-15-24

Published in pamphlet form: December 14, 2015

Effective date: December 14, 2015

ORDINANCE NO. O-15-25

**AN ORDINANCE FOR THE LEVY AND ASSESSMENT OF 2015 TAXES FOR
THE FISCAL YEAR BEGINNING MAY 1, 2015 AND ENDING APRIL 30, 2016
IN AND FOR THE CITY OF PROSPECT HEIGHTS
SPECIAL SERVICE AREA NUMBER ONE**

WHEREAS, City of Prospect Heights Special Service Area Number One has been created by Ordinance 0-79-30 entitled, "AN ORDINANCE ESTABLISHING CITY OF PROSPECT HEIGHTS SPECIAL SERVICE AREA NUMBER ONE FOR THE PURPOSE OF PROVIDING FOR THE COLLECTION AND DISPOSAL OF SEWAGE IN THE AREA OF THE CITY FORMERLY SERVED BY THE PROSPECT HEIGHTS SANITARY DISTRICT", as amended; and

WHEREAS, Ordinance No. 0-79-30, as amended, authorizes an annual rate of the annual tax levy of thirty-five one-hundredths of one percent (.35%) of the assessed value, as equalized, of the property in said special service area; and

WHEREAS, said Special Service Area Number One consists of the territory described in the ordinances aforesaid; and

WHEREAS, the City of Prospect Heights is authorized to levy taxes for special services in said Special Service Area.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Prospect Heights, Cook County, Illinois, as follows:

Section 1. The facts and statements contained in the preamble to this Ordinance are hereby found to be true and correct and are hereby incorporated as part of this Ordinance.

Section 2. The total amount of appropriations for all purposes to be collected from the tax levy of the current fiscal year in Special Service Area Number One is ascertained to be the sum of Twenty-Eight Thousand Five Hundred Dollars (\$28,500.00).

Section 3. The sum of Twenty-Eight Thousand Five Hundred Dollars (\$28,500.00) be and the same hereby is levied upon the taxable property (as defined in the Revenue act of 1939) in City of Prospect Heights Special Service Area Number One, said tax to be levied for the fiscal year beginning May 1, 2015 and ending April 30, 2016 for the purpose of providing additional revenues for maintaining and installing necessary and required improvements to the sewer system.

Section 4. This tax is levied pursuant to Article VII, Section 7 of the Constitution of the State of Illinois and Section 1301, et.seq. of Chapter 120 of the Illinois Compiled Statutes, as amended, and pursuant to An Ordinance Establishing City of Prospect Heights Special Service Area Number One, as amended.

Section 5. There is hereby certified to the County Clerk of Cook County, Illinois, the sum aforesaid, constituting said total amount of Twenty-Eight Thousand Five Hundred Dollars (\$28,500.00), which said total amount the said City of Prospect Heights Special Service Area Number One requires to be raised by taxation for the current fiscal year of said City, and the City Clerk of said City is hereby ordered and directed to file with the County Clerk of said County on or before the time required by law a certified copy of this Ordinance.

Section 6. This Ordinance shall be in full force and effect from and after its passage, approval and publication in pamphlet form as provided by law.

PASSED and APPROVED this 14th, December 2015.

ATTEST:

CITY CLERK

MAYOR

AYES:
NAYS:
ABSENT:

Ordinance No.
Published in pamphlet form:
Effective date: December 14, 2015

ORDINANCE NO. O-15-26**AN ORDINANCE FOR THE LEVY AND ASSESSMENT OF 2015 TAXES FOR
THE FISCAL YEAR BEGINNING MAY 1, 2015 AND ENDING APRIL 30, 2016
IN AND FOR THE CITY OF PROSPECT HEIGHTS
SPECIAL SERVICE AREA NUMBER TWO**

WHEREAS, City of Prospect Heights Special Service Area Number Two has been created by Ordinance 0-79-32 entitled, "AN ORDINANCE ESTABLISHING CITY OF PROSPECT HEIGHTS SPECIAL SERVICE AREA NUMBER TWO FOR THE PURPOSE OF PROVIDING FOR THE COLLECTION AND DISPOSAL OF SEWAGE IN THE AREA OF THE CITY FORMERLY SERVED BY THE WOLF MANDEL SANITARY DISTRICT", as amended; and

WHEREAS, Ordinance No. 0-79-32, as amended, authorizes an annual rate of the annual tax levy ninety-three one-hundredths of one percent (.93%) of the assessed value, as equalized, of the property in said special service area; and

WHEREAS, said Special Service Area Number Two consists of the territory described in the ordinances aforesaid; and

WHEREAS, the City of Prospect Heights is authorized to levy taxes for special services in said Special Service Area.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Prospect Heights, Cook County, Illinois, as follows:

Section 1. The facts and statements contained in the preamble to this Ordinance are hereby found to be true and correct and are hereby incorporated as part of this Ordinance.

Section 2. The total amount of appropriations for all purposes to be collected from the tax levy of the current fiscal year in Special Service Area Number Two is ascertained to be the sum of Forty Five Thousand Five Hundred Dollars (\$45,500).

Section 3. The sum of Forty Five Thousand Five Hundred Dollars (\$45,500) be and the same hereby is levied upon the taxable property (as defined in the Revenue act of 1939) in City of Prospect Heights Special Service Area Number Two, said tax to be levied for the fiscal year beginning May 1, 2015 and ending April 30, 2016 for the purpose of providing additional revenues for maintaining and installing necessary and required improvements to the sewer system.

Section 4. This tax is levied pursuant to Article VII, Section 7 of the Constitution of the State of Illinois and Section 1301, et.seq. of Chapter 120 of the Illinois Compiled Statutes, as amended, and pursuant to An Ordinance Establishing City of Prospect Heights Special Service Area Number Two, as amended.

Section 5. There is hereby certified to the County Clerk of Cook County, Illinois, the sum aforesaid, constituting said total amount of Forty Five Thousand Five Hundred Dollars (\$45,500), which said total amount the said City of Prospect Heights Special Service Area Number Two requires to be raised by taxation for the current fiscal year of said City, and the City Clerk of said City is hereby ordered and directed to file with the County Clerk of said County on or before the time required by law a certified copy of this Ordinance.

Section 6. This Ordinance shall be in full force and effect from and after its passage, approval and publication in pamphlet form as provided by law.

PASSED and APPROVED this 14th, December 2015.

ATTEST:

CITY CLERK

MAYOR

AYES:

NAYS:

ABSENT:

Ordinance No.

Published in pamphlet form:

Effective date: December 14, 2015

10D

ORDINANCE NO. O-15-27

**AN ORDINANCE FOR THE LEVY AND ASSESSMENT OF 2015 TAXES FOR
THE FISCAL YEAR BEGINNING MAY 1, 2015 AND ENDING APRIL 30, 2016
IN AND FOR THE CITY OF PROSPECT HEIGHTS
SPECIAL SERVICE AREA NUMBER THREE**

WHEREAS, City of Prospect Heights Special Service Area Number Three has been created by Ordinance 0-79-34 entitled, "**AN ORDINANCE ESTABLISHING CITY OF PROSPECT HEIGHTS SPECIAL SERVICE AREA NUMBER THREE FOR THE PURPOSE OF PROVIDING FOR THE COLLECTION AND DISPOSAL OF SEWAGE IN THE AREA OF THE CITY FORMERLY SERVED BY THE COUNTRY GARDENS SANITARY DISTRICT**", as amended; and

WHEREAS, Ordinance No. 0-79-34, as amended, authorizes an annual rate of the annual tax levy of forty-nine one-hundredths of one percent (.49%) of the assessed value, as equalized, of the property in said special service area; and

WHEREAS, said Special Service Area Number Three consists of the territory described in the ordinances aforesaid; and

WHEREAS, the City of Prospect Heights is authorized to levy taxes for special services in said Special Service Area.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Prospect Heights, Cook County, Illinois, as follows:

Section 1. The facts and statements contained in the preamble to this Ordinance are hereby found to be true and correct and are hereby incorporated as part of this Ordinance.

Section 2. The total amount of appropriations for all purposes to be collected from the tax levy of the current fiscal year in Special Service Area Number Three is ascertained to be the sum of Twenty Four Thousand One Hundred Dollars (\$24,100.00).

Section 3. The sum of Twenty Four Thousand One Hundred Dollars (\$24,100.00) be and the same hereby is levied upon the taxable property (as defined in the Revenue act of 1939) in City of Prospect Heights Special Service Area Number Three, said tax to be levied for the fiscal year beginning May 1, 2015 and ending April 30, 2016 for the purpose of providing additional revenues for maintaining and installing necessary and required improvements to the sewer system.

Section 4. This tax is levied pursuant to Article VII, Section 7 of the Constitution of the State of Illinois and Section 1301, et.seq. of Chapter 120 of the Illinois Compiled Statutes, as amended, and pursuant to An Ordinance Establishing City of Prospect Heights Special Service Area Number Three, as amended.

Section 5. There is hereby certified to the County Clerk of Cook County, Illinois, the sum aforesaid, constituting said total amount of Twenty Four Thousand One Hundred Dollars (\$24,100.00), which said total amount the said City of Prospect Heights Special Service Area Number Three requires to be raised by taxation for the current fiscal year of said City, and the City Clerk of said City is hereby ordered and directed to file with the County Clerk of said County on or before the time required by law a certified copy of this Ordinance.

Section 6. This Ordinance shall be in full force and effect from and after its passage, approval and publication in pamphlet form as provided by law.

PASSED and APPROVED this 14th, December 2015.

ATTEST:

CITY CLERK

MAYOR

AYES:

NAYS:

ABSENT:

Ordinance No. O-15-27

Published in pamphlet form:

Effective date: December 14, 2015

ORDINANCE NO. O-14-28**AN ORDINANCE FOR THE LEVY AND ASSESSMENT OF 2015 TAXES FOR
THE FISCAL YEAR BEGINNING MAY 1, 2015 AND ENDING APRIL 30, 2016
IN AND FOR THE CITY OF PROSPECT HEIGHTS
SPECIAL SERVICE AREA NUMBER FOUR**

WHEREAS, City of Prospect Heights Special Service Area Number Four has been created by Ordinance 0-82-27 entitled, "**AN ORDINANCE ESTABLISHING CITY OF PROSPECT HEIGHTS SPECIAL SERVICE AREA NUMBER FOUR FOR THE PURPOSE OF PROVIDING FOR THE COLLECTION AND DISPOSAL OF SEWAGE IN THE AREA OF THE CITY FORMERLY SERVED BY THE COUNTRY GARDENS SANITARY DISTRICT**", as amended; and

WHEREAS, Ordinance No. 0-82-27, as amended, authorizes an annual rate of the annual tax levy of ninety-one one-hundredths of one percent (.91%) of the assessed value, as equalized, of the property in said special service area; and

WHEREAS, said Special Service Area Number Four consists of the territory described in the ordinances aforesaid; and

WHEREAS, the City of Prospect Heights is authorized to levy taxes for special services in said Special Service Area.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Prospect Heights, Cook County, Illinois, as follows:

Section 1. The facts and statements contained in the preamble to this Ordinance are hereby found to be true and correct and are hereby incorporated as part of this Ordinance.

Section 2. The total amount of appropriations for all purposes to be collected from the tax levy of the current fiscal year in Special Service Area Number Four is ascertained to be the sum of Forty Thousand Eight Hundred Dollars (\$42,800.00)

Section 3. The sum of Forty Thousand Eight Hundred Dollars (\$42,800.00) be and the same hereby is levied upon the taxable property (as defined in the Revenue act of 1939) in City of Prospect Heights Special Service Area Number Four, said tax to be levied for the fiscal year beginning May 1, 2015 and ending April 30, 2016 for the purpose of providing additional revenues for maintaining and installing necessary and required improvements to the sewer system.

Section 4. This tax is levied pursuant to Article VII, Section 7 of the Constitution of the State of Illinois and Section 1301, et.seq. of Chapter 120 of the Illinois Compiled Statutes, as amended, and pursuant to An Ordinance Establishing City of Prospect Heights Special Service Area Number Four, as amended.

Section 5. There is hereby certified to the County Clerk of Cook County, Illinois, the sum aforesaid, constituting said total amount of Forty Thousand Eight Hundred Dollars (\$42,800.00), which said total amount the said City of Prospect Heights Special Service Area Number Four requires to be raised by taxation for the current fiscal year of said City, and the City Clerk of said City is hereby ordered and directed to file with the County Clerk of said County on or before the time required by law a certified copy of this Ordinance.

Section 6. This Ordinance shall be in full force and effect from and after its passage, approval and publication in pamphlet form as provided by law.

PASSED and APPROVED this 14th, December 2015.

ATTEST:

CITY CLERK

MAYOR

AYES:

NAYS:

ABSENT:

Ordinance No.

Published in pamphlet form:

Effective date: December 14, 2015

ORDINANCE NO. O-15-29**AN ORDINANCE FOR THE LEVY AND ASSESSMENT OF 2015 TAXES FOR
THE FISCAL YEAR BEGINNING MAY 1, 2015 AND ENDING APRIL 30, 2016
IN AND FOR THE CITY OF PROSPECT HEIGHTS
SPECIAL SERVICE AREA NUMBER FIVE**

WHEREAS, City of Prospect Heights Special Service Area Number Five has been created by Ordinance 0-99-25 entitled, "**AN ORDINANCE ESTABLISHING CITY OF PROSPECT HEIGHTS SPECIAL SERVICE AREA NUMBER FIVE FOR THE PURPOSE OF PROVIDING FOR THE COLLECTION AND DISPOSAL OF STORM WATER**", as amended; and

WHEREAS, Ordinance No. 0-99-25, as amended, authorizes an annual rate of the annual tax levy of eighteen one hundredths of one percent (.18%) of the assessed value, as equalized, of the property in said special service area; and

WHEREAS, said Special Service Area Number Five consists of the territory described in the ordinances aforesaid; and

WHEREAS, the City of Prospect Heights is authorized to levy taxes for special services in said Special Service Area.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Prospect Heights, Cook County, Illinois, as follows:

Section 1. The facts and statements contained in the preamble to this Ordinance are hereby found to be true and correct and are hereby incorporated as part of this Ordinance.

Section 2. The total amount of appropriations for all purposes to be collected from the tax levy of the current fiscal year in Special Service Area Number Five is ascertained to be the sum of Sixty Five Thousand Seven Hundred Dollars (\$65,700.00).

Section 3. The sum of Sixty Five Thousand Seven Hundred Dollars (\$65,700.00) be and the same hereby is levied upon the taxable property (as defined in the Revenue act of 1939) in City of Prospect Heights Special Service Area Number Five, said tax to be levied for the fiscal year beginning May 1, 2015 and ending April 30, 2016 for the purpose of providing additional revenues for maintaining and installing necessary and required improvements to the storm sewer system.

Section 4. This tax is levied pursuant to Article VII, Section 7 of the Constitution of the State of Illinois and Section 1301, et.seq. of Chapter 120 of the Illinois Compiled Statutes, as amended, and pursuant to An Ordinance Establishing City of Prospect Heights Special Service Area Number Five, as amended.

Section 5. There is hereby certified to the County Clerk of Cook County, Illinois, the sum aforesaid, constituting said total amount of Sixty Five Thousand Seven Hundred Dollars (\$65,700.00), which said total amount the said City of Prospect Heights Special Service Area Number Five requires to be raised by taxation for the current fiscal year of said City, and the City Clerk of said City is hereby ordered and directed to file with the County Clerk of said County on or before the time required by law a certified copy of this Ordinance.

Section 6. This Ordinance shall be in full force and effect from and after its passage, approval and publication in pamphlet form as provided by law.

PASSED and APPROVED this 14th, December 2015.

ATTEST:

CITY CLERK

MAYOR

AYES:

NAYS:

ABSENT:

Ordinance No.

Published in pamphlet form:

Effective date: December 14, 2015

ORDINANCE NO. O-15-30

**AN ORDINANCE FOR THE LEVY AND ASSESSMENT OF 2015 TAXES FOR
THE FISCAL YEAR BEGINNING MAY 1, 2015 AND ENDING APRIL 30, 2016
IN AND FOR THE CITY OF PROSPECT HEIGHTS
SPECIAL SERVICE AREA NUMBER EIGHT**

WHEREAS, City of Prospect Heights Special Service Area Number Eight has been created by Ordinance 0-11-11 entitled, "**AN ORDINANCE establishing Special Service Area Number 8 of the City of Prospect Heights, Cook County, Illinois, and the issuance of bonds in an amount not to exceed \$500,000 and the imposition of a tax at a maximum rate of 1.41% in any year to pay the cost of providing special services in and for such Area.**", as amended; and

WHEREAS, Ordinance No. 0-11-11, as amended, authorizes an annual rate of the annual tax levy of one and forty-one one hundredths of one percent (1.41%) of the assessed value, as equalized, of the property in said special service area; and

WHEREAS, said Special Service Area Number Eight consists of the territory described in the ordinances aforesaid; and

WHEREAS, the City of Prospect Heights is authorized to levy taxes for special services in said Special Service Area.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Prospect Heights, Cook County, Illinois, as follows:

Section 1. The facts and statements contained in the preamble to this Ordinance are hereby found to be true and correct and are hereby incorporated as part of this Ordinance.

Section 2. The total amount of appropriations for all purposes to be collected from the tax levy of the current fiscal year in Special Service Area Number Eight is ascertained to be the sum of The sum of Two Hundred Twelve Thousand Two Hundred Dollars (\$212,200.00).

Section 3. The sum of Two Hundred Twelve Thousand Two Hundred Dollars (\$212,200.00) be and the same hereby is levied upon the taxable property (as defined in the Revenue act of 1939) in City of Prospect Heights Special Service Area Number Eight, said tax to be levied for the fiscal year beginning May 1, 2015 and ending April 30, 2016 for the purpose of providing additional revenues for the operation, maintenance and repair of Levee 37 and related storm water management services.

Section 4. This tax is levied pursuant to Article VII, Section 7 of the Constitution of the State of Illinois and Article 27 of the Illinois Property Tax Code, as amended, and pursuant to AN ORDINANCE establishing Special Service Area Number 8 of the City of Prospect Heights, Cook County, Illinois, and the issuance of bonds in an amount not to exceed \$500,000 and the imposition of a tax at a maximum rate of 1.41% in any year to pay the cost of providing special services in and for such Area, as amended.

Section 5. There is hereby certified to the County Clerk of Cook County, Illinois, the sum aforesaid, constituting said total amount of The sum of Two Hundred Twelve Thousand Two Hundred Dollars (\$212,200.00), which said total amount the said City of Prospect Heights Special Service Area Number Eight requires to be raised by taxation for the current fiscal year of said City, and the City Clerk of said City is hereby ordered and directed to file with the County Clerk of said County on or before the time required by law a certified copy of this Ordinance.

Section 6. This Ordinance shall be in full force and effect from and after its passage, approval and publication in pamphlet form as provided by law.

PASSED and APPROVED this 14th, December 2015.

ATTEST:

CITY CLERK

MAYOR

AYES:
NAYS:
ABSENT:

Ordinance No.
Published in pamphlet form:
Effective date: December 14, 2015

10H



To: Mayor and City Council Members

From: Joe Wade, City Administrator

Subject: An Ordinance Authorizing An Amended And Restated Dedication Agreement Between Rob Roy Country Club Village Association And The City Of Prospect Heights

December 14, 2015

Purpose: This ordinance clarifies the City's maintenance responsibilities for streets, sanitary sewers and water mains and the Rob Roy Association's responsibility for sidewalks, street lights and other facilities not expressly dedicated and assumed by the City.

Background: This summer, uncertainty arose regarding the delineation of responsibilities between the City and Association concerning infrastructure maintenance responsibilities. City Attorney Zimmermann worked closely with Association representatives and City staff to provide clarification and definition to these responsibilities. This ordinance and agreement is the product of that effort. The agreement offers a practical and common-sense based approach to infrastructure maintenance responsibilities.

AMENDED AND RESTATED DEDICATION AGREEMENT BETWEEN
ROB ROY COUNTRY CLUB VILLAGE ASSOCIATION
AND THE CITY OF PROSPECT HEIGHTS

THIS AGREEMENT made and entered into this _____ day of November, 2015 by the Rob Roy Country Club Village Association, a corporation of the State of Illinois, hereinafter referred to as "Association" and the City of Prospect Heights, a municipal corporation located in Cook County, Illinois, hereinafter referred to as "City.

WHEREAS, the Association dedicated its private streets and cul-de-sacs to the City for maintenance and repair of said streets pursuant to that certain Dedication Agreement dated August 7, 1989 ("1989 Agreement") and an accompanying plat of dedication dated _____ ("Plat of Dedication"); and

WHEREAS, the City accepted the dedication and acknowledged that certain conditions of the 1989 Agreement had been met when it adopted Resolution R-90-67 on July 2, 1990; and

WHEREAS, the City and the Association wish to clarify their respective maintenance responsibilities by detailing those facilities which have been dedicated and expressing the city's maintenance responsibility for streets, sanitary sewers, water mains and expressing the Association's responsibility for sidewalks, street lights and other facilities not expressly dedicated and assumed by the City;

NOW, THEREFORE, in consideration of mutual promises and agreements herein contained, the parties hereto agree as follows:

1. The above recitals are hereby incorporated into this Amended and Restated Dedication Agreement ("Amended Agreement") as if fully set forth.

2. This Amended Agreement hereby supersedes and replaces the 1989 Agreement.

The Plat of Dedication remains in full force and effect.

3. **Definitions.** As used in this Amended Agreement, the following terms shall have the following meanings unless the context clearly requires another meaning:

- a. "Sidewalks" shall mean the paved pathways for pedestrians located throughout the Association's property which are not Streets
- b. "Streets" shall mean streets, including the cul-de-sacs, lying only within the dedicated area which are paved, contain curbs and gutters, and are primarily intended for vehicular use.
- c. "Curbs and gutters" shall mean the portland cement curbs and gutters lying within the Streets adjacent to asphalt pavement.
- d. "Dedicated Area" means the area of land dedicated to the public on the Plat of Dedication.

4. **Maintenance of Streets.** The City agrees to maintain, repair and/or replace the Streets (including the pavement and Curbs and Gutters) as it deems necessary from time to time in its sole discretion as respects City capital projects. Any repair or replacement shall be done in accordance with the city's standard design specifications for streets.

5. **Snow and Ice Removal.**

- a. The City hereby authorizes and the Association hereby agrees to provide for the removal of snow accumulations of two inches or more from all dedicated Streets. The Association shall be responsible for repairing all damages caused to streets, potable water facilities or sanitary sewer facilities by said snow removal operations.

- b. The City agrees to apply ice melting materials on the Streets, and only the Streets and no other areas, in accordance with City snow removal/salting policy.

6. **Street Lights, Signs and Parkway Vegetation.** Whether resting within the

Dedicated Area or not, the Association owns and agrees to maintain, repair or replace at its cost all street lights, light standards, fixtures, appurtenances, related wiring, street identification, traffic control signs, and parkway trees and vegetation.

7. **Sanitary Sewers and Potable Water System.**

- a. The Parties acknowledge that the City owns and operates the sanitary sewer mains, pipes, catch basins, valves, vaults and related facilities and equipment , but specifically excluding lateral sewer connections to private buildings ("City Sewer System").
- b. The Parties further acknowledge and agree that the City owns and operates the potable water mains, pipes, valves, curb stops, "buffalo boxes", vaults, meters and related facilities and equipment , but specifically excluding private water connections from the curb stop to private buildings ("City Water System").
- c. The City agrees that it is responsible for the operation, maintenance, repair and replacement of the City Sewer System and the City Water System. These functions shall be done in the ordinary course of the city's operation of its public infrastructure. Repair and replacement shall be done in the City's sole discretion as is the case with the City's water and sewer systems lying outside of the Rob Roy Country Club Village. The City agrees to promptly repair any damage to Sidewalks resulting from the City's maintenance, repair or replacement of the City Sewer System and/or City Water System performed by or at the direction of the City.
- d. **Utilities Easement Granted.** In the event any components of the City Sewer System and the City Water System lie outside the Dedicated Area, the Association hereby grants to the City a permanent easement for the installation, maintenance, operation, repair or replacement of such component. The easement area shall be a strip of land 10 feet wide which is centered over the component and runs from the Dedicated Area to the terminus of said component. The easement includes the right of access thereto.

8. **Sidewalks.** The Parties acknowledge that the Sidewalks lie outside the Dedicated Area and that the Association has owned the Sidewalks since November 12, 1982, the date of the recording of the Declaration of Condominium for Rob Roy Country Club Village and continues to own the Sidewalks. Accordingly, the Association has sole responsibility for the maintenance, repair or replacement of the Sidewalks. These functions shall be done in the ordinary course of the Association's operations, in the Association's sole discretion, subject to applicable codes. The City shall have no responsibility whatsoever for sidewalks, except to the very limited extent provided in section 7.c.

9. **Electricity Cost.** The City agrees to pay for the electrical energy costs for the lighting of Country Club Drive and Rob Roy Lane. All other energy costs shall be borne by the Association.

10. **No Implied Responsibility for Other Assets.** Any Association or City assets or facilities which are not expressly provided for in this Amended Agreement shall be the sole responsibility of that respective party, subject to applicable codes.

11. **Miscellaneous Provisions.**

- a. In the event of any breach of this Agreement, such breaching party shall upon written notice proceed promptly to cure or remedy such default or breach within sixty (60) days after receipt of such notice; provided, however, that in the event such default is incapable of being cured within said sixty (60) day period and the defaulting party commences to cure within said sixty (60) day period and proceeds to cure with due diligence, such party shall not be deemed to be in default under this Agreement.
- b. In case such action is not taken or not diligently pursued, or the default or breach shall not be cured or remedied within the above time, or in the event of a monetary default (time being of the essence with respect to the payment of any sums required hereunder), the aggrieved party may institute such proceedings

as may be necessary or desirable in its opinion to cure and remedy such default or breach, including but not limited to, proceedings to compel specific performance by the party in default or breach of its obligations.

- c. Nothing in this Amended Agreement shall limit the City's authority and ability to enforce its Code of Ordinances, including its Property Maintenance Code, and applicable statutes in any way.
- d. The rights of the parties to this Agreement, whether provided by law or this Agreement, shall be cumulative and the exercise by either party of any one or more of such remedies shall not preclude the exercise by it of any one or more of such remedies in relation to the same default or breach by the other party.
- e. No waiver made by either party with respect to any specific default by the other party under this Agreement shall be construed as a waiver of rights with respect to any other default by the defaulting party under this Agreement or with respect to the particular default, except to the extent specifically waived in writing.
- f. Coordination of Work. The parties recognize that the Sidewalks and the City Sewer System and City Water System are located in close proximity to one another and portions of the water system such as manhole covers are located in the Sidewalks. Subject to the City's need to address emergencies affecting the City Sewer System and City Water System, the parties shall use their best efforts to coordinate work on the Sidewalks and the City Sewer System and City Water System to avoid damage to any portion of the City Sewer System and/or City Water System and/or Sidewalks that may be affected by such work.
- g. The Association for itself, its employees, agents, or contractors ("Association Parties") does hereby, defend, hold harmless and indemnify the City and all City elected or appointed officials, officers, employees, agents, representatives, engineers, and attorneys, from any and all claims that may be asserted at any time against any of such parties in connection with the existence of this Amended Agreement, the acts or omissions of the Association Parties, the acts or omissions of the Association Parties in carrying out their duties or failing to carry out their duties under this Amended Agreement, the failure of the Association to maintain the Sidewalks or the street lights, wiring, signage, vegetation or other assets and fixtures which are the responsibility of the Association.

The City for itself, and all City elected or appointed officials, officers, employees, agents, representatives, engineers, and attorneys, agents, or contractors ("City Parties") does hereby, defend, hold harmless and indemnify the Association and its Board of Managers, members, agents or contractors, from any and all claims that may be asserted at any time against any of such parties in connection with the existence of this Amended Agreement, the acts or omissions of the City Parties, and the acts or omissions of the City Parties in carrying out their duties or failing to carry out their duties under this Amended Agreement.

- h. **Binding Agreement.** This Amended Agreement shall be binding upon and inure to the benefit of the parties hereto, their successors and assigns and upon any successor municipal authority of the City.
- i. **Attorneys Fees and Costs.** In the event that either party institutes legal action against the other under this Amended Agreement, then in that event the prevailing party shall be entitled to recover its costs and professional fees (including, but not limited to, reasonable attorney's fees) from the losing party.

IN WITNESS WHEREOF, the parties hereto have executed this Agreement on the day and year first written above.

CITY OF PROSPECT HEIGHTS

By: _____

Attest:

City Clerk

ROB ROY COUNTRY CLUB VILLAGE ASSOCIATION

By: _____

[illegible]

I, the undersigned, a notary public in and for said county, in the state aforesaid, do hereby certify that _____, personally known to me to be the _____ of Rob Roy Country Club Village Association and personally known to me to be the same Association whose name is subscribed to the foregoing instrument, appeared before me this day in person and acknowledged that he/she signed, sealed and delivered said instrument in his/her capacity as _____ as his/her free and voluntary act and as the free and voluntary act of said Association for the uses and purposes therein set forth.

GIVEN under my hand and official this ____ day of October, 2015.

(SEAL) _____
Notary Public



101

City Council 2016 Meeting Schedule

Date: December 14, 2015
Item: City Council Meeting Schedule for Calendar Year 2016
From: Karen Schultheis, Deputy Clerk
To: City Administrator Joe Wade

**Please review the attached calendar of dates to be approved by the City Council.
Please note that October 10th is Columbus Day – it is currently on the Calendar as a
Workshop Meeting.**

The City Council Calendar does not interfere with any other US holidays.



**City Council/Workshop Meeting Schedule
FY 2016**

WORKSHOP (2nd Monday)

January 11, 2016

February 8, 2016

March 14, 2016

April 11, 2016

May 9, 2016

June 13, 2016

July 11, 2016

NO MEETING

September 12, 2016

October 10, 2016*

November 14, 2016

December 12, 2016

GENERAL MEETING (4TH Monday)

January 25, 2016

February 22, 2016

March 28, 2016

April 25, 2016

May 23, 2016

June 20, 2016

July 25, 2016

August 22, 2016

September 26, 2016

October 24, 2016

November 28, 2016

NO MEETING



11A

To: Mayor and City Council

From: Joe Wade, City Administrator

Subject: Resolution in Support of a Class 7B Real Estate Tax Assessment Classification For a New Commercial Development in Prospect heights (Lakhani Hospitality Group)

Purpose: The Lakhani Hospitality Group has purchased the former Fairbridge Inn, 1090 Milwaukee. The Lakhani Group is seeking a prominent brand for this hotel and will also operate a restaurant at the facility. To bring the hotel to a prominent brand standard, significant reinvestment is needed. Consequently, they are seeking Cook County 7B property tax assistance.

The 7B program is similar in intent to the 7C program which the City recently endorsed for the Rand Road self-storage facility. 7B is "intended to encourage, in areas determined to be "in need of commercial development", commercial projects with total development costs, exclusive of land, over \$2million, which would not be economically feasible without the incentive. The 12-year incentive applies to all newly constructed buildings, or other structures, including land upon which they are situated; the reutilization of vacant structures abandoned for at least twenty-four months."

"Projects which qualify for the Class 7B incentive will receive a reduced assessment level of ten per cent of fair market value for the first ten years, fifteen per cent for the eleventh year and twenty per cent for the twelfth year. Without this incentive, commercial property would nominally be assessed at twenty-five per cent of its market value.

Background: The Fairbridge Inn has been vacant for multiple years. The Lakhani Group is an experienced and successful family business which operates the Holiday Inn and Conference/Banquet Center in Skokie, Holiday Inn Oak Brook, Holiday Inn O'Hare, and Holiday Inn Express Niles.

The attached resolution providing the City's endorsement of the Lakhani Hospitality Group's 7B application to Cook County is attached.

Staff recommendation: Approval of resolution.

THE LAW OFFICES OF
LISTON & TSANTILIS
A PROFESSIONAL CORPORATION



33 NORTH LASALLE STREET, 28TH FLOOR CHICAGO, ILLINOIS 60609
BRIAN P. LISTON (312) 580-1594 PETER TSANTILIS (312) 604-8808 FACSIMILE (312) 580-1598

November 6, 2015

Via Electronic Mail

RE: Formal Request for the approval of resolutions designating the Property located at 1090 S. Milwaukee Ave., Prospect Heights, IL a blighted area, and in support of the 7b Tax Incentive Application

Dear Mayor Nicholas J. Hellmer and Members of the City Council:

We represent the Lakhani Hospitality Group, who is the potential purchaser of the property commonly known as 1090 S. Milwaukee Ave., Prospect Heights, IL, and further identified by parcel identification number 03-13-400-030-0000. Our client is motivated to purchase the property, which has been vacant approximately eighteen (18) months, and re-develop it as either Ramada Inn or Clarion Hotel. The purchase will be contingent upon obtaining a Class 7b tax incentive from Cook County. The re-development would significantly revitalize the vacant property, produce sales tax revenue, increase property tax revenue for Prospect Heights, and provide local employment opportunities.

To obtain the Class 7b tax incentive the subject property needs to be located in a tax increment financing ("TIF") zone, or an area designated as blighted and in need of revitalization. We have reviewed the Cook County TIF map, and confirmed with Steve Skiber of the Prospect Heights Building Department, that the subject property is located outside of a designated TIF zone.

We respectfully request that the Mayor and the members of the Prospect Heights City Council pass a resolution designating the above mentioned property as a blighted area in need of revitalization.

After passing such resolution, we respectfully request you separately pass a resolution in support of the Class 7b tax incentive application to be filed with Cook County. The resolution in support of the Class 7b tax incentive application would need to expressly state that five factors required for the incentive are satisfied. We will provide all documentation needed to prove the requisites are satisfied.

We thank you for your time and look forward to working with you complete this purchase and re-development project.

Regards,


Brian Liston

RESOLUTION NO. _____

**A RESOLUTION IN SUPPORT OF A CLASS 7B REAL ESTATE TAX ASSESSMENT
CLASSIFICATION FOR A NEW COMMERCIAL DEVELOPMENT IN THE
CITY OF PROSPECT HEIGHTS, COOK COUNTY, ILLINOIS**

WHEREAS, the City of Prospect Heights (the “City”) is located in Cook County, Illinois; and

WHEREAS, the President and Board of Commissioners of the County of Cook enacted an ordinance known as the Cook County Real Property Assessment Classification Ordinance, as amended from time to time (the “Classification Ordinance”), which provides for a tax assessment incentive classification designed to encourage commercial development throughout Cook County by offering a real estate incentive for the development of new commercial facilities, the rehabilitation of existing commercial structures and the utilization of abandoned commercial buildings in order to create employment opportunities and expand the tax base; and

WHEREAS, the owner of a property may request that the City Council of the City of Prospect Heights (the “Corporate Authorities”) approve a Cook County Class 7B Real Estate Tax Assessment Classification (the “Class 7B Tax Assessment Classification”) for a property; and

WHEREAS, the adoption of a resolution by the Corporate Authorities is required and must be filed by the requestor along with an application for said incentive with the County of Cook in order for the property to be eligible for a Class 7B Tax Assessment Classification; and

WHEREAS, Lakhani Hospitality, Inc., an Illinois Corporation (the “Applicant”), is the potential owner of 1090 Milwaukee Ave., Prospect Heights, IL and as further legally described on Exhibit A, a copy of which is attached hereto and made a part hereof (the “Property”); and

WHEREAS, the Applicant is proposing to redevelop and operate the existing hotel (“Hotel”) at the Property, the viability of such construction and operation being dependent on the eligibility of the Property for a Class 7B Tax Assessment Classification; and

WHEREAS, the Corporate Authorities find that the Applicant’s planned redevelopment and operation of the Hotel at the Property meets the five eligibility requirements for the Class 7B Tax Assessment Classification as set forth in the Classification Ordinance. Specifically, the Property is located within a designated area in need of increased commercial development as identified by the City of Prospect Heights in Resolution R-15-16; the real estate taxes within said area, during the last six years, have declined, remained stagnant, or are not being fully realized due to the depressed condition of the area; that there is a reasonable expectation that the redevelopment and operation of the Hotel at the Property is viable and likely to go forward on a reasonably timely basis if the 7B designation is granted; that construction and operation of the Hotel at the Property as planned by the Applicant would not be feasible and would not go forward without the Class 7B Tax Assessment Classification; and that the granting of the Class

7B Tax Assessment Classification will result in an increase in real property tax revenue and an increase in employment opportunities within the area; and

WHEREAS, the Applicant's construction of the Hotel will create employment opportunities during construction and, when complete, the operation of the Hotel will create permanent employment positions; and

WHEREAS, the Applicant's construction and operation of the Hotel will generate new tax revenues and additional real estate taxes for both the City and the County of Cook; and

WHEREAS, due to the blighted condition of the property, and the economic risk born by the Applicant, the Corporate Authorities find that special circumstances exist justifying the conclusion that the property is "abandoned" for the purposes of a Class 7B Tax Assessment Classification; and

WHEREAS, the Corporate Authorities believe that the Applicant's construction and operation of the Hotel will serve the residents of the City and surrounding communities and that without a Class 7B Tax Assessment Classification for the Property it will remain underutilized, which will only exacerbate blight in the area surrounding the Property; and

WHEREAS, to promote commercial growth, create new employment opportunities within the Village and expand and further diversify the tax base of the City, the Corporate Authorities declare that it is necessary and in the best interests of the City to approve the Class 7B Tax Assessment Classification for the redevelopment and revitalization of the Property, pursuant to the Classification Ordinance.

NOW, THEREFORE, BE IT RESOLVED by the City Council of Prospect Heights, Cook County, Illinois, as follows:

Section 1. That the above recitals and legislative findings are found to be true and correct and are hereby incorporated herein and made a part hereof, as if fully set forth in their entirety.

Section 2. The Corporate Authorities find the construction and operation of the Hotel as contemplated herein is necessary and appropriate and that without a Class 7B Tax Assessment Classification the Property will remain underutilized and cause the continued exasperation of blighted factors within the area surrounding the Property.

Section 3. The Corporate Authorities find that the Class 7B Tax Assessment Classification incentive program established by the County of Cook is necessary for the construction and operation of the Hotel to occur, which is the subject of this Resolution.

Section 4. The Corporate Authorities support and consent to the filling of a Class 7B Tax Incentive Eligibility Application by the Applicant or such designated representative, for the Property, which is herein legally described.

Section 5. If any section, paragraph, clause or provision of this Ordinance shall be held invalid, the invalidity thereof shall not affect any of the other provisions of this Ordinance.

Section 6. All ordinances, resolutions, motions or orders in conflict are hereby repealed to the extent of such conflict.

Section 7. This Resolution shall be in full force and effect upon its passage and approval as provided by law.

YEAS:

NAYS:

ABSENT:

Passed and approved this 23rd day of November, 2015.

Nicholas J. Helmer, Mayor

ATTEST:

Wendy Morgan-Adams, City Clerk

EXHIBIT A

LEGAL DESCRIPTION

THAT PART OF LOTS 1 AND 2 IN GEORGE STRONG'S SUBDIVISION OF THE SOUTHEAST QUARTER AND THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 13, TOWNSHIP 42 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, BOUNDED BY A LINE DESCRIBED AS FOLLOWS: COMMENCING AT THE POINT OF INTERSECTION OF THE CENTERLINE OF MILWAUKEE AVENUE AND THE SOUTH LINE OF SAID LOT 1; THENCE NORTH 89 DEGREES 00 MINUTES 01 SECONDS WEST, MEASURED (90 DEGREES 00 MINUTES WEST RECORD) ALONG THE SOUTH LINE OF SAID LOT 1, A DISTANCE OF 232.06 FEET FOR THE PLACE OF BEGINNING; THENCE CONTINUING NORTH 89 DEGREES 00 MINUTES 01 SECONDS WEST, MEASURED (90 DEGREES 00 MINUTES WEST RECORD) ALONG THE SOUTH LINE OF SAID LOT 1, A DISTANCE OF 195.09 FEET; THENCE SOUTH 65 DEGREES 35 MINUTES 37 SECONDS WEST, A DISTANCE OF 47.39 FEET; THENCE NORTH 24 DEGREES 31 MINUTES 09 SECONDS WEST, A DISTANCE OF 50.60 FEET; THENCE NORTH 65 DEGREES 28 MINUTES 51 SECONDS EAST, A DISTANCE OF 2.95 FEET; THENCE NORTH 24 DEGREES 31 MINUTES 04 SECONDS WEST MEASURED (NORTH 25 DEGREES 31 MINUTES WEST RECORD), A DISTANCE OF 247.28 FEET; THENCE NORTH 38 DEGREES 22 MINUTES 17 SECONDS EAST, A DISTANCE OF 251.73 FEET; THENCE NORTH 63 DEGREES 02 MINUTES 39 SECONDS EAST (NORTH 62 DEGREES 14 MINUTES 00 SECONDS EAST DEED), A DISTANCE OF 141.64 FEET TO THE SOUTHWESTERLY PROPOSED RIGHT OF WAY LINE OF MILWAUKEE AVENUE; THENCE SOUTH 24 DEGREES 33 MINUTES 31 SECONDS EAST, ALONG SAID SOUTHWESTERLY PROPOSED RIGHT OF WAY LINE OF MILWAUKEE AVENUE, A DISTANCE OF 502.88 FEET; THENCE SOUTH 65 DEGREES 31 MINUTES 42 SECONDS WEST, A DISTANCE OF 145.41 FEET TO THE PLACE OF BEGINNING, IN COOK COUNTY, ILLINOIS.

LAREDO HOSPITALITY

12A

September 22, 2015

Dear Mayor Helmer,

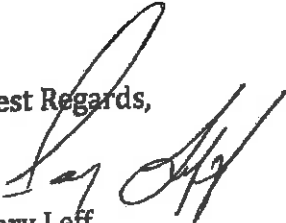
I wanted to introduce you to our company and our Stella's Place concept. We are a Chicago based start-up with over 60 years combined experience in building premium restaurant and hospitality brands.

Stella's Place is an upscale neighborhood café and gathering place for adults to relax, enjoy a coffee, light meal, beer / wine, socialize and game with other adults in a non-bar environment. Our passion is delivering high quality restaurant and hospitality experiences. With Stella's Place, we've assembled a world-class design team to help us develop a very stylish, yet comfortable design. Additionally, we've worked hard to develop a high quality, diverse café menu. Stella's Place will operate as a true café, we think it would be the perfect addition to Prospect Heights.

We have identified a location in Prospect Heights that we're very excited about, 1201 A. North Elmhurst Road, and are requesting a Class C-1 Beer and Wine Liquor License. Hour of operation for the establishment would be Sunday, from Noon - 2:00am and Monday - Saturday from 8:00 am to 2:00 am, open 7 days per week.

We welcome the opportunity to present before the City Council and would be happy to provide any additional information.

Best Regards,



Gary Leff

CEO, Laredo Hospitality Ventures



Mayor Helmer
Prospect Heights City Council
December 3, 2015

Dear Mayor Helmer and members of the City Council,

As you know, one of our regular volunteers and his wife, who wish to remain anonymous, have very generously offered to fund a summer internship for the summer of 2016 in the amount of \$4,500.00. Needless to say, this is an immense benefit to the PHNRC and our restoration efforts.

It is our hope that the city council will graciously accept this donation on our behalf. This is also to confirm that PHNRC will accept full responsibility for the intern, scheduling all work hours, monitoring the work, and conducting the required education component and supplying the tools and training where necessary.

Please do not hesitate to call us if you have questions or concerns that need to be resolved. We look forward to your response.

Agnes Wojnarski
Chairperson
Prospect Heights Natural Resources Commission.

12D



To: Mayor Nicholas J. Helmer and City Council

From: Stephanie Hannon, Finance Director

Date: December 7, 2015

Re: Purchase of Caterpillar Small Wheel Loader Model 926M

The City's John Deer End Loader purchased in 1980 has finally reached the end of its useful life. After 35 years, the City is in need of a new end loader which is very useful during the snowplow season for loading salt. Public works also uses it to load sand, gravel and dirt, removing large fall trees and branches and moving heavy concrete barriers and manholes.

The City received quotes from both John Deer and Caterpillar. The Caterpillar Model 926M Small Wheel Loader – Tier 4 has been quoted at \$149,000 and the John Deer 544 K Loader was quoted at \$166,600. Both quotes include the NJPA Government Discount.

Therefore, the City recommends the approval of the Caterpillar Model 926M contract. The equipment purchase will be included in the budget amendment if approved by the City Council.

RESOLUTION NO. R-15-

Whereas, the City of Prospect Heights Public works Department has utilized a wheel loader since its 1980 purchase for loading salt, clearing fallen trees, loading sand, gravel and dirt, and moving heavy concrete barriers and manholes, and other tasks; and

Whereas, the City's wheel loader is an essential piece of equipment to support the services of Public Works; and

Whereas, this 1980 model is no longer dependable to meet the time sensitive demands of the Public Works Department; and

Whereas, the City's Public Works Department, after comparative analysis, recommends the purchase of a replacement Caterpillar Model 926M Small Wheel Loader, for a purchase price of \$149,000, the amount of which will be included in the budget amendment.

Now Therefore, Be It Resolved by the City Council of the City of Prospect Heights, Illinois as follows:

Section 1: The City Council finds that the above recitals are true and correct and incorporates the same as part of this resolution.

Section 2: The City Council hereby approves the purchase of the Caterpillar Model 926M Small Wheel Loader for \$149,000 and Hereby authorizes the City Administrator to execute associated purchasing documents.

Passed and Approved this 15th day of December, 2015

Nicholas J. Helmer, Mayor

Attest:

City Clerk

Ayes:

Nays:

Absent:

PATTEN CONSTRUCTION PRODUCTS PREMIER EXTENDED SERVICE COVERAGE

This Service Coverage applies to Caterpillar Model _____ Serial No. _____
Delivered to _____ on _____
(Customer) (Date)

Patten Construction Products, (Patten Industries, Inc.) provides the following Extended Service Coverage on this registered Caterpillar machine from the above date until the first of: (1) _____ operating hours or (2) _____ months.

This Service Coverage is not valid unless hours and months are filled in above and signed by a Patten Representative and the Machine Purchaser. This Service Coverage is in addition to the Caterpillar Inc. standard warranty for this product and does not have any effect upon that warranty.

PREMIER EXTENDED SERVICE COVERAGE includes powertrain and hydraulic components as well as additional electrical and structural components. Powertrain components are the components on the machine that are used either to produce, transmit, or control engine horsepower for propelling (moving) the machine. For paving products there are two unique exceptions involving vibratory and rotary drive components, which are also considered Powertrain, even though they are not used for propelling the machine. This coverage also includes all specified hydraulic system parts and components of the basic machine associated with steering and implement control. All additional covered components are described and listed below.

The following components are covered during the Extended Service Coverage period specified above:

Basic Engine - including engine components essential to engine operation (i.e. fuel pump, oil pump, water pump, turbocharger, governor, engine control module, etc.)

Transmission, Torque Converter/Divider, & Transfer Gear Group - includes transmission pumps and hydraulic controls.

Differential(s), Final Drives, Drive Axles, & Drive Line(s) - includes pinion & bevel gear, drive shafts, and U-joints.

Hydraulic Drive Pumps, Piston Type Motors, & Coolers on hydraulic excavators and machines equipped with hydrostatic drive or differential steering, including hydrostatic lines between the pump and motor.

Brake Components for track-type loaders and tractors, only if they also provide steering.

Steering Clutch Components - on track-type loaders and tractors if so equipped.

Differential Steering Components - includes differential steer planetary group, pump, motor, and pilot valves.

Vibratory Components on vibratory compactors. Includes vibratory mechanism, hydraulic pump & motor, hydraulic valves, universal joints, bearings, and drum isolation system.

Rotor Drive Mechanism on paving profilers, reclaimers, and stabilizers. This includes the drive shaft group, sheave groups, and clutch group. Excluded are belts, chains, and rotor brakes.

Electronic Controls and Sensors which function to direct power for the purpose of moving the machine. This includes power shift controls, engine pressure controls, differential lock, and finger-tip controls. It includes the wiring connectors that are part of the designated Powertrain components.

Hydraulic/Steering Hoses & Lines

Hydraulic Tanks - includes specified internal parts.

Hydraulic Oil Filter Base - excluding hydraulic oil filters.

Hydraulic Pumps & Motors - including steering pumps (main and supplemental).

Hydraulic Cylinders - steering, implement hydraulic cylinders (including bulldozer and ripper cylinders on track-type tractors).

Hydraulic Valves & Controls - includes specified parts that make up a valve for directing or controlling hydraulic fluid for steering and implements, including automatic blade controls and bucket position controls.

Hydraulic Accumulators - steering and implement.

Hydraulic Oil Coolers - steering and implement.

Body - including guards, operator's compartment, and suspension

Electrical - Drive train electronic controls, electrical system, implement electronic controls, machine electronic controls, protection devices and alarms.

Engine Attachments

External Hoses

Muffler

Radiator

Undercarriage Non-Moving Components

This Service Coverage is limited to repair or replacement (including both parts and labor) of inspected parts determined to have been defective in material or workmanship. Patten Industries, Inc. reserves the right to designate the method of repair. Items replaced under this Service Coverage become the property of Patten Industries, Inc. All Premier Extended Service Coverage repairs must be performed at a Patten Industries, Inc. facility. The customer shall pay all machine transportation costs or field service travel expenses to and from the location. This Service Coverage does not apply to required normal maintenance service or normal replacement of service or wear items.

CUSTOMER IS RESPONSIBLE FOR TAKING OIL SAMPLES AT INTERVALS DESIGNATED IN THE APPLICABLE CATERPILLAR LUBE AND MAINTENANCE GUIDE FROM ALL POWERTRAIN AND HYDRAULIC OIL COMPARTMENTS. FAILURE TO SUPPLY THESE OIL SAMPLES TO PATTEN INDUSTRIES, INC. FOR TESTING AND ANALYSIS AT PROPER INTERVALS WILL VOID SERVICE COVERAGE FOR ANY PROBLEMS THAT COULD HAVE BEEN DETECTED THROUGH PROPER TESTING AND ANALYSIS. THE COST OF OIL SAMPLES, TESTING AND ANALYSIS ARE NOT INCLUDED IN THIS SERVICE COVERAGE.

This Extended Service Coverage is subject to the following conditions and limitations:

- A. Replacement parts provided are covered only for the remainder of the Extended Service Coverage period applicable to the product in which installed.
- B. The machine may not be altered or modified in any manner which affects the mechanical operation as designated by Caterpillar Inc.

GENERAL CONDITIONS AND LIMITATIONS:

This Premier Extended Service Coverage WILL NOT apply to machines which have been substantially damaged by collision, accident, flood, fire, vandalism, or similar occurrence and/or which have been subject to misuse, abuse, improper operation or neglect, etc. This Service Coverage is provided by Patten Industries, Inc. exclusively and is not binding on Caterpillar Inc. or any other Caterpillar Dealer. From time to time, Caterpillar Inc. conducts Product Improvement Programs to improve machines sold to users. In the event the machine enrolled in Extended Service Coverage is subject to such a program, the Extended Service Coverage will not apply to that improvement. Patten Industries, Inc. will endeavor to schedule such product improvement at the user's convenience. Remedies under the Extended Service Coverage are limited to provision of replacement parts and repairs specifically provided. Patten Industries, Inc. shall in no event be liable for any other losses, damages, costs or expenses claimed by the customer including but not limited to loss from failure of the machine to operate for any period of time, and all other direct, indirect, special, incidental or consequential damages. This includes all personal injury and property damage due to alleged negligence, strict liability, or any other legal theory whatsoever. The Extended Service Coverage is in lieu of all warranties by Patten Industries, Inc. whether expressed or implied by law. Without limiting the generality of the foregoing, Patten Industries, Inc. makes no warranty of merchantability or fitness of the machine for any particular purpose.

This Service Coverage expires at: (Hour Meter Reading or Date - whichever comes first) _____

I have read and understand the conditions and limitations of the Patten Industries, Inc. Extended Powertrain Plus Hydraulics Service Coverage.

Patten Industries, Inc.

Date

Machine Purchaser

Date

Patten CAT**PRODUCTS
PURCHASE ORDER**

Main Office: 636 W Lake St, Elmhurst, IL 60126
Branch: 205 S Route 83, Grayslake, IL 60030
Branch: 690 Mayer St, Ogleby, IL 61348
Branch: 6066 S Main St, Rockford, IL 61102
Branch: 16822 W Laraway Rd, Joliet, IL 60433
Branch: 6400 Indianapolis Blvd, Hammond, IN 46320
Branch:

Ph: (630) 278-4490
Ph: (847) 548-1177
Ph: (815) 883-8043
Ph: (815) 965-1179
Ph: (815) 726-4248
Ph: (219) 932-6600

Fax 630 279-0121
Fax 847 548-1166
Fax 815 883-8043
Fax 815 965-1179
Fax 815 726-2682
Fax 219 931-7513

Date: 12/3/2015

Salesman Name: Bill Fenn

☒ NEW ☐ RPO ☐ Conversion ☐ USED

Customer Name: City of Prospect Heights

Customer No: \$011578

Address: 401 Piper Lane

F.O.B. POINT: Elmhurst, IL

City, State, Zip: Prospect Heights, IL 60070

Type of Work:

Phone: 847-398-6070

Will this equipment be used 50% or more
of the time in the City of Chicago?☐ Yes ☒ No

Sales Contact: Jim O'Neill

Please Initial =====>

Purchase Order No.

Support Contact

ID NO	TBD	HOURS	NEW	S/N	TBD	Sale Price
4302805	2016 926M WHEEL LOADER TIER 4 FINAL					\$230,374.00
4302823	HYDRAULICS, 3 VALVE, COUPLER READY, STANDARD LIFT					
4302996	STEERING, STANDARD					
3336526	DIFFERENTIAL, LIMITED SLIP REAR					
4302855	ENVIRONMENT, STANDARD					
4302992	WEATHER, COLD START, 120V					
4237162	CAB, DELUXE					
4237201	SEAT, DELUXE					
3721868	RADIO, BLUETOOTH, AUX, MIC					
3668148	FENDERS, STANDARD					
3482579	COUNTERWEIGHT, HEAVY					
4302859	RIDE CONTROL					
3775835	CAMERA, REAR VIEW					
3775827	LIGHTS/AUX, HALOGEN/HALOGEN					
3666895	TIRES, 20.5R25 MX XTLA *L2 RADIAL					
4302963	INSTRUCTIONS, ANSI, USA					
0P-2491	KIT, SERIALIZED TECHNICAL MEDIA					
4540589	PRODUCT LINK CELLULAR PL641					
4302977	QUICK COUPLER, FUSION					
3603323	BUCKET-GP, 3.0 CYD HO, BOCE					
3131395	BUCKET-MP, 103" 2.50 CYD					

INCLUDES 3 YEARS,000 HOUR TOTAL MACHINE COVERAGE EXTENDED WARRANTYAdded
Options:Payment Terms: ☐ Cash ☒ Net 30 Days ☐ Other

Total Purchase Price: \$230,374.00

OR Finance Terms:Purchaser hereby sells unto Seller below described trade-in equipment and warrants and certifies
it to be free and clear of liens and encumbrance.

Sale Price After Trade Allowance: \$230,374.00

Sales Tax: \$0.00

Year	Make	Model	Serial No	Allowance
				\$0.00

FREIGHT/PREP: \$3,918.00

SUBTOTAL: \$234,292.00

NJPA DISCOUNT: (\$85,292.00)

Balance Due: \$149,000.00

Cash with Order: \$0.00

Total Balance Payable: \$149,000.00

WARRANTY ON EQUIPMENT EXTENDED BY SELLERWarranty coverage on the equipment covered by this order, if any, has been explained to Purchaser. The warranty coverage is outlined below and indicated by the box checked. Extended We
Note: Extended warranties start on Delivery Date.☒ NEW Standard Factory Warranty ☒ Extended Warranty:**AS NOTED ABOVE**☐ USED, As Is, Where Is☐ Note Special Agreements:☐ We, the Purchaser, understand that ANY warranty work is to be completed in a Patten facility only. For ANY warranty work completed

Customer Initials:

"in the field" after the standard warranty expires, travel time and mileage charges will apply.

Maintenance and non-warranty repair charges performed during the agreement will be added to the purchase price at the time of conversion.

☒ Includes 1 YR complimentary EM Solution☐ Optional Upgrade to Full Service**SECURITY/LEASE AGREEMENT TERMS.** Seller (retains a security interest in) (or leases) the above goods and Buyer agrees to execute a security agreement and
note on the forms in current use by Seller.Payable as Follows: _____ monthly payments of \$ _____ each with first payment due on
delivery and monthly thereafter except100% of paid rentals to apply toward the purchase price less a service charge of 1% per month on the unpaid balance
calculated from pay date to pay date. 1% service charge will be waived if unit converted within 90 days from delivery.
I hereby agree to be invoiced for the purchase of this machine the latter of 30 days following the last rental invoice or on

_____ according to the rental purchase terms.

Please Initial =====>

Seller Authorized Signatures

Date: _____

Purchaser Authorized Signature

Date: _____

Salesman: _____

Purchaser: _____

Sales Mgr: _____

Title: _____

Credit Mgr: _____

Print Name: _____

Rental/Used Mgr: _____

THIS ORDER IS SUBJECT TO THE ATTACHED TERMS AND CONDITIONS



Quote 111852-01

December 3, 2015

City of Prospect Heights
ATTN: Jim O'Neill
401 Piper Lane
Prospect Heights, IL 60070

Dear Jim,

We would like to thank you for your interest in our company and our products, and are pleased to quote the following for your consideration.

CATERPILLAR Model: 926M SMALL WHEEL LOADER—TIER 4 FINAL

**ASK ABOUT THE "CAT PAYS YOU BACK" FUEL CONSUMPTION REBATE PROGRAM
FOR THIS MACHINE (PLEASE SEE ATTACHED BROCHURE)**

STOCK NUMBER: DCA-2 SERIAL NUMBER: TBO YEAR: 2016

We wish to thank you for the opportunity of quoting on your equipment needs. This quotation is valid for 30 days, after which time we reserve the right to re-quote. If there are any questions, please do not hesitate to contact me

Sincerely,

Bill Fenn

Bill Fenn
Machine Sales Representative

CATERPILLAR Model: 926M SMALL WHEEL LOADER**STANDARD EQUIPMENT**

POWERTRAIN -Axle seal guards -Auto Idle shut down feature -Cat C7.1ACERT engine --Power Modes (Standard and Performance) --Power by Range (High Power in Range 4) --Tier 4 Final/Stage IV compliant --Turbocharged and after cooled --Filtered crankcase breather --Diesel particulate filter --Selective Catalyst Reduction --Coolant protection to -34C (-29F) -Differential lock in front axle -Dry type air cleaner -Enclosed wet disc full hydraulic brakes -Fuel priming pump, automatic -Fuel water separator -Hydraulically driven demand cooling fan -Hydrostatic transmission with electronic -controls --Operator Modes (Default, TC, Hydrostat and -Ice) --Directional Shift Aggressiveness (Fast, -Medium, Slow) --Rim pull control, adjust wheel torque --Creeper control, adjust ground speed -Lubed for life driveshafts -Parking brake, electric -inlet plane cooling package wide 6 fins -per inch density -S-O-S port, engine, coolant, transmission oil

HYDRAULICS -Automatic lift and bucket kick outs, -adjustable in-cab -Bucket and Fork Modes, adjustable in-cab -Cylinder damping at Kickout and -mechanical end stops -Fine Mode control (Fast, Medium, Slow) -in Fork Mode -Hydraulic Response setting (Fast, -Medium, Slow) -Hydraulic diagnostic connectors and -S-O-S ports -Hydraulic sight gauge, visible -Load sensing hydraulics and steering -Seat mounted hydraulic joystick controls

ELECTRICAL -Alternator, 115-amp, heavy duty -12V power supply in cab (2) -Batteries, 1,000 CCA (2) 24 volt system, -disconnect switch -Back up alarm -Emergency shutdown switch -Halogen work lights front and rear, LED -rear stop and turn lights -Heavy duty gear reduction starter -Product Link PRO w/3 year subscription -Remote jump start post -Resettable main and critical function -breakers -Roading lights front and rear

OPERATOR ENVIRONMENT -75 mm (3 in) retractable seatbelt -Automatic temperature control -Cab, enclosed ROPS/FOPS pressurized -and sound suppressed -Cup holders -External heated mirrors with lower -parabolic -Ground level cab door release -Gauges: -- Digital hour meter, odometer and -tachometer -- Digital ground speedometer and -direction indicator -- Engine coolant temperature gauge -- Fuel and Diesel Exhaust Fluid level -indicator -- Hydraulic oil temperature gauge -Hydraulic control lockout -Interior cab lighting, door and dome -Interior rearview mirrors (2) -Lunch box storage -Operator warning system indicators -Radio ready speakers -Rear window defrost, electric -Seat mounted electronic implement -controls, adjustable -Sliding glass on the side windows -Column mounted multi function control --lights, wipers, turn signal -Suspension seat, fabric -Tilt and telescope steering wheel -Tinted front glass -Wet arm wiper/washer, 2-speed and -intermittent, front -Wet arm wiper washer, rear -Large-access enclosure doors with

OTHER STANDARD EQUIPMENT -Large-access enclosure doors with -adjustable close/open force -Parallel lift loader linkage -Recovery hitch with pin -Remote mounted lubrication points -Vandalism protection - -lockable compartments



MACHINE SPECIFICATIONS

Description	Reference No
926M WHEEL LOADER DCA2	452-0842
430-2805 926M WHEEL LOADER	430-2805
430-2945 PREP PACK, NORTH AMERICA	430-2945
430-2823 HYD,3V,COUPLER READY,STD LIFT	430-2823
430-2996 STEERING, STANDARD	430-2996
333-6526 DIFFERENTIAL,LIMITED SLIP REAR	333-6526
430-2855 ENVIRONMENT, STANDARD	430-2855
430-2992 WEATHER, COLD START 120V	430-2992
423-7162 CAB, DELUXE	423-7162
423-7201 SEAT, DELUXE	423-7201
372-1868 RADIO, BLUETOOTH, AUX, MIC	372-1868
366-8148 FENDERS, STANDARD	366-8148
348-2579 COUNTERWEIGHT, HEAVY	348-2579
430-2859 RIDE CONTROL	430-2859
377-5635 CAMERA, REAR VIEW	377-5635
377-5627 LIGHTS, AUX, HALOGEN/HALOGEN	377-5627
TIRES, 20.5R25 MX XTLA * L2	366-6895
INSTRUCTIONS, ANSI, US	430-2963
ENGINE AR	430-3038
PACK, DOMESTIC TRUCK	0P-0210
INLAND FREIGHT	0P-0411
SHIPPING/STORAGE PROTECTION	0P-2266
KIT,SERIALIZED TECHNICAL MEDIA	0P-2491
LANE 1 ORDER	0P-9001
PRODUCT LINK, CELLULAR PL641	454-0589
QUICK COUPLER, FUSION	430-2977
BUCKET, GP, 3.00 YD3, HO, BOCE	360-3323
BUCKET-MP, 103" 2.50 CYD	313-1395

QUICK COUPLER,**FUSION BUCKET, GP, 3.00 YD3, HO****BUCKET-MP, 103" 2.50 CYD**

2016 Caterpillar List Price	\$230,374.00
FREIGHT & DEALER PREP	\$3,918.00
NJPA GOVERNMENTAL DISCOUNT	(\$85,292.00)
SALES TAX EXEMPT (0%)	\$0.00
After Tax Balance	\$149,000.00

WARRANTY

Standard Warranty: 12 Months/Unlimited Hours Full Machine

F.O.B/TERMS

City of Prospect Heights Yard

INCLUDED EXTENDED WARRANTY:

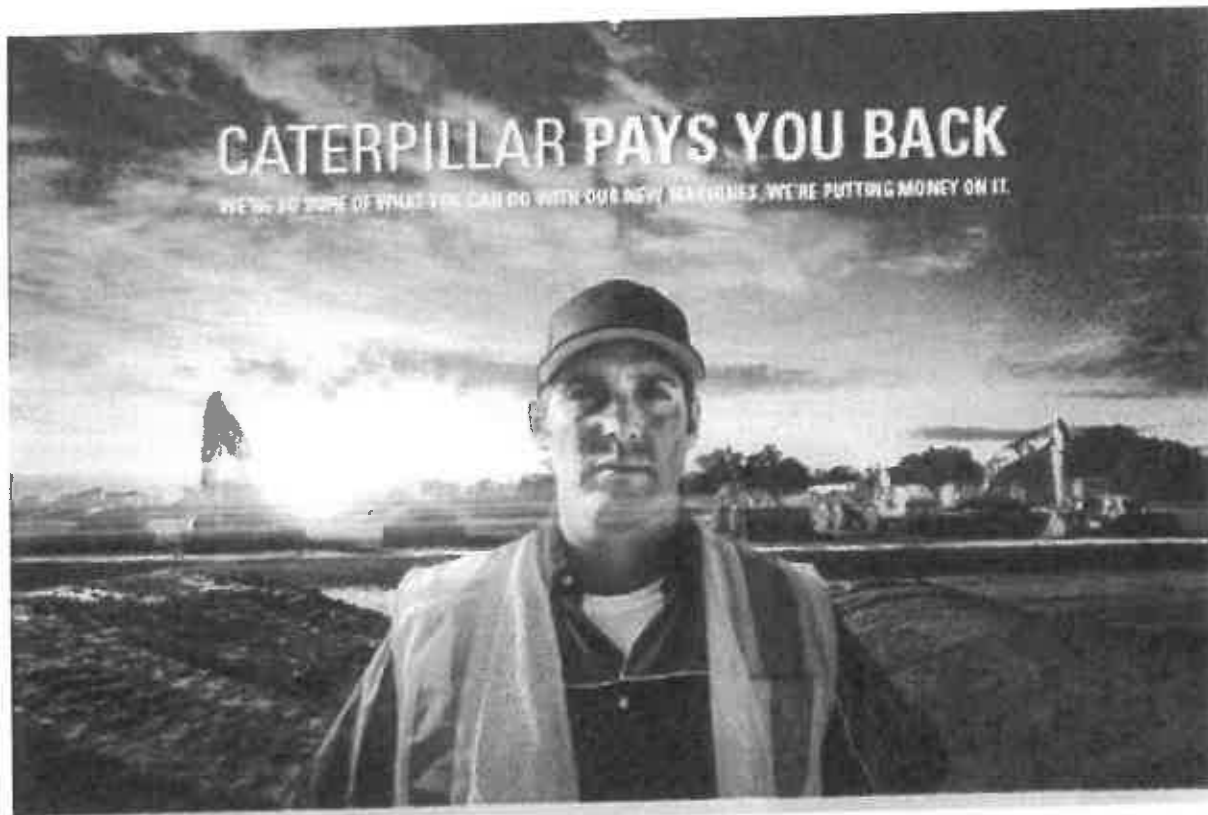
3 YEAR/3,0000 HOUR TOTAL MACHINE COVERAGE

- Delivery is Early 2016

Accepted by _____ on _____

Signature





CATERPILLAR PAYS YOU BACK

WE'RE SO SURE OF WHAT YOU CAN DO WITH OUR NEW MACHINES, WE'RE PUTTING MONEY ON IT.

SPECIAL OFFER ON 100+ ELIGIBLE NEW CAT® MACHINES NOW UNTIL DECEMBER 31, 2015

FUEL CONSUMPTION GUARANTEE

Your money back if your equipment's fuel consumption rate exceeds the guaranteed fuel consumption rate. For three years or 3,000 service hours after your purchase, we'll track your actual fuel burn using Cat® Product Link™ and send quarterly emails comparing the two rates. At the end of each year, if your actual fuel burn exceeds the guaranteed rate, you'll get a credit of 1 USD/gallon or 1 CAD/liter in the form of a Cat Financial Commercial Account Card.

EMSOLUTIONS FLEET REPORTS

Track machine and operator information to make data-driven decisions. Fleet reports pull relevant data from your machine's Product Link—providing trends on run time, idle time, fuel burn, operator-induced faults and more. You can compare your data to industry benchmarks and make changes in how you operate, maintain and service machines to boost efficiency.

PARTS AVAILABILITY GUARANTEE

Get the parts you need within 48 hours or your shipping is free. While you don't always need your parts right away, when you do, more than 95 percent of Cat parts orders are on their way to you in 24 hours or less. And, if they don't get there in 48 hours—shipping is FREE. As part of the program, other Cat equipment in your fleet can be registered for the parts availability guarantee.

Talk to your dealer for more details.

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CAT

926M, 930M, 938M

Wheel Loaders



	926M	930M	938M
Engine Model*	Cat® C7.1 ACERT™	Cat C7.1 ACERT	Cat C7.1 ACERT
Maximum Rated Gross Power:			
ISO 14396	114 kW (153 hp)	122 kW (164 hp)	140 kW (188 hp)
ISO 14396 (DIN)	114 kW (155 hp)	122 kW (166 hp)	140 kW (190 hp)
Bucket Capacity	1.9-5.0 m³ (2.5-6.5 yd³)	2.1-5.0 m³ (2.7-6.5 yd³)	2.5-5.0 m³ (3.3-6.5 yd³)
Full Turn Tip Load	7524 kg (16,587 lb)	8469 kg (18,670 lb)	10 028 kg (22,107 lb)
Operating Weight	13 050 kg (28,770 lb)	14 007 kg (30,879 lb)	16 427 kg (36,216 lb)

*Engine meets U.S. EPA Tier 4 Final/EU Stage IV emission standards.



Meeting Date: December 14, 2015

Item: An Ordinance Declaring Items as Surplus Property

Staff Contact: Joe Wade, City Administrator, 847-398-6070, ext. 202

Purpose: This ordinance declares the 1979 John Deere wheel loader surplus property and authorizes the City Administrator, or designee, to sell the property through sale, auction or any other lawful means.

Background: The December 14 agenda includes a recommendation for purchase of a Caterpillar Model 926M Small Wheel Loader. The City's present 1979 model has experienced mechanical failures and has not been dependable enough to meet the demands of snow incidents and other service demands. As the vehicle loads salt trucks during ice and snow events, its dependability is paramount.

City staff (Public Works, Finance and Administration) initially considered trading this vehicle as part of the recommended Caterpillar purchase. However, the trade-in value does not meet what the City's purchasing committee feels the 1979 model is worth. While the 1979 model does not provide the dependability needed for the City's use, it could be valuable for snow clearance at commercial parking lots.

Analysis: As part of the Caterpillar purchase, the Company offered \$2,400 trade value. Public Works has examined the used equipment market, and believes that with some reinvestment in the wheel loader, through parts and Public Works vehicle maintenance labor, the vehicle may have a value of \$10,000-\$20,000 through sale or auction.

Financial Impact: Staff believes an investment in the equipment of less than \$2,000, parts and labor, will garner a vehicle sale through sale or auction of \$10,000-\$20,000.

Staff Recommendation: The ad hoc vehicle purchase committee, Public Works Foreman, Finance Director and City Administrator recommend investment in parts and labor to restore the vehicle to sale condition, and to authorize sale through sale, auction or other lawful means.

ORDINANCE NO. O-15-

ORDINANCE DECLARING ITEMS AS SURPLUS PROPERTY

WHEREAS, the City Council has determined according to State Statute that there exists certain personal property owned by the City that is no longer necessary or useful to the City and is hereby declared to be surplus property;

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF PROSPECT HEIGHTS, ILLINOIS, as follows:

SECTION 1: That pursuant to Section 11-76-4 of the Illinois Municipal Code, 65 ILCS 5/11-76-4, the City Council finds the following property to be no longer being necessary or useful to the City and is hereby declared surplus property:

1979 John Deere Wheel loader Model 544B VIN# 00359079

SECTION 2: That pursuant to the authority of Section 11-76-4 of the Illinois Municipal Code, 65 ILCS 5/11-76-4, the City Council hereby authorizes and directs the City Administrator or his designee to dispose of said surplus property in any manner he sees fit which may include the negotiated sale of the above property, or any other lawful means. The City Administrator need not advertise the property for sale.

SECTION 3: This Ordinance shall be in full force and effect from and after its passage, approval and publication in pamphlet form.

AYES:

NAYS:

ABSENT:

PASSED this _____ day of _____, 2015.

APPROVED this _____ day of _____, 2015.

Nicholas J. Helmer, Mayor

ATTEST:

Wendy Morgan-Adams, City Clerk

Published in pamphlet form _____, 2015.



City of Prospect Heights

Department of Building & Zoning
8 North Elmhurst Road, Prospect Heights Illinois, 60070-6070
Office: 847/398-6070 x 211-FAX: 847/590-1854
www.prospect-heights.il.us

12F

MEMORANDUM

Date: December 11, 2015
To: Mayor Helmer and City Council
Cc: Joe Wade, City Administrator
From: Daniel A. Peterson, Director of Building & Development
Subject: ZBA Case No. 15-10 SU/V: Approving a Subdivision and Granting a Special Use and Variations for 215 South Elmhurst Road (Chase Bank)

ISSUE: The redevelopment of 215 S. Elmhurst Road for a Bank with Drive-through Lanes for Chase Bank. The applicant is seeking approval of a Subdivision, Special Use Permit and Variations for the development of a Chase Bank on the subject property.

BACKGROUND: The PZBA held a public hearing and a public meeting on November 19, 2015 to hear ZBA Case #15-10 to consider and application from Tim Maseck, The Architects Partnership on behalf of Chase Bank the contract purchaser of the property. The applicant was seeking the following approvals:

- A. Approval of an application for a Special Use Permit and Variations for the proposed redevelopment of 215 S. Elmhurst Road. (Public Hearing)
 1. Special Use Permit to allow a bank with drive-in facilities in the B-2A General Commercial District which is an allowable special use per Section 5-7-3C of the City of Prospect Heights Zoning Code.
 2. Variation to allow the reduction of the required Transitional Yard adjacent to a side yard and rear yard from 15' to 6' 3" along the east and north property lines as required by Section 5-7-3F5a and 5-7-3F5c of the Prospect Heights Zoning Code.
 3. Variation to allow a 25' high parking light pole in excess of the maximum 12' high requirement per Section 5-8-2F8a of the City of Prospect Heights Zoning Code.
 4. Variation to allow an average of 4.24 foot candle parking lot light level in excess of the maximum 3.0 foot candle level per Section 5-8-2F8c of the City of Prospect Heights Zoning Code.
- B. Approval of an application for the subdivision and redevelopment of 215 S. Elmhurst Road seeking the following approvals. (Public Meeting)
 1. Preliminary and Final Engineering Approval per Section 6-3-3 of the Prospect Heights Zoning Code

2. Preliminary and Final Plat Approval per Section 6-3-2 and Section 6-3-4 of the Prospect Heights Zoning Code.
3. Appearance Review Approval per Section 4-14-9 of the Prospect Heights Zoning Code.

The PZBA heard testimony from the applicant, representatives from Chase Bank and adjoining residential neighbors. The applicants testified that they would be amending their application for zoning relief for maximum pole heights and maximum foot candle light levels. The amended variation was for a maximum pole height of 14' instead of 25' and a maximum light level of 4.0 foot candles instead of 4.24. The corrections were noted and supported by testimony.

The residential neighbors raised concerns regarding lighting, noise, security, 24-hour traffic and landscaping. The applicant addressed the concerns and agreed to the condition from the PZBA to install an 8' foot tall double-sided solid wood fence to restrict automobile light spillage and provide added noise buffering.

ACTION: After all testimony and discussion the PZBA voted 5-0 on each item to recommend to the City Council approval of the redevelopment project for 215 S. Elmhurst Road.

- A. Special Use Permit to allow a Bank with Drive Through-Lanes in a B-2A General Commercial District.
- B. Approve the variations as amended.
 1. Reducing the required Transitional Yard from 15' to 6'3" along the north and east property lines.
 2. Allow for parking lot pole height to a maximum of 14' in height in excess of the maximum 12'.
 3. Allow for the average of 4.0 foot candle light level in excess of the 3.0 foot candle light level.
- C. Approval of Appearance Review, Preliminary and Final Plat, and Engineering with the fence condition.

Staff concurs with the recommendation of the PZBA and forwards their recommendation to the City Council. The PZBA has reviewed the draft minutes and indicated they will approve them at the next regular PZBA meeting.

RECOMMENDATION: Approve Ordinance #O-15-32 Approving a Subdivision and Granting a Special Use and Variations for 215 South Elmhurst Road

ORDINANCE No. O-15-32

**AN ORDINANCE APPROVING A SUBDIVISION and
GRANTING A SPECIAL USE AND VARIATIONS FOR 215 SOUTH ELMHURST ROAD**

WHEREAS, The Architect Partnership, (Petitioner), and Chase Bank (Contract Purchaser) have filed an application for a special use permit, certain variations and a plat of subdivision for the purpose of redeveloping the property to construct an approximately 6,000 square foot single story bank with three drive through lanes at the property commonly known as 215 S. Elmhurst Road, Prospect Heights, Illinois and legally described in Exhibit A (the "Property"); and

WHEREAS, the Zoning Ordinance requires a Special Use Permit to for a Bank with Drive Through Lanes in the B2-A General Commercial District; and

WHEREAS, the Zoning Ordinance requires that:

1. Transitional Yards shall be a minimum of 15' for side and rear yards for properties in the B-2A General Commercial District adjacent residential district properties.
2. Light poles for parking lot lighting shall be a maximum of 12' in height from grade.
3. Light levels from site lighting shall not exceed a maximum level of 3 foot-candle measured at grade under the fixtures.

WHEREAS, The Applicant and Contract Purchaser also applied for the following variations ("Requested Variations"):

1. Reduction of the required Transitional Yard from 15' to 6' 3" for side and rear yards on the North and East property lines.
2. Increase of parking light poles from 12' to 14' from grade.
3. Increase in maximum foot candle light level from 3 foot candle maximum to an average of 4.0 foot candle.

WHEREAS, the Planning Zoning Board of Appeals (PZBA) held a public hearing on November 19, 2015, regarding said application; and

WHEREAS, the PZBA has found the application meets the standards for a special use permit, the Requested Variations and the requested subdivision and has recommended that the City Council grant such relief; and

WHEREAS, the Mayor and City Council have reviewed the documents pertinent to the application and the recommendations of the PZBA, concurs with the findings of the PZBA and hereby grants special use permit, Requested Variations and the subdivision;

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF PROSPECT HEIGHTS, COOK COUNTY, ILLINOIS as follows:

SECTION ONE. The City Council hereby finds and determines that the facts and conditions set forth in the above recitals are true and correct and hereby adopts same as part of this Ordinance.

SECTION TWO. That a Special Use Permit is hereby granted for a Bank with Drive Through Lanes in the B2-A General Commercial District on the Property and shall run with the use and not with the land.

SECTION THREE. The Requested Variations are hereby granted.

SECTION FOUR. Pursuant to Applicant's subdivision application, the Final Plat of Subdivision prepared by V3 dated October 15, 2015, attached hereto as Exhibit "B", is hereby

SECTION FIVE. The above approvals are granted on the following conditions:

1. The proposed bank including the parking lot, parking light poles and light fixtures shall be constructed substantially in accordance with the plans submitted at the public hearing on this matter including, but not limited to, the following documents:

- ALTA/ACSM Topographical Survey prepared by V3 dated 10/07/2015

- Architectural Site Plan prepared by The Architect's Partnership dated 10/19/2015
 - Traffic Plan and Layout prepared by V3 dated 10/19/2015
 - Final Engineering Plans prepared by V3 dated 10/19/2015
 - Exterior Elevations prepared by The Architects Partnership dated 10/19/2015
 - Landscape Plan prepared by The Architects Partnership dated 10/16/2015
 - Photometric Plan prepared by Eaton Application Engineers dated 11/9/2015
2. The fence along the North and East property lines shall be constructed as a double sided solid wood fence 8' in height with metal poles.
 3. Applicant's construction of the parking lot, parking light poles and light fixtures substantially in accordance with the approved plans and documents submitted at the public hearing on this matter.
 4. The development shall be constructed in accordance with all applicable City, County, State and Federal codes, standards and regulations.

SECTION SIX. All appropriate city officials are authorized to execute the final plat of subdivision. The City Administrator and his designees are authorized to take all necessary action to carry out the purpose of this ordinance.

SECTION SEVEN. That this Ordinance shall be in full force and effect from and after its passage and approval as provided by law.

PASSED this _____ day of _____, 2016

APPROVED this _____ day of _____, 2016

ATTEST:

Nicholas J. Helmer, Mayor

Wendy Morgan-Adams, City Clerk

AYES:

NAYS:

ABSENT:

Published in pamphlet form:

Exhibit A

Legal Description of 215 S. Elmhurst Road, Prospect Heights, IL

LOTS 7 AND 8 IN BLOCK 7 IN PROSPECT HEIGHTS MANOR UNIT 2, BEING A SUBDIVISION OF THE WEST HALF OF THE NORTHEAST QUARTER OF SECTION 27, TOWNSHIP 42 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, (EXCEPT THE NORTH HALF OF THE NORTHWEST QUARTER THEREOF) ACCORDING TO THE PLAT THEREOF RECORDED JANUARY 7, 1946 AS DOCUMENT NUMBER 13691417 IN COOK COUNTY, ILLINOIS, EXCEPTING FROM THE AFORESAID TRACT THAT PART OF LOT 8 BOUNDED AND DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHWEST CORNER OF SAID LOT 8 IN

Exhibit B

Final Plat of Subdivision prepared by V3 dated October 15, 2015

Memorandum

To: Prospect Heights Mayor and City Council

From: Mark Roscoe – Chairman Pro-tem
Plan / Zoning Board of Appeals

Date: December 4, 2015

Subject: Recommendation

A. PZBA – Zoning Public Hearing: Case No. ZBA-15-10SU/V

Applicant: The Architects Partnership LTD
Address: 215 S. Elmhurst Rd Prospect Heights, IL 60070
Consideration of Special Use Permit and Variations

B. Plan Commission Public Meeting: Case No. ZBA-15-10SU/V

Applicant: The Architects Partnership LTD
Address: 215 S. Elmhurst Rd Prospect Heights, IL 60070
Consideration of Final Plat, Engineering, Appearance Review, Landscaping and
Photometric Plans

I. Purpose

- A. Conduct a public hearing regarding an application for a Special Use Permit and Variations for the proposed redevelopment of 215 S. Elmhurst Road.
 - a. Special Use Permit to allow a bank with drive-in facilities in the B-2A General Commercial District which is an allowable special use per Section 5-7-3C of the City of Prospect Heights Zoning Code.
 - b. Variation to allow the reduction of the required Transitional Yard adjacent to a side yard and rear yard from 15' to 6' 3" along the east and north property lines as required by Section 5-7-3F5a and 5-7-3F5c of the Prospect Heights Zoning Code.
 - c. Variation to allow a 25' high parking light pole in excess of the maximum 12' high requirement per Section 5-8-2F8a of the City of Prospect Heights Zoning Code.
 - d. Variation to allow an average of 4.24 foot candle parking lot light level in excess of the maximum 3.0 foot candle level per Section 5-8-2F8c of the City of Prospect Heights Zoning Code.
- B. Conduct a public meeting regarding an application for the redevelopment of 215 S. Elmhurst Road seeking the following approvals.
 - a. Preliminary and Final Engineering Approval per Section 6-3-3 of the Prospect Heights Zoning Code

- b. Preliminary and Final Plat Approval per Section 6-3-2 and Section 6-3-4 of the Prospect Heights Zoning Code.
- c. Appearance Review Approval per Section 4-14-9 of the Prospect Heights Zoning Code.

II. Comments and Testimonies

Mr. Timothy Maseck, The Architects Partnership, (applicant), Tom Maffett and Jon Christof of Chase Bank, (contract purchasers) were sworn in and provided testimony related to the redevelopment project and improvements being proposed. Timothy Maseck, testified that they were seeking to amend their variance requests for lighting poles and lighting output. They are requesting only a 2' height variation to 14' reduced from 25' as originally requested. This also results in a reduction in the light level and they requested a reduction from 4.24 foot candle average output to 4.0 foot candle average lighting level.

Mr. Maseck also described in detail the building materials, fencing, lighting, landscaping and that the site will increase green area by almost double.

Melissa Khomutova at 210 S. Maple Lane, Prospect Heights was sworn in and provided testimony and questions of the petitioner. Her issues related to lighting, pole heights, noise, 24 hour traffic and safety. She was concerned specifically about noise from vehicles. The applicant addressed the concerns raised.

Paul & Joan Calderone at 214 S. Maple Lane, Prospect Heights were sworn in and provided testimony and asked questions of the petitioner. Mrs. Clederone was concerned about possible encroachment onto her property, lighting, vehicle safety and parking impacts. The applicant addressed the concerns. Specifically, that there would be no encroachment onto her property, not changing in property lines. New 8' fence to be installed in the same location.

John & Carol Lorek at 206 S. Maple Lane, Prospect Heights were sworn in and provide testimony. Mrs. Lorek was concerned about the wooden fence and if it would provide safety to her adjoining property. She asked about the installation of a concrete fence. She expressed her concern about garbage truck noise and snow plowing noise during overnight hours. The applicant addressed the fence issue and Chairman Pro-tem Roscoe and Director Peterson addressed the garbage hours and process for reporting complaints.

Jackie Hipelius at 209 S. Elmhurst Rd, Prospect Heights was sworn in and provided testimony. Mrs. Hipelius raised concerns about safety and asked if there were going to be security cameras. She also said the design lacked pizzaz and need more decorative features and she offered her assistance. The applicant indicated yes, there would be security cameras. He also stated that the planting and landscaping and such is design to allow people to see into the bank as safety security design feature.

III. Board and Staff Comments

Chairman Pro-Tem Roscoe indicated that the project looked bland on two dimensional elevation views, but there are four exterior materials being installed and a variety of landscape materials that don't presently exist on the property.

Commissioner DeGraf raised the issues of building materials and types of fencing that could be installed to reduce headlight spillage and provide sound buffering. After discussion with the applicant it was determined that the building materials were adequate. However, it was requested that the applicants would change the fence style to a double-sided solid wood fence instead of the board on board as proposed. They agreed.

Commissioner Dash raised similar issues about building materials. Her questions were answered by the applicants and Director Peterson.

IV. Decisions and Findings

After testimony and discussion the decision and findings of the PZBA were to approve:

- A. Approve the Special Use for a Band with Drive Through Facilities in an R-1 Single Family District
- B. Approve a variation for the reduction of the Transitional Yard as proposed.
- C. Approve a variation for Light Poles to be a maximum of 14' in height instead of 12' in height as required.
- D. Approve the maximum light level to be an average of 4.0 foot candle instead of the 3.0 foot candle per code.
- E. Approve Appearance Review, site plan, landscape plan and photometric plan. With the condition that the fence be an 8' double-sided solid wood fence with steel posts.
- F. Approve the Final Plat and lot consolidation
- G. Approve Preliminary and Final Engineering.

All items were approved unanimously 5-0 by the PZBA, recommending that the City Council approval.

Respectfully Submitted

**City of Prospect Heights
Plan/Zoning Board of Appeals
November 19, 2015**

The regular meeting of the Plan/Zoning Board of Appeals was called to order at 7:00 pm by Chairman Pro-Tem Roscoe, at City Hall, 8 N. Elmhurst Road, in Prospect Heights, Illinois.

ROLL CALL:

Present: Commissioners Frank-Watson, Tammen, Dash, DeGraf and Roscoe
Absent: Commissioners Wienold and Jones, by prior notice.

Present at the meeting: Director of Building & Development Daniel A. Peterson and Administrative Assistant Julie Malik-Mordian.

Selection of Chairman Pro-Tem

Motion made by Commissioner Tammen, seconded by Commissioner DeGraf, for approval of selection of Mark Roscoe Chairman Pro-Tem on November 19, 2015.

APPROVAL OF October 22, 2015 MINUTES

Motion made by Commissioner Dash, seconded by Commissioner Frank-Watson, to approve the meeting minutes from October 22, 2015 as presented. The motion was approved by a roll call vote.

ROLL CALL VOTE:

AYES: Commissioners Tammen, Frank-Watson, Roscoe, Dash and DeGraf
NAYS: None
ABSENT: Commissioners Wienold and Jones, by prior notice.
ABSTAIN: None
Motion carried.

Zoning Public Hearing: Case No. ZBA-15-10SU/V – Was Called to Order:

Applicant: The Architects Partnership LTD

Address: 215 S. Elmhurst Rd Prospect Heights, IL 60070

Requesting the following approvals;

- A. Special Use Permit to allow a bank with drive-in facilities in the B-2A General Commercial District which is an allowable special use per Section 5-7-3C of the City of Prospect Heights Zoning Code.
- B. Variation to allow the reduction of the required Transitional Yard adjacent to a side yard and rear yard from 15' to 6' 3" along the east and north property lines as required by Section 5-7-3F5a and 5-7-3F5c of the Prospect Heights Zoning Code.
- C. Variation to allow a 25' high parking light pole in excess of the maximum 12' high requirement per Section 5-8-2F8a of the City of Prospect Heights Zoning Code.
- D. Variation to allow an average of 4.24 foot candle parking lot light level in excess of the maximum 3.0 foot candle level per Section 5-8-2F8c of the City of Prospect Heights Zoning Code.

Chairman Roscoe entered the following exhibits into the record:

- ZBA Exhibit 1: Application
- ZBA Exhibit 2: Letter of Request
- ZBA Exhibit 3: City has Received Proof of Ownership
- ZBA Exhibit 4: Topographic Survey
- ZBA Exhibit 5: Notice & List of Property Owners
- ZBA Exhibit 6: Final Plat of Subdivision
- ZBA Exhibit 7: Site Plan – Paving Plan
- ZBA Exhibit 8: Traffic Memorandum, Layout & Paving & Fire Truck Route
- ZBA Exhibit 9: Engineering Plans
- ZBA Exhibit 10: Exterior Elevations
- ZBA Exhibit 11: Landscaping
- ZBA Exhibit 12: Photometric
- ZBA Exhibit 12A: Revised Photometric

Mr. Peterson stated that the vacant Social Security building on 215 S. Elmhurst Road is the subject property at question. The applicants are The Architects Partnership and Chase Bank who is the contract purchaser of the property; they are proposing redevelopment of the site which includes the removal of the existing building, updating the parking lot, re-engineering, increase the landscape area and constructing a new building.

Chairman Pro-Tem Roscoe swore in Tim Meseck of The Architects Partnership, 122 S. Michigan Ave, Chicago, IL 60603

Chairman Pro-Tem Roscoe swore in Tom Maffett of Chase Bank, 111 E. Court St. Flint, MI 58402

Chairman Pro-Tem Roscoe swore in Jon Christof of Chase Bank, 659 Valley Park Drive, Libertyville, IL 60048

Mr. Meseck stated we're excited of the redevelopment of this site and ready to start the project. Chase Bank currently exists south of the site and across the street which is a full service branch. The site has drive through lanes which are underneath the building and is looking to relocate to the location at the northeast corner on the same intersection. We're looking to create a banking center that is state of the art and custom to this location and to allow Chase to advance they're banking operations. We want to continue to service the current customer base in the area.

We're looking to demolish the existing 16,000 sq. ft. building and proceeding with construction of a 6,000 sq. ft. single story building. The access points on the site will not change on the Chase parcel. We are proposing a reduction of parking spaces to 36 spaces located south and west of the building. The drive through lanes will be in the back of the building. We have three ATM lanes and all transactions can be done at the ATM. There is a bypass lane in case the traffic backs up if people need to get around the building or for Fire Truck access. The landscaping area will be increasing from 3,100sq.ft. to 7,700sq. ft. of green space area. This would be for additional landscaping and sod. We're also bringing the site up to the current storm water requirements and upgrading the green space with a rain garden area and also have underground detention.

The trash enclosure is located at the northeast of the site at the back of the building. The trash enclosure is masonry on all three sides with wood doors and is completely enclosed. Also we have provided access for the trash pickup and snow storage would be in the same area. An 8ft. high wood fence on the eastside and northside of the site is proposed. The reason why we're proposing the 8ft. high wood fence is to block any glare from headlights from the night time hours would be reduced and the safety concerns for the customers & access to the site. The site photometric has a 0.0 ft. candle at the property line; there will be no light trespass from the light fixtures off to the other properties.

We are proposing a reduction from 25ft. high fixtures down to a 14ft. fixture. We've been working with our lighting engineer to review the height of the fixtures and the requirements that are required to provide for the ATM Safety and Security act. The four ATMs need to have a 10ft. candle at the face of the ATM and 2ft. candles within 50ft., we are trying to accomplish the site pole lighting fixtures and wall pack fixtures on the building. We are proposing a reduction in our request for the average foot candles throughout the site from 4.24ft. candles to an average of under 4.0ft.

Mr. Peterson stated that we will update the Agenda for Variation C, which will reduce the variance request from 25ft. light poles to a 14ft. high parking lot light poles and Variation D to allow an average of 4.0 ft. candle parking lot light level.

Mr. Meseck highlighted another improvement of the site which is increasing the pedestrian access to the building. Currently we have two public walks along the right-of-way which we will maintain. We're producing two connections points to the building to make a safe way to the branch, which are to the south and west. The monument sign is located on the corner and that would be a ground mounted sign.

Chairman Roscoe asked what you are doing about the side yard, we have fencing on the north and east side, do we have additional landscaping?

Mr. Meseck answered as part of the improvements; we took a look at the site planning and we wanted to make an effort to provide necessary for parking, provide the necessary square footage on the building and a safe condition for access for the drive through area. At the back of the building is dark corner and what we're going to provide a new landscape of trees, shrubs & flowers in the setback area.

Chairman Roscoe swore in Melissa Khomutova at 210 S. Maple Lane Prospect Heights, IL 60070

Mrs. Khomutova asked, Are the 14 ft. parking light poles measured from ground level?

Mr. Peterson answered according to our Code its 14ft. from ground level.

Mrs. Khomutova stated that she did not like the lights which are inside of the building and the lights and asked if the lights in the building will be on for 24 hours?

Mr. Meseck answered the signage glare will only come from the wall signs on the south and west side of the building not in the back of the site. The front open office will have lights and the emergency lighting which may be seen outside the building. The exterior

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site lighting is aimed straight down onto the property and not angled onto the adjacent properties.

Mrs. Khomutova asked about noise pollution?

Mr. Meseck answered we are using the fence to break any direct sound and shrubs in the area and yes there will be customer traffic.

Mrs. Khomutova asked about garbage pickup?

Chairman Pro-Tem Roscoe answered it will be during normal business hours and not before 7:00am.

Mr. Peterson stated we have a contract with Republic Services and if there is any complaints please contact the City of Prospect Heights Building Department.

Mrs. Khomutova asked what about cars going through wood fences; I don't think a fence is going to stop a car?

Mr. Meseck answered we have 6 inch curbs and I understand it's not going to stop a vehicle at a high rate of speed. Once customers access into the parking lot, the traffic should start to slow down. We also have signage on site denoting the drive through and denoting the do not enter, so were trying control traffic through signage.

Chairman Pro-Tem Roscoe swore in Paul & Joan Calderone at 214 S. Maple Lane Prospect Heights, IL 60070

Mrs. Calderone stated we are right on the corner of RT 83 and Euclid Ave, the lighting is a concern, as well as, the loud noise and safety concern of our children. Everything in this area will affect us. We live across from Randhurst Mall; we hear everything that goes on across the street and the noise goes right into our backyard. Plus you want to build into our backyard; you're coming inward from Euclid Ave.

Chairman Pro-Tem Roscoe stated the properties have the same foot print and the location of the fence line will remain as has been since the Social Security Building was built.

Commissioner Dash explained that the new fence will be in the same location and only be replaced. It's not going to be any closer to your home and the fence will be 8ft. high.

Chairman Pro-Tem Roscoe explained that the existing building will be demolished and the new building will be further away from your property except it will have the drive through lanes.

Chairman Pro-Tem Roscoe swore in John & Carol Lorek at 206 S. Maple Lane Prospect Heights, IL 60070

Mrs. Lorek stated I'm very concerned about the wood fence, I'm just wondering why it can't be a concrete fence? I'm also concerned about the noise and traffic I believe it would be better to have a concrete fence versus a wood fence. I'm concerned about car radios at night that might be loud and also the garbage trucks when they pick up the

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trash they also make a lot of noise. Also the green area it seems to be very little landscaping next to the fence on the eastside.

Chairman Pro-Tem Roscoe explained there will be a landscaping print which shows a little bit of activity in that area and a concrete fence is not something you typically see versus a wooden fence.

Mr. Meseck stated that there are three trees along the east set back; we are showing Maple and Birch trees along the site. We could use some Juniper shrubs and plants in the back corner to help with the noise.

Mrs. Lorek asked what about the bank alarm going off?

Chairman Pro-Tem Roscoe explained hopefully that won't be an issue and I'm sure the bank will keep being a good neighbor not having alarms going off.

Mrs. Khomutova asked when construction starts is there a specified area for the trucks to park, what if they park all down our street and how long will the construction take to build how many months?

Mr. Meseck explained the duration of the construction is typically around 6-8month range, we do have a lot of site work. We can defiantly work with them regarding the parking situation and to make sure they park in the appropriated areas.

Mr. Peterson stated we do address these types of concerns with construction projects which is part of the process of the pre-construction meeting with the Building Department has with all contractors. We talk about our construction hours and days when construction is permitted. We try to lessen the impact during the construction period.

No Further Testimony – The Public Hearing was closed.

A. Requesting Approvals for: Special Use Permit

Motion made by Commissioner Dash, seconded by Commissioner Tammen.

ROLL CALL VOTE(S): Each Item was voted on separately with anonymous approval.
AYES: Commissioners Tammen, Frank-Watson, Roscoe, Dash and DeGraf

NAYS: None

ABSENT: Commissioners Wienold and Jones, by prior notice.

ABSTAIN: None

Motion carried.

B. Requesting Approvals for: Variation to allow the reduction of the required Transitional Yard

Motion made by Commissioner DeGraf, seconded by Commissioner Frank-Watson.

ROLL CALL VOTE(S): Each Item was voted on separately with anonymous approval.
AYES: Commissioners Tammen, Frank-Watson, Roscoe, Dash and DeGraf

NAYS: None

ABSENT: Commissioners Wienold and Jones, by prior notice.

ABSTAIN: None

Motion carried.

Draft

C. Requesting Approvals for: Variation change from a 25' to 14' high parking lot light pole

Motion made by Commissioner Tammen, seconded by Commissioner Dash.

ROLL CALL VOTE(S): Each Item was voted on separately with anonymous approval.
AYES: Commissioners Tammen, Frank-Watson, Roscoe, Dash and DeGraf
NAYS: None
ABSENT: Commissioners Wienold and Jones, by prior notice.
ABSTAIN: None
Motion carried.

D. Requesting Approvals for: Variation to allow an average of 4.0 ft. candle parking lot light level

Motion made by Commissioner Frank-Watson, seconded by Commissioner Dash.

ROLL CALL VOTE(S): Each Item was voted on separately with anonymous approval.
AYES: Commissioners Tammen, Frank-Watson, Roscoe, Dash and DeGraf
NAYS: None
ABSENT: Commissioners Wienold and Jones, by prior notice.
ABSTAIN: None
Motion carried.

Plan Commission Public Meeting: Case No. ZBA-15-10SU/V

Applicant: The Architects Partnership LTD

Address: 215 S. Elmhurst Rd Prospect Heights, IL 60070

Requesting the following approvals; was called to order.

- A. Preliminary and Final Engineering Approval per Section 6-3-3 of the Prospect Heights Zoning Code.
- B. Preliminary and Final Plat Approval per Section 6-3-2 and Section 6-3-4 of the Prospect Heights Zoning Code.
- C. Appearance Review Approval per Section 4-14-9 of the Prospect Heights Zoning Code.

Mr. Meseck described the proposed appearance of the building and site. We are building a single story building with the main entrance facing Euclid Ave to the south. It has clear glass storefront consistent with commercial construction. We're denoting the hard corner with a massing with a metal material to match the remainder of the building. The main part of the building is brick veneer a commercial brick, which is a standard size brick with a cast stone base for the building.

The entry doors on the sides of the building will be painted to match the EIFS and the metal paneling material. We will be providing durable materials along four sides of the building, so it's constant. We are screening the roof top units by the building elements, thus the reason for the higher parapet. There are three roof top units which height is hidden behind the parapet; you will not see them through the adjacent properties.

Draft

Commissioner DeGraf asked if our code only allowed Dryvit or Exterior Finish Insulation System (EIFS) to be used as accent pieces not necessarily full surface exterior material, is that correct?

Director Peterson answered our code does state that it should be used for accenting and not primary material.

Commissioner DeGraf explained that he did some homework and drove around to the other Chase branches in Chicago, Mt. Prospect on Rand Rd., Park Ridge and Spring Grove. None of these facilities had a lot of Dryvit on them; those buildings had a lot of rock, brick or stone design. This one looks more like an economy Chase on our corner, more than an architectural Chase like the other buildings that have been built in the area.

Mr. Meseck explained the intent here was to break up the massing and the materials. The preference is to use masonry materials with EIFS; we've had success with EIFS and used it on many buildings. We would be open to use alternate materials with masonry as part of the consideration if necessary. I think the EIFS could be successful but we could provide masonry with EIFS with similar banding or break up of the massing of the building in a similar way.

Commissioner Dash asked Director Peterson, are you saying that the ordinance doesn't have the percentage of materials for the exterior of the building?

Director Peterson explained, No the current code as it is written, is very generic in terms of that area and basically says it should be mainly used as accents but no percentages are given.

Chairman Pro-Tem Roscoe stated that on the front which is the south and the west, it's definitely lacking of bit of pizzazz and interest for a bank. On the north and east we're not really concerned since there will be a fence around the property, so there is not much to see.

Mr. Meseck explained the intent was to keep it with the design intent of the ordinance and requirements. Part of this is massing for the metal panel system at the main corners, the main face of the building. We tried to break it up so we do have the accent material. Signage will meet City codes and be located on Euclid and Elmhurst Rd.

Commissioner DeGraf stated that the only concern is the fence, I would like to see maybe put up a brick fence or half wood and brick for the safety and sound of the residents or double solid wood fence.

Director Peterson referenced detail and explained how a double-sided solid wood fence, would be compared to a standard board on board fence as proposed Chase Bank agreed to install the double-sided solid wood fence with metal poles.

Chairman Pro-Tem Roscoe swore in Jackie Hipelius at 209 S. Elmhurst Rd Prospect Heights, IL 60070

Mrs. Hipelius asked is there going to be any surveillance?

Mr. Meseck answered we do have security camera's at the drive through area.

Draft

Mrs. Hipelius stated that the building needs a little more pizzazz.

Chairman Pro-Tem Roscoe replied we need more landscaping on the elevation, it's very plain looking and being on the corner it needs more green.

Public Meeting Ended – Discussion

The Commissioners discussed the proposed change to the fence that would change it from a standard board on board to a double-sided solid wood fence with steel posts and agreed to make that a condition of approval.

There was no further discussion. Chairman Pro-Tem Roscoe sought motions to approve.

A. Requesting Approvals for: Preliminary and Final Engineering

Motion made by Commissioner Tammen, seconded by Commissioner DeGraf.

ROLL CALL VOTE(S):

AYES: Commissioners Tammen, Frank-Watson, Roscoe, Dash and DeGraf

NAYS: None

ABSENT: Commissioners Wienold and Jones, by prior notice.

ABSTAIN: None

Motion carried.

B. Requesting Approvals for: Preliminary and Final Plat Approval

Motion made by Commissioner Dash, seconded by Commissioner Frank-Watson.

ROLL CALL VOTE(S):

AYES: Commissioners Tammen, Frank-Watson, Roscoe, Dash and DeGraf

NAYS: None

ABSENT: Commissioners Wienold and Jones, by prior notice.

ABSTAIN: None

Motion carried.

C. Requesting Approvals for: Appearance Review, Site Plan and Landscape Plan Approval per Section 4-14-9 with a double-sided solid wood fence with steel posts.

Motion made by Commissioner Dash, seconded by Commissioner DeGraf.

ROLL CALL VOTE(S):

AYES: Commissioners Tammen, Frank-Watson, Roscoe, Dash and DeGraf

NAYS: None

ABSENT: Commissioners Wienold and Jones, by prior notice.

ABSTAIN: None

Motion carried.

COMMUNICATIONS – Director Peterson provided the following communications.

1. No Meeting in December
2. Status of 4 major projects: Greenbrier Assisted Living Building
Brookdale Senior Center Addition
Rand Self Storage Building
Police Department Shooting Range

Draft

3. Welcome Scott DeGraf

OLD BUSINESS

None

NEW BUSINESS

None

ADJOURNMENT

The November 19, 2015 Plan/Zoning Board of Appeals meeting was adjourned by unanimous voice vote, at 8:55pm with a motion made by DeGraf and seconded by Commissioner Tammen.

Respectfully Submitted,

Julie Malik-Mordian, Recording Secretary

PZBA Meeting

November 19, 2015

- I. Agenda
- II. Minutes
- III. Staff Reports – Zoning & Engineering
- IV. Exhibits

EXHIBITS LIST			
No.	Date	Application #	Description
1	10-30-15	#15-10SU/V	Application
2	10-19-15		Letter of Request
3	10-22-15		City has Received Proof of Ownership
4	8-18-15		Topographic Survey
5	10-29-15		Notice & List of Property Owners
			Green Cards
6	10-19-15		Final Plat of Subdivision
7	10-19-15		Site Plan – Paving Plan
8	10-19-15		Traffic Memorandum, Layout & Paving & Fire Truck Route
9	10-16-15		Engineering Plans
10	10-19-15		Exterior Elevations
11	10-16-15		Landscaping
12	10-16-15		Photometric
12A	11-9-15		Revised Photometric
			*No Staff Review Comments Due to
			Lateness of receipt of Revised Plans.
			Received 11/12/15

AGENDA
November 19, 2015

PLAN/ZONING BOARD OF APPEALS
Prospect Heights City Hall
8 North Elmhurst Road – 7 p.m.

- I. Call to Order**
- II. Roll Call**
- III. Selection of Chairman Pro-Tem**
- IV. Approval of Minutes**
October 22, 2015
- V. PZBA – Zoning Public Hearing: Case No. ZBA-15-10SU/V**
Applicant: The Architects Partnership LTD
Address: 215 S. Elmhurst Rd Prospect Heights, IL 60070
Requesting the following approvals;
 - A. Special Use Permit to allow a bank with drive-in facilities in the B-2A General Commercial District which is an allowable special use per Section 5-7-3C of the City of Prospect Heights Zoning Code.
 - B. Variation to allow the reduction of the required Transitional Yard adjacent to a side yard and rear yard from 15' to 6' 3" along the east and north property lines as required by Section 5-7-3F5a and 5-7-3F5c of the Prospect Heights Zoning Code.
 - C. Variation to allow a 25' high parking light pole in excess of the maximum 12' high requirement per Section 5-8-2F8a of the City of Prospect Heights Zoning Code.
 - D. Variation to allow an average of 4.24 foot candle parking lot light level in excess of the maximum 3.0 foot candle level per Section 5-8-2F8c of the City of Prospect Heights Zoning Code.
- VI. Plan Commission Public Meeting: Case No. ZBA-15-10SU/V**
Applicant: The Architects Partnership LTD
Address: 215 S. Elmhurst Rd Prospect Heights, IL 60070
Requesting the following approvals;
 - A. Preliminary and Final Engineering Approval per Section 6-3-3 of the Prospect Heights Zoning Code.
 - B. Preliminary and Final Plat Approval per Section 6-3-2 and Section 6-3-4 of the Prospect Heights Zoning Code.
 - C. Appearance Review Approval per Section 4-14-9 of the Prospect Heights Zoning Code.
- VII. Communications**
- VIII. Old Business**
- IX. New Business**
- X. Adjournment**

**City of Prospect Heights
Plan/Zoning Board of Appeals
October 22, 2015**

The regular meeting of the Plan/Zoning Board of Appeals was called to order at 7:00 pm by Chairman Weidman, at City Hall, 8 N. Elmhurst Road, in Prospect Heights, Illinois.

ROLL CALL:

Present: Commissioners Roscoe, Jones, Frank-Watson, Tammen, Dash and
Chairman Weidman
Absent: Commissioners Wienold, by prior notice.

Present at the meeting: Director of Building & Development Daniel A. Peterson and
Administrative Assistant Julie Malik-Mordian.

APPROVAL OF August 27, 2015 MINUTES

Motion made by Commissioner Tammen, seconded by Commissioner Jones, to approve the meeting minutes from August 27, 2015 as presented. The motion was approved by a roll call vote.

ROLL CALL VOTE:

AYES: Commissioners Tammen, Jones, Frank-Watson, Roscoe, Dash and
Chairman Weidman

NAYS: None

ABSENT: Commissioners Wienold, by prior notice.

ABSTAIN: None

Motion carried.

Case No. ZBA-15-09 V

Applicant: Thomas & Libby Zito

Address: 202 Grove Place Prospect Heights, IL 60070

Reason: A variance to section 5-3-4G Lot Coverage - Accessory Structure Guideline

Chairman Weidman entered the following exhibits into the record:

ZBA Exhibit 1: Application

ZBA Exhibit 2: Letter of Request

ZBA Exhibit 3: Proof of Ownership

ZBA Exhibit 4: Plat of Survey

ZBA Exhibit 5: Notice & List of Property Owners

ZBA Exhibit 6: Certificate of Publication

ZBA Exhibit 7: Neighbors Letters

ZBA Exhibit 8: Staff Review

Chairman Weidman asked Mr. Peterson to give an overview regarding this application for a variance.

Mr. Peterson reported the owners of the property, Tom & Libby Zito, have requested the placement of a small shed less than a 100sq. ft. to be placed in required a side yard. Due to the fact of the hardship of the existing properties shape and non-conforming rear yard are the basis of the request. The owners have presented five letters from the neighbors indicating no objection. Therefore, they are here tonight to seek an approval to place a 100sq. ft. shed in the required side yard and will comply with the other setbacks.

Chairman Weidman swore in Mr. Thomas Zito 202 Grove Place Prospect Heights, IL 60070.

Mr. Zito stated he had purchased a shed and spoke with Mr. Peterson regarding the location of the shed and wanted to make sure that he wasn't crossing any zoning lines. Based on the location of my house it left me with a small section of land to put the shed on. It had to be 125 feet from the set back from the road way and I'm in that cul-de-sac at 202 Grove as you can see on the plat of survey. The only location is along the cement patio which is in the back.

We were looking to put the shed next to our neighbor's shed, which they live right on the corner and there is a small set of bushes and thought that this is a very simple idea putting the shed in that spot. When he came in and spoke with Mr. Peterson there is a 10ft. utility section on the back property, so we couldn't put it there and where 10ft off of that spot. The shed is 7x10, which is small structure to house a lawn mower and snow blower. He will follow the other zoning codes, keeping it 5ft off the side lot and anchor it as such and use the cement pad or 42inch pylon that is needed.

Chairman Weidman stated that he supports Mr. Zito's request.

Motion made by Commissioner Tammen, seconded by Commissioner Roscoe.

ROLL CALL VOTE:

AYES: Commissioners Tammen, Jones, Frank-Watson, Roscoe, Dash and Chairman Weidman.

NAYS: None

ABSENT: Commissioners Wienold, by prior notice.

ABSTAIN: None

Motion carried.

COMMUNICATIONS

1. PZBA Meeting on November 19, 2015 regarding an application for redevelopment of the old Social Security property at 215 S. Elmhurst Rd.

2. Project Updates:

- A. The City has prepared permits for construction of the new Greenbrier Assisted Living Facility on N. Elmhurst Road and the Rand Road Storage building which are pending Cook County Demo, IDOT and MWRD approvals.

OLD BUSINESS

None

NEW BUSINESS

None

ADJOURNMENT

The October 22, 2015 Plan/Zoning Board of Appeals meeting was adjourned by unanimous voice vote, at 7:10pm with a motion made by Chairman Wiedman and seconded by Commissioner Jones.

Respectfully Submitted,

Julie Malik-Mordian, Recording Secretary



City of Prospect Heights

Department of Building & Zoning
8 North Elmhurst Road, Prospect Heights Illinois, 60070-6070
Office: 847/398-6070 x 211-FAX: 847/590-1854
www.prospect-heights.il.us

MEMORANDUM

Date: November 4, 2015

To: Planning/Zoning Board Commissioners

From: Daniel A. Peterson, Director of Building & Development

Subject: ZBA Case No. 15-10 SU/V Special Use Permit & Variance Application for Chase Bank to be located at 215 S. Elmhurst Road in the B-2A General Commercial District. The redevelopment project will also require Preliminary and Final Engineering, Final Plat and Appearance Review approvals.

Please be advised that Chase Bank, represented by Timothy Meseck, TAP, has a contract to purchase the property commonly known as 215 S. Elmhurst Road. Mr. Meseck has submitted an application for redevelopment of the property to construct a new $\pm$ 6,000 sq. ft. retail bank with drive through ATM lanes. The applicant is seeking a Special Use Permit Approval for a bank with drive through facilities. Three variations are being sought for: 1) Reduction in Required Transitional Yards, 2) Increase in Parking Lot Pole Heights in excess of 12' and 3) Increase of lighting output in excess of 3.0 f.c. as required.

The redevelopment project will also require the following approvals: Preliminary and Final Engineering, Final Plat and Appearance Review. Please refer to the applicable Zoning & Building Code Sections: Special Use 5-10-9; Variations 5-10-8; Plat Approval 6-3-2 and 6-3-4; Construction Improvements 6-3-3 and Appearance Review 4-14-9 and 4-14-10

Please contact me should you have any questions regarding this application.

Thank you.

Zoning Review

Date: November 3, 2015

Reviewer: Daniel A. Peterson, Director of Building & Development

Applicant: Timothy Meseck, The Architect's Partnership

Subject Property: 215 S. Elmhurst Road

Application: Special Use for a Bank with Drive-Through Facilities in the B-2A District; Variations for Transitional Yard Setback Reduction and Parking Lot Lighting Standards; Preliminary and Final Engineering Approval, Final Plat Approval and Appearance Review

Project: Redevelopment of the property to construct a new Chase Bank facility with drive through lanes.

Documents Reviewed: Completed Application. See list of exhibits in packet.

Applicable Zoning & Building Code Sections:

- Special Use 5-10-9
- Variations 5-10-8
- Plat Approval 6-3-2 and 6-3-4
- Construction Improvements 6-3-3
- Appearance Review 4-14-9 and 4-14-10

Current Zoning: B-2A General Commercial District

Current Use: Vacant Government Use

Proposed Use: Bank with drive through facilities. Permitted by Special Use approval

Request: The petitioner will be seeking the following relief and approvals for this project:

1. Special Use Permit to allow a bank with drive-in facilities in the B-2A General Commercial District which is an allowable special use per Section 5-7-3C of the City of Prospect Heights Zoning Code.
2. Variation to allow the reduction of the required Transitional Yard adjacent to a side yard and rear yard from 15' to 6' 3" along the east and north property lines as required by Section 5-7-3F5a and 5-7-3F5c of the Prospect Heights Zoning Code.

3. Variation to allow a 25' high parking light pole in excess of the maximum 12' high requirement per Section 5-8-2F8a of the City of Prospect Heights Zoning Code.
4. Variation to allow an average of 4.24 foot candle parking lot light level in excess of the maximum 3.0 foot candle level per Section 5-8-2F8c of the City of Prospect Heights Zoning Code.
5. Preliminary and Final Engineering Approval per Section 6-3-3 of the Prospect Heights Zoning Code.
6. Preliminary and Final Plat Approval per Section 6-3-2 and Section 6-3-4 of the Prospect Heights Zoning Code
7. Appearance Review Approval per Section 4-14-9 of the Prospect Heights Zoning Code.

Standards for Special Uses:

5-10-9: SPECIAL USES:

A. Authorization: The locations, construction, extension, or structural alteration of any use for which a special use permit is required pursuant to the provisions of this title may be authorized by a permit issued by the corporate authorities, subject to the standards set forth herein, and such conditions as may be imposed pursuant to this chapter. Prior to such authorization, a public hearing shall be held and a published notice shall be given, in the manner prescribed for amendments by this title.

B. Application For Special Use: Any person owning or having interest in the subject property may file an application to use such land for one or more of the special uses provided for in this title in the zoning district in which the land is situated.

Response: **The applicant, TAP as agent for Chase Bank, which has a purchase contract interest in the property and has a right to apply for the Special Use Permit.**

C. Notice Of Hearing: The same procedure for notice of hearing as required for variations (subsection 5-10-8D of this chapter) shall be followed for special use. (Ord. 0-77-27, 7-18-1977)

Response: **Notice was published and has met the notice requirements.**

D. Notice To Property Owners: The petitioner for a special use permit shall notify all property owners within three hundred fifty feet (350'), excluding public land and rights of way, but in no event more than four hundred fifty feet (450'), in each direction of the petitioner's property lines, by certified mail or individual notice executed by said property owners, of the date, hour and location of the public hearing and the special use requested. Such notice shall be in the same form as the published public notice and shall be mailed or delivered and executed not less than fifteen (15) and not more than thirty (30) days prior to the date of the public hearing. The owners to be notified are such persons or entities which appear in the authentic tax records of Cook County. Proof of notification shall be submitted by the petitioner to the plan/zoning board of appeals no later than the day of the public hearing. (Ord. 0-06-35, 8-21-2006)

Response: Notice has been mailed to the property owners with three hundred fifty (350') of the subject property as required.

E. Standards: No special use shall be recommended by the plan/zoning board of appeals unless said board shall find: (Ord. 0-77-27, 7-18-1977; amd. Ord. 0-03-35, 9-15-2003)

1. That the establishment, maintenance or operation of the special use will not be unreasonably detrimental to or endanger the public health, safety, morals, comfort or general welfare.

Response: The bank with three drive through ATM facilities is in keeping with general welfare of the area and will not be unreasonably detrimental.

2. That the special use will not be injurious to the use and enjoyment of other property in the community for the purposes already permitted, nor diminish and impair property values within the community.

Response: The special use for a bank with drive through facilities is consistent with similar properties in the area and will not diminish or impair property values with the community.

3. That the establishment of the special use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.

Response: The bank use is proposing to demolish a long standing existing vacant building. The redevelopment of the property and use will not impede the normal and orderly development and improvements of surrounding property for uses permitted in the district.

4. That adequate utilities, access roads, drainage and/or other necessary facilities have been or are being provided.

Response: The redevelopment proposal will consolidate 2 independent lots into one lot of record, increase the amount of green space and landscaping, provide code compliant garbage screening and an 8' solid wood fence along the property lines to the residential properties.

5. That adequate measures have been or will be taken to provide ingress or egress so designed to minimize traffic congestion in the public streets. (Ord. 0-77-27, 7-18-1977)

Response: Complies. No changes are proposed to the existing access to the existing parking lot from either Elmhurst Road or Euclid Ave.

6. That the special use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may in each instance be modified by the city council pursuant to the recommendations of the plan/zoning board of appeals. (Ord. 0-77-27, 7-18-1977; amd. Ord. 0-03-35, 9-15-2003)

Response: The special use application conforms to the applicable regulations of the B-2A Zoning District.

7. That the area described in the petition does not lie wholly or partly in floodplain, as defined by the flood control ordinances of the city; or, if it does lie wholly or partly within the floodplain, that adequate provisions for storage, runoff control and floodwater retention, as appropriate, have been made.

Response: **The property does not lie within a floodplain.**

F. Conditions And Standards: Prior to granting any special use, the board may recommend, and the city council shall stipulate, such conditions and restrictions upon the establishment, location, construction, maintenance and operation of the special use as deemed necessary for the protection of the public interest and to secure compliance with the standards and requirements specified herein, or as may be from time to time required. (Ord. 0-77-27, 7-18-1977)

Response: **Conditions may be placed upon the development as deemed necessary by the PZBA after all testimony is heard regarding this application.**

Special Use Conclusion:

The project meets both the general requirements and standards for a Special Use Permit for a sit down restaurant.

Standards for Variations:

There are three variations being requested. Staff has reviewed the project for conformance with the standards for variation. Commissioners should review for conformance with the standards for variation on each request separately.

5-10-8: VARIATIONS:

F. Standards For Variations: The plan/zoning board of appeals shall not recommend variation of the regulations of this title unless it shall make findings of fact based upon the evidence as presented that: (Ord. 0-77-27, 7-18-1977; amd. Ord. 0-03-35, 9-15-2003)

1. Special conditions and circumstances exist which are peculiar to the land, structure, or building involved and which are not applicable to other lands, structures, or buildings in the same district.

Response: **1. Transitional yards reduction. The applicant is proposing to reduce the impact that is currently present on site by providing additional green space and landscaping and has requested the minimum variation of the yards that still allow for traffic circulation and meet the other setback and parking requirements for the B-2A General Commercial District**

2. Lighting and Pole heights are two separate variations but are directly related and the hardship is meeting City Standards and the ATM Safety Act standards. Applicant should provide additional testimony to address this issue.

2. Literal interpretation of the provisions of this title would deprive the applicant of rights commonly enjoyed by other properties in the same district under the terms of this title.

Response: 1. Transitional yard reduction. Meets standard

2. Lighting and Pole Heights. Applicant should provide additional information to answer this requirement.

3. The alleged hardship has not been directly created by any person presently, or a predecessor in interest, having a proprietary interest in the premises.

Response: The conditions of the lot and the lot being fronted by State Route 83 (Elmhurst Road) and Euclid Avenue not created by the applicants. Standard met.

4. The proposed variation will not be materially detrimental to the public welfare or injurious to other property or improvements in the neighborhood.

Response: The applicant shall address how their request will not be detrimental or impact other properties in the neighborhood.

5. The proposed variation will not impair an adequate supply of light and air to adjacent property, substantially increase congestion in the public streets, increase the danger of fire, or endanger the public safety.

Response: Standard met.

6. The proposed variation will not alter the essential character of the locality.

Response: The overall project will not alter the essential character of the locality, however, lighting impact shall be considered closely.

7. The proposed variation is in harmony with the spirit and intent of this title.

Response: Standard met.

8. Granting the variation requested will not confer the applicant any special privilege that is denied by this title to owners of other lands, structures, or buildings in the same district.

Response: Standard will be met as each case is reviewed and granting of the variation is not denying the right of others in the same district to seek the same variation.

9. No nonconforming use of neighboring lands, structures, or buildings in the same district, and no permitted use of lands, structures, or buildings in other districts shall be considered grounds for issuance of a variation. (Ord. 0-77-27, 7-18-1977)

Response: Standard met.

10. The plan/zoning board of appeals shall further make a finding that the reasons set forth in the application justify the granting of the variation, and that the variation is the minimum variation that will make possible the reasonable use of the land, building, or structure. (Ord. 0-77-27, 7-18-1977; amd. Ord. 0-03-35, 9-15-2003)

- Response:**
- 1. Transitional Yard Reduction.** The applicant has requested the minimum variation to allow for the redevelopment of the property. Standard met.
 - 2. Lighting and Pole Heights.** Applicant must provide documentation that the request is the minimum necessary to make possible the reasonable use of the land.

The board may impose such conditions and restrictions upon the location, construction, design and use of property benefited by a variation as may be necessary or appropriate to comply with the foregoing standards and to protect adjacent property and property values.

Plat and Engineer Plan Approvals:

The Plan/Zoning Board of Appeals members shall refer to Zoning Code Sections 6-3-2, 6-3-3 and 6-3-4 to review the application for approval of engineering and plat plans as submitted.

6-3-2: PRELIMINARY PLAT:

- A. Procedure For Approval: The subdivider shall submit twelve (12) copies of the preliminary plat and written application for approval to the city clerk. Accompanying the plats shall be the preliminary plat filing fees referred to in subsection 6-7-4B of this title. The preliminary plat shall be referred by the city council to the plan/zoning board and appropriate city staff officers for review. The plan/zoning board, after its review and report from appropriate city staff officials, shall negotiate with the subdivider on changes deemed necessary, shall recommend approval, approval with conditions, or rejection of the plat to the city council. The council shall refer the preliminary plat to the appropriate committees, and after committee review and recommendation, approve, approve with conditions or reject the preliminary plat. The city clerk shall then notify the subdivider in writing. Such tentative approval by the city council shall not constitute acceptance of the subdivision. (Ord. 0-77-02, 2-7-1977; amd. Ord. 0-03-35, 9-15-2003)

6-3-3: CONSTRUCTION IMPROVEMENT PLANS:

A. Procedure For Approval:

1. Preliminary Plans: Simultaneous with filing the preliminary plat or as soon thereafter as practicable, the subdivider shall submit to the City Clerk three (3) copies of the preliminary subdivision improvement plans covering the area of the preliminary plat. Two (2) copies of the preliminary plans shall be forwarded to the City Engineer for review. The City Engineer shall review the plans and submit a report on these plans to the Plan Commission as a part of the preliminary plat review report. Upon approval of the preliminary plat, the subdivider shall be notified in writing to proceed with the preparation of final construction plans.
2. Final Construction Plans And Specifications: After approval of the preliminary plats and plans, the subdivider shall prepare final construction plans, specifications and cost estimates, and submit four (4) copies to the City Clerk. Accompanying the submittal shall be subdivision improvement filing fees referred to in Section 6-7-4C of this Title. Three (3) copies of the submittal shall be transmitted to the City Engineer. The City Engineer shall review the final construction plans for conformance with the

preliminary plans and transmit a written report and one copy of the submittal to the City Council with his recommendations. If a final plat is being prepared covering only a portion of the approved preliminary plat, the final construction plans need be prepared for only that portion being platted. However, the entire area must be taken into account in designing the system.

6-3-4: FINAL PLAT:

- A. Procedure For Approval: Within one year of approval of the preliminary plat, the subdivider shall prepare a final plat and submit to the City Clerk, together with a written application for approval. Accompanying the submittal shall be the final plat filing fees referred to in subsection 6-7-4B of this Title.

In case application for approval of a final plat is made for a part or parts of an approved preliminary plat, the City Council may extend the time for application of approval of final plats for other parts of the approved preliminary plat until later date or dates beyond the foregoing one year period.

The City Council shall refer the plats to the Plan Commission and the City Engineer for review. The City Engineer shall review the plats for technical details, conformance with existing City ordinances and conformance with the approved preliminary plat and submit a written report to the Plan Commission. The Plan Commission shall, after its review, submit its recommendation to the City Council. The City Council shall, by resolution, approve or disapprove such plat. Upon adoption of the resolution approving a final plat, the City Clerk shall certify such approval and affix the corporate seal of the City on the final plat.

Conclusion

Staff has reviewed the engineering plans and final plat documents for conformance to City standards and recommends approval.

Appearance Review:

The PZBA will be reviewing this project for Appearance Review. Please refer to the following information when reviewing the project for approval.

4-14-9: APPEARANCE REVIEW CRITERIA:

- B. Review Criteria: The provisions of the Zoning Ordinance in regard to bulk regulations and standards, and those portions of all codes which directly affect appearance, shall be part of the following review criteria:

1. Inappropriate, incompatible, bizarre, and exotic colors and designs shall be avoided.
2. Inappropriate materials and methods, and those which will produce inconsistency with the building, shall be avoided.

3. The height and scale of each building shall be compatible with its site and adjoining buildings.
4. The architectural character of the building shall be in keeping with the topographical dictates of the site.
5. Attractive landscape transition to adjoining properties shall be provided.
6. Landscape elements included in this criteria shall consist of all forms of planting and vegetation, ground forms, rock groupings, water patterns, and all visible construction except buildings and utility structures.
7. Screening of service yards, and other places which tend to be unsightly, shall be accomplished by use of walls, fencing, planting, or a combination of these. Screening shall be equally effective in summer and winter.
8. Exterior lighting, when used, shall enhance the building design and the adjoining landscape. Lighting standards and fixtures shall be of a design and size compatible with the building and adjacent areas. Lighting shall be restrained in design, and excessive brightness and brilliant colors avoided.
9. Wall signs shall be part of the architectural concept. Size, color, lettering, location, and arrangement shall be harmonious with the building design, and shall be compatible with signs on adjoining buildings. Signs shall have good proportions.
10. Mechanical equipment or other utility hardware on roof, ground, or building shall be screened from public view with materials harmonious with the building, or they shall be located so as not to be visible from any public ways.
11. Continued good appearance depends upon the extent and quality of maintenance. The choice of materials and their use, together with the types of finishes and other protective measures must be conducive to easy maintenance and upkeep.

The purpose of this criteria is to establish a checklist of those items which affect the physical aspect of the City's environment. Pertinent to appearance is the design of the site, building and structure, planting, lighting, signage and miscellaneous other objects which are observed by the public.

This criteria is not intended to restrict imagination, innovation or variety, but rather to assist in focusing on design principles which can result in creative solutions that will develop a satisfactory visual appearance within the City. (Ord. 0-97-67, 11-17-1997, eff. 11-27-1997)

4-14-10: ACTION OF APPEARANCE REVIEW COMMITTEE:

The Committee may make recommendations to the applicant as to changes in the exterior drawings, sketches, landscaping, site plans and materials which in the judgment of the Committee would tend to affect the general purposes of the appearance plan. The Committee shall determine whether or not the proposed request: a) conforms to the appearance plan; b) that the proposed building or structure will be inappropriate to, or incompatible with the character of the immediate neighborhood; or c) cause substantial depreciation in property values. (Ord. 0-97-67, 11-17-1997, eff. 11-27-1997)



City of Prospect Heights

Department of Engineering
8 North Elmhurst Road, Prospect Heights Illinois, 60070-6070
Office: 847/398-6070 x 210-FAX: 847/590-1854
www.prospect-heights.il.us

November 6, 2015

Mr. Dan Peterson
City of Prospect Heights
8 N. Elmhurst Road
Prospect Heights, Illinois 60070

Re: Chase Bank
215 South Elmhurst Road
City Engineer Plan Review #1

Dear Mr. Peterson:

The City recently received the following documents.

- Final Engineering Plans for Chase Bank, 13 sheets, prepared by V3 Companies, with a most recent revision date of October 16, 2015
- ALTA Land Title Survey, two sheets, prepared by V3 Companies, with a most recent revision date of October 7, 2015
- Final Plat of Subdivision, two sheets, prepared by V3 Companies, dated October 19, 2015.

I have the following comments relative to these documents:

Engineering Plans:

1. The petitioner must apply for and show proof of permit issuance from the Metropolitan Water Reclamation District (MWRD). Please forward MWRD permit applications to the City for review and signatures as required.
2. The petitioner must apply for and show proof of permit issuance from the Illinois Department of Transportation (IDOT) for access points and other related work along Elmhurst and Cook County Department of Transportation and Highways for Euclid Avenue.
3. All other permits required for the project shall be secured by the petitioner and copies of issued permits shall be forwarded to the City.
4. The Fire Department shall review and approve the site geometry and water main features of the property.
5. MWRD required plan notes should be added.
6. It appears that part of the driveway apron for Euclid Avenue overlaps onto the parcel to the East. Is there an easement of such? If not, one should be recorded.
7. We anticipate that IDOT and/or CCDOTH will require agreements for the access points overlapping onto adjacent properties with the public right of way.
8. Consider installation of a Do No Enter sign in the landscape area just north of the stop bar for the drive thru exit.
9. Ten wheel stops are specified along the south side of the building due to the parking lot being flush with the sidewalk running along the south building face. Can the site be graded differently to allow for a raised curb (6" high) to be installed along most of this section, thus eliminating or dramatically reducing the number of wheel stops?

10. We believe that MWRD will require an inspection manhole on the sanitary sewer service within close proximity to the building. We defer to MWRD on this issue.
11. It is our understanding that the Village of Mt. Prospect will be providing water service to the property, however, we feel that additional a valve and vault east of the reducer and near the property line would be beneficial.
12. A storm manhole should be installed at the bend of the 8" building storm service heading towards the north.

Plat Comments:

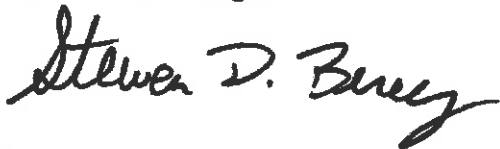
13. Add the dimensions for the Lots 7 and 8, both record and measured.
14. Call out where the two required concrete monuments will be placed.
15. On sheet 2 of the subdivision, there needs to be a school district statement.
16. Since the underlying Lots are in a "Subdivision", we feel that this should be called a "Resubdivision". Or maybe it can be called a Consolidation. We are open to discussion on this.
17. The easements shown on the plat are carry overs from the underlying Plat of Subdivision that was recorded in 1946. An easement provision statement should be attached to this plat just to refresh and update their uses and purposes.

Please submit revised engineering drawings, plats, MWRD permit applications, etc. including a written disposition of the above comments. We will continue to review these documents in more detail, however the comments listed above are the suggested major changes. Any approvals should be contingent on the City final review and approval of the engineering plans and supporting documentation.

Overall, the plans that I reviewed have been designed in accordance with generally accepted engineering standards. I do not have any serious concerns regarding this development based on my review of the documents. I feel that all of my comments can readily be addressed by the petitioner in future submittals.

If you have any other questions or need additional information, please feel free to contact me.

Sincerely,
City of Prospect Heights



Steven D. Berecz, P.E.
City Engineer

RECEIVED
CITY OF PROSPECT HEIGHTS
2015 OCT 20 AM 8:49

FOR OFFICE USE ONLY:
FEE PAID \$550.00
RECEIPT # 1713
DATE 10/20/15
REC'D BY JM
CASE # 15-1080/V
MEETING DATE 11/19/15

PLAN/ZONING BOARD OF APPEALS
APPLICATION

- ☒ Special Use (\$400)
☒ Variation (\$150)
☐ Text Amendment (\$300)

- ☐ Map Amendment (Refer to Ord. 0-03-18)
☐ Subdivision/PUD (Refer to Ord. 0-03-18)
☒ Lot Consolidation (Refer to Ord. 0-03-18)

APPLICANT: Tim Meseck, The Architects Partnership
ADDRESS: 122 South Michigan Ave, Ste 1810
Chicago, IL 60603

PHONE: Home: (414) 745-4525 Work: (312) 583-9800 ext 44

ADDRESS OF SUBJECT PROPERTY: 215 S Elmhurst Avenue
Prospect Heights, IL 60070

PROPERTY IS LOCATED IN THE B-2A ZONING DISTRICT.

APPLICABLE SECTION OF ORDINANCE: 8.02-1

DESCRIPTION OF REQUEST: Special Use Permit for bank with "drive-in";
Propose +/-6'-3" transitional side/rear yards;
Propose 25' high site lighting poles;
Propose light level of 4.24 footcandles average.

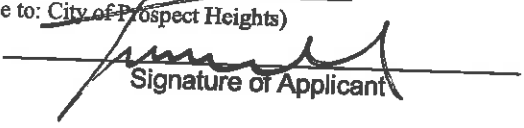
Are there any covenants, conditions, restrictions or floodplain issues concerning type of improvements, setbacks, area or height requirements, occupancy or use limitations, etc. placed on the property and now of record: YES ☐ NO ☒ If yes, please describe:

Has the property been the subject of previous or pending administrative legislative or court action:
YES ☐ NO ☒ If yes, give details:

The following items MUST be submitted at time of filing:

1. Application (12 copies)
2. Plat of Survey (12 copies) - must be drawn to scale and indicate the location of the proposed addition or construction and must contain the legal description of the property, along with additional information to support the application (12 copies). (Note*: please include one copy for file no larger than 11"x17").
3. Proof of Ownership (1 copy)
4. Letter indicating Hardship (for variations only - 12 copies)
5. Notice to Property Owners (1 copy)
6. List of Property Owners (1 copy) obtained from the Wheeling Township Office, 1616 N. Arlington Heights Rd., Arlington Heights, IL 60004 - Tel: 847/259-1515 of all properties lying within 350 ft. of property line/subject's property once approved confirmation letter from the City of Prospect Heights is received.
7. Application Fee (cash or check made payable to: City of Prospect Heights)

Date: 10/19/15


Signature of Applicant

The Architects Partnership, Ltd. 122 South Michigan Avenue, Suite 1810, Chicago, IL 60603 312.583.9800



October 19, 2015

City of Prospect Heights
Building and Development
8 North Elmhurst Road
Prospect Heights, IL 60070

Re: Plan / Zoning Board of Appeals
Special Use and Zoning Variations Requests for
215 South Elmhurst Road

To Whom It May Concern:

The attached Plan / Zoning Board of Appeals Application for Special Use and Zoning Variations is being submitted for the property located at 215 South Elmhurst Road, Prospect Heights, Illinois.

The subject property was previously utilized by the United States Social Security Administration. A letter of intent to purchase the property has recently been agreed upon between JP Morgan Chase (Chase) and the current landowner. The property currently contains a one story office building (approximate area of 16,216 square feet) with parking for 55 vehicles. The current Zone is B-2A, General Commercial District.

The proposed use for the property is a Chase Bank retail banking center. This use will require demolition of the existing building and parking, with construction of a new retail bank building, drive through ATM lanes with a canopy, customer parking and landscaping.

The proposed gross building area is 5,954 square feet. Parking is proposed for 36 vehicles (including two accessible parking spaces.) The proposed ATM drive through will include three lanes with queuing for 4 vehicles for each lane. A by-pass lane is proposed at the end of the drive through.

Chase is requesting a Special Use permit for a bank with "drive-in" in Zone B-2A. Chase is also requesting the following Variations:

- Propose +/- 6'-3" wide Transitional Side / Rear Yards (minimum 15' required.)
- Propose 25' high light poles (maximum 12' allowed.)
- Propose parking lot average light level of 4.24 footcandles (maximum 3 footcandles allowed.)

Chase is requesting these Variations as the normal zoning requirements will otherwise impose hardships on Chase to provide its standard level of customer service (type and number of personal banking service functions, number of parking spaces and drive through lanes) at this location, as well as, meet the requirements of the 1999 Illinois ATM Safety Act.

Specifically, the narrower than minimum required Transitional Side / Rear Yards are necessary to accommodate emergency vehicle access on all sides of the building, as well as, customer access to the ATM drive through lanes, plus a by-pass lane. It should be noted that the proposed yard widths are an improvement upon the existing.

Further, the 1999 Illinois ATM Safety Act requires footcandle levels as follows:

- 10 footcandles within a five foot radius of the ATM, measured at 36 inches above the ground.
- 2 footcandles within fifty feet of the ATM, including the nearest available parking location, measured at 36" above the ground.



In order to provide these footcandle levels, an "average" footcandle light design level of 4.24, measured at 36" above the ground, using 25' high poles is necessary.

Please feel free to contact me should you have any questions or concerns regarding this Application and corresponding requests.

Sincerely,

A handwritten signature in black ink, appearing to read 'Timothy R. Meseck', written over a horizontal line.

Timothy R. Meseck
Vice President
The Architects Partnership, Ltd.

Phone: (312) 583-9800, ext. 44
Cell: (414) 745-4525

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educational
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CHICAGO

1455 golf road, #200
des plaines, IL
USA 60016
817.297.1121
Fax.297.7819

WISCONSIN

N7665 ridge road
whitewater, WI
USA 53190
262.473.4478
Fax.473.4478

INTERNET

www.levin4.com
info@levin4.com



October 22, 2015

Dan Peterson

Building & Development Director
City of Prospect Heights
Prospect Heights, IL. 60070

RE: Site Approvals
215 S. Elmhurst Road
Prospect Heights, IL.

Dear Dan;

Please be advised that the Designer Direct Inc. (Owner) of the above referenced property has entered into a Letter of Intent with JPMorgan Chase Bank for the purchase of the property. As Owner's representative we hereby grant Chase authorization to seek zoning relief for the site.

Very truly yours,

Stephen Rebarchak, Real Estate Manager
Levin Associates

Cc: Kerry Levin, President, Levin Associates
Jonathan Krissoff, Chase
Tim Meseck, TAP

RECEIVED
CITY OF PROSPECT HEIGHTS
2015 OCT 22 AM 11:05

CHASE BANK
PROSPECT HEIGHTS, IL.

BASES OF BEARINGS

OF BEARINGS IS THE ILLINOIS STATE
NAME SYSTEM - EAST ZONE (1201)
SCALE FACTOR 1.0000000000000000



BENCHMARK

[illegible]

FLOOD HAZARD NOTE

THIS PROPERTY IS IN AN AREA OUTSIDE THE U.S. ANNUAL CHANCE FLOOD (ZONE X, UNSHADDED) AS DETERMINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP OF COOK COUNTY, ILLINOIS. COMMUNITY PLAN NO. 170919 05000 - EFFECTIVE DATE AUGUST 19, 2008.

SURVEYOR CERTIFICATE

STATE OF INDIANA }
COUNTY OF LAKE } ss.
TO: THE ARCHITECTS PARTNERSHIP LTD.
FIRST AMERICAN TITLE INSURANCE CO.

THIS IS TO CERTIFY THAT THE MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2011 NATIONAL STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NAPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6, 7, 8, 9, 11(b), 14, 15, 17 & 19 OF TABLE 1 OF THE A-100.

THE PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MEDICAL STANDARDS FOR A BOUNDARY

THE FIELD WORK WAS COMPLETED ON 08-17-2015.

DATE OF PLAY OR MAP: AUGUST 18, 2015.



ANTHONY J. SPOCKLAND
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 351-3437
HIS LICENSE EXPIRES ON NOVEMBER 30, 2018.
3 COMPANIES OF ILLINOIS, LTD. PROFESSIONAL DESIGN
HIS DESIGN FIRM NUMBER EXPIRES APRIL 30, 2017.

PREPARED FOR:
THE ARCHITECTS PARTNERSHIP, LTD.

7326 James Avenue, Suite 100
Woodridge, IL 60517
630.724.8200 voice
630.724.0384 fax
630.724.0300 e-mail

Engineers
Scientists
Surveys

ALTA/ACSM LAND TITLE AND TOPOGRAPHIC SURVEY

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CHS BANK - 800-850-8500

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0001 210

CHICAGO, ILL. 60601

Fax

830.124.03B4
v350.com

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**NOTICE TO PROPERTY OWNERS
PLAN/ZONING BOARD OF APPEALS
PUBLIC HEARING**

Date of Hearing:

November 19, 2015

Time of Hearing:

7:00 p.m.

Place of Hearing:

**Prospect Heights City Hall
8 North Elmhurst Road
Prospect Heights, IL 60070**

Subject Property

215 S. Elmhurst Road

Explanation of Request:

The petitioner will be seeking the following relief for this project:

1. Special Use Permit to allow a bank with drive-in facilities in the B-2A General Commercial District which is an allowable special use per Section 5-7-3C of the City of Prospect Heights Zoning Code.
2. Variation to allow the reduction of the required Transitional Yard adjacent to a side yard and rear yard from 15' to 6' 3" along the east and north property lines as required by Section 5-7-3F5a and 5-7-3F5c of the Prospect Heights Zoning Code.
3. Variation to allow a 25' high parking light pole in excess of the maximum 12' high requirement per Section 5-8-2F8a of the City of Prospect Heights Zoning Code.
4. Variation to allow an average of 4.24 foot candle parking lot light level in excess of the maximum 3.0 foot candle level per Section 5-8-2F8c of the City of Prospect Heights Zoning Code

Legal Description:

LOTS 7 AND 8 IN BLOCK 7 IN PROSPECT HEIGHTS MANOR UNIT 2, BEING A SUBDIVISION OF THE WEST HALF OF THE NORTHEAST QUARTER OF SECTION 27, TOWNSHIP 42 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, (EXCEPT THE NORTH HALF OF THE NORTHWEST QUARTER THEREOF) ACCORDING TO THE PLAT THEREOF RECORDED JANUARY 7, 1946 AS DOCUMENT NUMBER 13691417 IN COOK COUNTY, ILLINOIS, EXCEPTING FROM THE AFORESAID TRACT THAT PART OF LOT 8 BOUNDED AND DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHWEST CORNER OF SAID LOT 8 IN

BLOCK 7 IN PROSPECT HEIGHTS MANOR UNIT NUMBER 2 SUBDIVISION; THENCE ON AN ASSUMED BEARING OF NORTH

**NOTICE TO PROPERTY OWNERS
PLAN/ZONING BOARD OF APPEALS
PUBLIC HEARING**

00 DEGREES 00 MINUTES 00 SECONDS EAST, 15.00 FEET
ALONG THE WEST LINE OF SAID LOT 8; THENCE SOUTH 58
DEGREES 34 MINUTES 23 SECONDS EAST 29.19 FEET TO A POINT
INT THE

SOUTH LINE OF SAID LOT 8; THENCE NORTH 89 DEGREE 49
MINUTES 24 SECONDS WEST, 25 FEET ALONG THE SOUTHLINE
OF SAID LOT 8 TO THE POINT OF BEGINNING IN COOK COUNTY,
ILLINOIS.

PIN #03-27-208-007-000 and #03-27-208-008-000

Name of Applicant(s)

TIM MASECK, THE ARCHITECTS PARTNERSHIP

Address:

122 S. Michigan Ave, Suite 1810
Chicago, IL 60103

This notice must be postmarked for service not less than 15 days, nor more than 30 days before the date of the public hearing. Service must be made to the owners (those persons whose names appear in the tax records) of all property owners within 350 feet in each direction of the lot lines of the subject property. The number of feet occupied by all public roads, streets, alleys and other public ways shall not be included in computing this 350 foot requirement. In no event shall this requirement exceed 450 feet (including public roads, streets, alleys and other public ways).

PUBLIC HEARING NOTICE

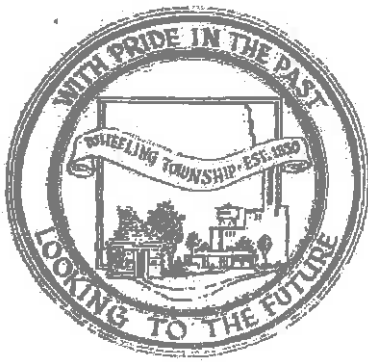
Notice is hereby given that the Plan/Zoning Board of Appeals of the City of Prospect Heights, Cook County, Illinois, will conduct a Public Hearing on the 19th day of November 2015, 7pm, at the Prospect Heights City Hall, 8 North Elmhurst Road, Prospect Heights, Illinois, for consideration of a Special Use Request for a bank with drive through lanes at the property commonly known as 215 S. Elmhurst Road, Prospect Heights, Illinois, in the City's B-2A General Commercial District; Variation to allow the reduction of the required Transitional Yard adjacent to a side yard and rear yard from 15' to 6' 3" along the east and north property lines as required by Section 5-7-3F5a and 5-7-3F5c of the Prospect Heights Zoning Code; Variation to allow a 25' high parking light pole in excess of the maximum 12' high requirement per Section 5-8-2F8a of the City of Prospect Heights Zoning Code; Variation to allow an average of 4.24 foot candle parking lot light level in excess of the maximum 3.0 foot candle level per Section 5-8-2F8c of the City of Prospect Heights Zoning Code for the property legally described as follows:

LOTS 7 AND 8 IN BLOCK 7 IN PROSPECT HEIGHTS MANOR UNIT 2, BEING A SUBDIVISION OF THE WEST HALF OF THE NORTHEAST QUARTER OF SECTION 27, TOWNSHIP 42 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, (EXCEPT THE NORTH HALF OF THE NORTHWEST QUARTER THEREOF) ACCORDING TO THE PLAT THEREOF RECORDED JANUARY 7, 1946 AS DOCUMENT NUMBER 13691417 IN COOK COUNTY, ILLINOIS, EXCEPTING FROM THE AFORESAID TRACT THAT PART OF LOT 8 BOUNDED AND DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHWEST CORNER OF SAID LOT 8 IN BLOCK 7 IN PROSPECT HEIGHTS MANOR UNIT NUMBER 2 SUBDIVISION; THENCE ON AN ASSUMED BEARING OF NORTH 00 DEGREES 00 MINUTES 00 SECONDS EAST, 15.00 FEET ALONG THE WEST LINE OF SAID LOT 8; THENCE SOUTH 58 DEGREES 34 MINUTES 23 SECONDS EAST 29.19 FEET TO A POINT INT THE SOUTH LINE OF SAID LOT 8; THENCE NORTH 89 DEGREE 49 MINUTES 24 SECONDS WEST, 25 FEET ALONG THE SOUTHLINE OF SAID LOT 8 TO THE POINT OF BEGINNING IN COOK COUNTY, ILLINOIS.

PIN #03-27-208-007-000 and #03-27-208-008-000

The applicant is Timothy R. Meseck, The Architects Partnership, 122 S. Michigan Ave Suite 1810, Chicago, IL 60603. A copy of the application is on file at City Hall, 8 North Elmhurst Road, Prospect Heights, Illinois 60070. All persons present at the meeting will be given an opportunity to be heard.

Prospect Height Zoning Board of Appeals



WHEELING TOWNSHIP

1616 N. Arlington Heights Road • Arlington Heights, Illinois 60004

847-259-7730 • fax 847-259-1570

www.wheelingtownship.com

Assessor Jerry Sadler

Phone: 847-259-1515 Fax: 847-259-3070

Instructions for Your Variance

We have supplied you with the property index numbers (PINS) for the property within the required boundaries for your variance letters.*

You will need to go to the web to obtain the names and addresses for mailing your variances notices.

The web address is: www.cookcountytreasurer.com

- 1. Choose "Payments" then "Payment Status."**
- 2. Enter P.I.N. #.**
- 3. Enter Security Code given as it reads.**
- 5. Click on 'Search'**
- 4. Choose "Click Here to Pay or for Detailed Tax Information"**
- 5. Use "Mailing Information" not "Property Location."**
- 6. Return to PIN Summary to enter next P.I.N. #.**

If you have any questions, please feel free to contact the Wheeling Township Assessor's office at 847-259-1515.

**Jerry Sadler
Wheeling Township Assessor**

***These property index numbers are required by your village or city and are provided as a courtesy by the Wheeling Township Assessor's office. The Township assumes no responsibility for any additional requirements by the village or city.**

PUBLIC HEARING NOTIFICATION LIST OF PROPERTY OWNERS OF RECORD

WTV 015-049

(Real Estate
Index No.)

(Name)

(Street)

(City/State/Zip)

03-27-208-007-0000 SUBJECT 215 S. ELMHURST RD. PROSPECT HTS 60070

-----008

-----004

-----005

-----006

-----011

-----010

-----012

-----013

-----014

-----015

-----003

-----016

03-27-209-005-0000

-----006

-----007

-----008

03-27-100-093-0000 Prospect Hts Park Dist

-----108 W. Camp McDONARD Rd. P.H. 60090

03-27-100-095-0000

03-27-100-010-0000 Village of Mt Prospect

-----100 S. Emerson Mt Prospect, IL 60056

03-27-100-027-1001-1046 Colony Country Condos See Attached

03-27-401-283-0000

03-27-401-292

PUBLIC HEARING NOTIFICATION LIST OF PROPERTY OWNERS OF RECORD

(Real Estate
Index No.)

(Name)

(Street)

(City/State/Zip)

03-27-305-002-0000

-003

-004

-005

-011

-012

03-27-100-026-0000

CONDOMINIUM: 03-27-100-027-1001 through 1046
COLONY COUNTRY

Unit	Unit	Unit
T-1 = 1001	T-17 = 1017	T-33 = 1033
T-2 = 1002	T-18 = 1018	T-34 = 1034
T-3 = 1003	T-19 = 1019	T-35 = 1035
T-4 = 1004	T-20 = 1020	T-36 = 1036
T-5 = 1005	T-21 = 1021	T-37 = 1037
T-6 = 1006	T-22 = 1022	T-38 = 1038
T-7 = 1007	T-23 = 1023	T-39 = 1039
T-8 = 1008	T-24 = 1024	T-40 = 1040
T-9 = 1009	T-25 = 1025	T-41 = 1041
T-10 = 1010	T-26 = 1026	T-42 = 1042
T-11 = 1011	T-27 = 1027	T-43 = 1043
T-12 = 1012	T-28 = 1028	T-44 = 1044
T-13 = 1013	T-29 = 1029	T-45 = 1045
T-14 = 1014	T-30 = 1030	T-46 = 1046
T-15 = 1015	T-31 = 1031	
T-16 = 1016	T-32 = 1032	

P.I.N. 03-27-208-007
03-27-208-008

Building A SUBDIVISION IN THE WEST HALF OF THE NORTHEAST QUARTER OF SECTION 27, TOWNSHIP 42 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

EXHIBIT B



BASIS OF BEARINGS

ANALYSIS OF BEARINGS IS THE ILLINOIS STATE
PLANE SYSTEM - EAST ZONE (1201)

AREA

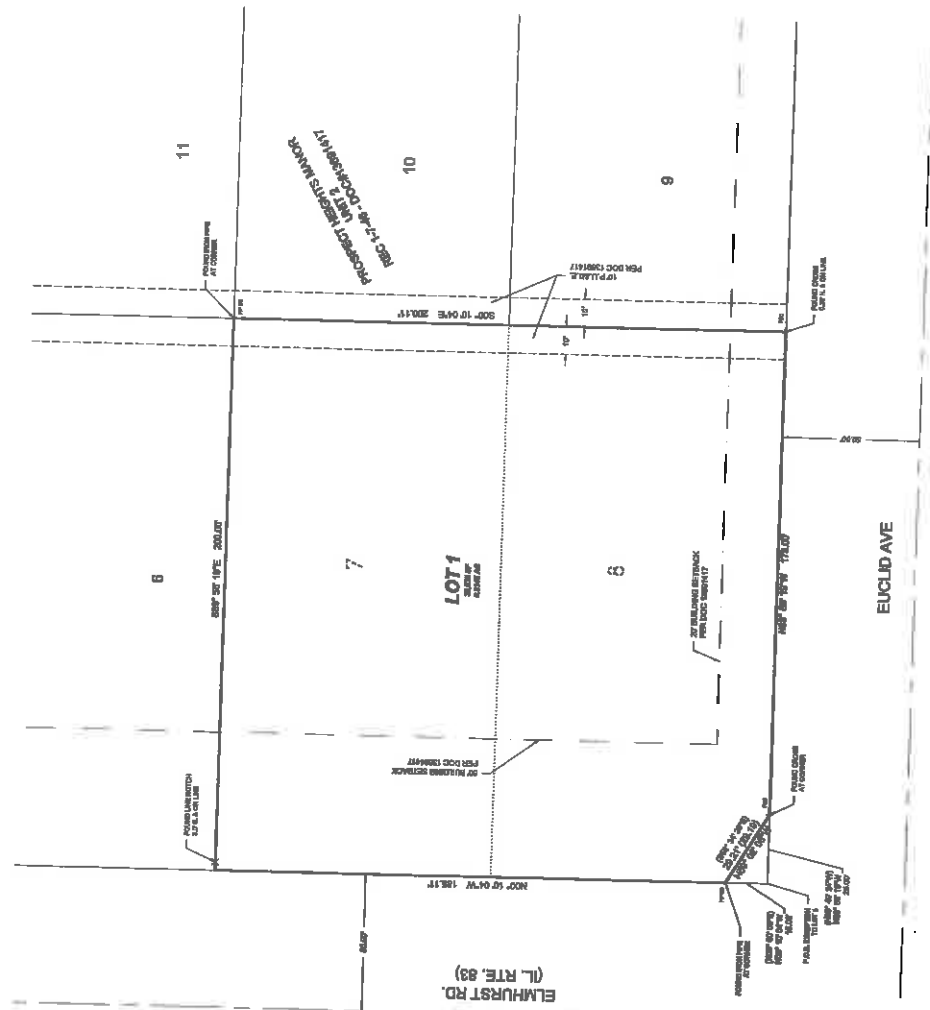
36,800 SQ. FT.



LEGEND

SECTION CEMEX	
	
QUARTER SECTION NUMBER	00
PROPERTY LINE	01 FOUND POOR MASONRY
ADJACENT PROPERTY LINE	02 FOUND POOR MASONRY
PROPOSED MAIN-DRYING LINE	03 FOUND POOR MASONRY
EXISTING LOT LINE	04 FOUND POOR MASONRY
PROPOSED LOT LINE	05 FOUND POOR MASONRY
CE. & P. PRO. DRAINAGE	06 FOUND POOR MASONRY
SECTION PROPERTY LINE	07 FOUND POOR MASONRY
CE. & P. PRO. DRAINAGE	08 FOUND POOR MASONRY
SECTION LINE	09 FOUND POOR MASONRY
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	99 FOUND POOR MASONRY
	100 FOUND POOR MASONRY

ABBREVIATIONS

[illegible]

NOTES

1.) PERMANENT MONUMENTS FROM FIFTEEN COUNTRIES WILL BE LAID AT OR ARE TO BE Laid AT ALL LOT CONGRESS UNLESS, TO-DATE ENDS IN MAY 1998.

**Engineers
Scientists
Surveyors**

7325 James Avenue, Suite 100
Woodridge, IL 60517
630.724.8200 voice
630.724.0384 fax
v3oo.com

THE ARCHITECTS PARTNERSHIP, LTD.
122 S. MICHIGAN AVE., STE 1600
CHICAGO, IL 60603
312.467.2875

[illegible]

FINAL PLAT OF SUBDIVISION

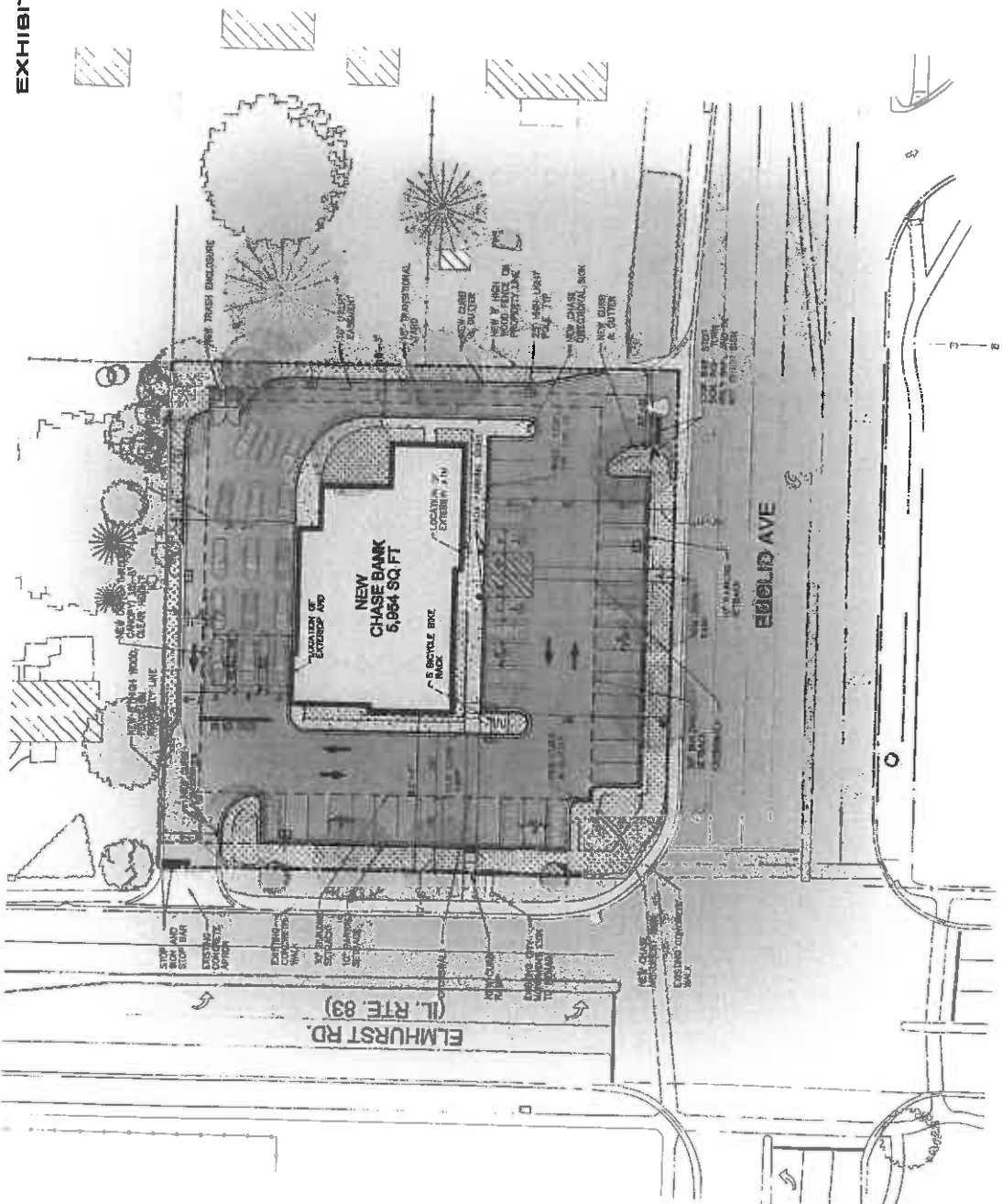
CHASE BANK • PROSPECT HEIGHTS, IL

TO/THRU	DESCRIPTION	DATE	TIME

DE	NA	STANDARD	10
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100

CHASE BANK



SITE INFORMATION

BNIN02

ZONE B-2A (COMMUNITY BUSINESS DISTRICT)
 LOT AREA: 39,435 SQ FT
 REQUIRED FAR: 1.2
 ACTUAL FAR: 0.15
 BUILDING SETBACK FROM STREET R.O.W.:
 REQUIRED = 30'
 ACTUAL = 63'-4" & 80'-0"
 PARKING LOT SETBACK FROM SOUTH LOT LINE:
 REQUIRED = 10'
 ACTUAL = 10'-11"
 PARKING LOT SETBACK FROM WEST LOT LINE:
 REQUIRED = 10'
 ACTUAL = 10'-9"
 PARKING COUNT DATA:
 PARKING PROVIDED = 36
 PARKING REQUIRED = 35 (2 HANDICAP)
 PROPOSED EAST DRIVE-THRU
 NORTH PROPOSED
 PROPOSED BYPASS AT
 DRIVE-THRU NORTH PROVIDED:
 14'-0"
 9'-8"
 TRIANGULAR VISION CLEARANCE: 12'
 PERVIOUS LOT COVERAGE
 AREA OF EXISTING GREEN SPACE: 3,168 S.F.
 PERCENTAGE OF SITE AREA PROVIDED: 7.9%
 AREA OF PROPOSED GREEN SPACE: 17,420 S.F.
 PERCENTAGE OF SITE AREA PROVIDED: 77.24%
 VARIANCES REQUIRED
 4'-4" - 6'-3" WIDE TRANSITIONAL SIDE/REAR
 YARDS (MINIMUM 15' REQUIRED)
 25' HIGH SITE LIGHTING POLES (MAXIMUM
 12' ALLOWED)
 AVERAGE LIGHT LEVEL OF 4.24 FOOT-CANDLES
 (MAXIMUM 5 FOOT-CANDLES ALLOWED)
 SPECIAL USE
 SPECIAL USE PERMIT FOR A BANK WITH
 DRIVE-IN* IN ZONE B-2A

DATE

CONCRETE

FOCUS **GRASS**

N

④

+

SCALE: 1:20

2021.01.25

Architect/Designer
The Architects Partnership
122 South Michigan Avenue
Chicago, IL 60603
P: 312.583.9800
F: 312.583.9890
FAP Project Number: 15101

ARCHITECTURAL SITE PLAN

OCTOBER 19, 2015



RANDHURST
215 S. Elmhurst Rd.
Prospect Heights, IL 60070



TRAFFIC MEMORANDUM

DATE: October 19, 2015

TO: Dan Peterson, Director of Building and Development

FROM: Peter Reinhofer, P.E.

RE: Proposed Chase Bank located at the northeast corner of
IL-83/Elmhurst Road and Euclid Avenue
City of Prospect Heights, Illinois

V3 Companies has prepared this traffic memorandum for a proposed Chase Bank at the northeast corner of IL-83 / Elmhurst Road and Euclid Avenue in Prospect Heights, Illinois. Chase partially occupies the four-story building at the southeast corner of the same intersection and is planning to move operations to the proposed site, which is a former Social Security Administration office building. The proposed drive-in bank will be 5,954 square feet and will include three drive-through ATM lanes and no drive-up teller lanes.

Existing access to the site consists of a full access driveway on IL-83 approximately 235 feet north of Euclid Avenue and a right-in/right-out driveway on Euclid Avenue approximately 235 feet east of IL-83. The proposed bank will utilize the same access points. The ATM drive-through lanes are proposed to be located along the north side of the building and can accommodate approximately 18 vehicles before backing up into the bank parking lot, as illustrated in the attachment. In addition, the drive-through lanes can accommodate approximately 21 vehicles before backing up to Euclid Avenue.

IL-83 / Elmhurst Road is under the jurisdiction of the Illinois Department of Transportation and generally provides two northbound and two southbound travel lanes separated by a striped median. In the vicinity of the full access driveway, the median is striped with a left turn lane which extends to the signalized intersection at Euclid Avenue. Euclid Avenue is under the jurisdiction of the Cook County Department of Transportation and Highways and generally provides two eastbound and two westbound travel lanes separated by a mountable median. In addition, a westbound right turn lane exists at the right-in/right-out driveway that extends to the signalized intersection at IL-83. A sidewalk is located within the parkways of both IL-83 and Euclid Avenue.



Project traffic is estimated using the Institute of Transportation Engineers (ITE) Trip Generation Manual, 9th Edition. The following land use category is used to determine project traffic:

Drive-in Bank (ITE Land Use Code 912) – Drive-in banks provide banking facilities for motorists who conduct financial transactions from their vehicles; many also serve patrons who walk into the building. The drive-in lanes may or may not provide automatic teller machines (ATMs).

The Trip Generation Manual assigns trip generation rates based on a peak period and an independent variable. The independent variable for this analysis will be the number of square feet of the proposed bank.

As documented in the ITE Trip Generation Manual, 9th Edition, a drive-in bank does not typically generate all new traffic on a roadway system. The total traffic generation is a combination of pass-by trips, which represent existing traffic drawn directly from the passing traffic flow on the adjacent trips, and primary trips, which represent new traffic drawn to the roadway network by the new development. Data published in the ITE Trip Generation Handbook is used to estimate the pass-by percentages for this land use. It should be noted that that pass-by trip reductions do not reduce the total number of trips into the site, but decreases the number of new trips on the adjacent roadway network.

The ITE Trip Generation Handbook provides a pass-by rate of 47 percent for drive-in banks. Table 1 provides a summary of the total trip generation with pass-by reductions for the proposed development.

Table 1 – Trip Generation

Land Use	Size	Weekday AM Peak Hour			Weekday PM Peak Hour		
		In	Out	Total	In	Out	Total
Drive-in Bank (ITE 912)	5,954 sf	41	31	72	73	72	145
Less pass-by trips (47%)		-19	-15	-34	-34	-34	-68
Total New Trips		22	16	38	39	38	77

The current Chase Bank location includes the drive-in bank in addition to office space within the four-story building. It is our understanding that the banking portion of the existing site is larger than the proposed bank. Since the drive-in bank is getting smaller, it is anticipated that the proposed location will generate less vehicle trips than the existing location. In addition, since the bank is moving from the southeast corner of IL-83 and Euclid Avenue to the northeast corner, it is anticipated that the existing roadway network can accommodate the shift in traffic and that no additional roadway improvements are needed.

The City of Prospect Heights requires a banking facility to provide four stacking spaces for each window, per the Off-Street Parking Requirements. The proposed on-site circulation provides



space for four vehicles to stack for each ATM lane, including the vehicle using the ATM, with additional stacking area along the internal drive aisle to the drive-through. A total of 18 vehicles can stack from the ATM machines before backing up into the bank parking lot. Based on our experiences and assessments of drive-in banks, the typical maximum queue of vehicles observed at ATM drive-through lanes is approximately 2 to 3 vehicles during the peak hours. Therefore, the stacking capacity of the proposed drive-through lanes of the bank will be sufficient to accommodate the peak demand and not back up into the parking area or Euclid Avenue.

SITE DATA TABLE

PROPERTY AREA - 3.00 AC (66,000 SQ. FT.)
 ON-SITE DEVELOPED AREA - 0.50 AC (11,000 SQ. FT.)
 PROPOSED IMPERVIOUS AREA - 2.50 AC (55,000 SQ. FT.)
 PROPOSED PERVIOUS AREA - 0.50 AC (11,000 SQ. FT.)
 EXISTING IMPERVIOUS AREA - 0.50 AC (11,000 SQ. FT.)
 EXISTING PERVIOUS AREA - 0.50 AC (11,000 SQ. FT.)

SITE DATA TABLE

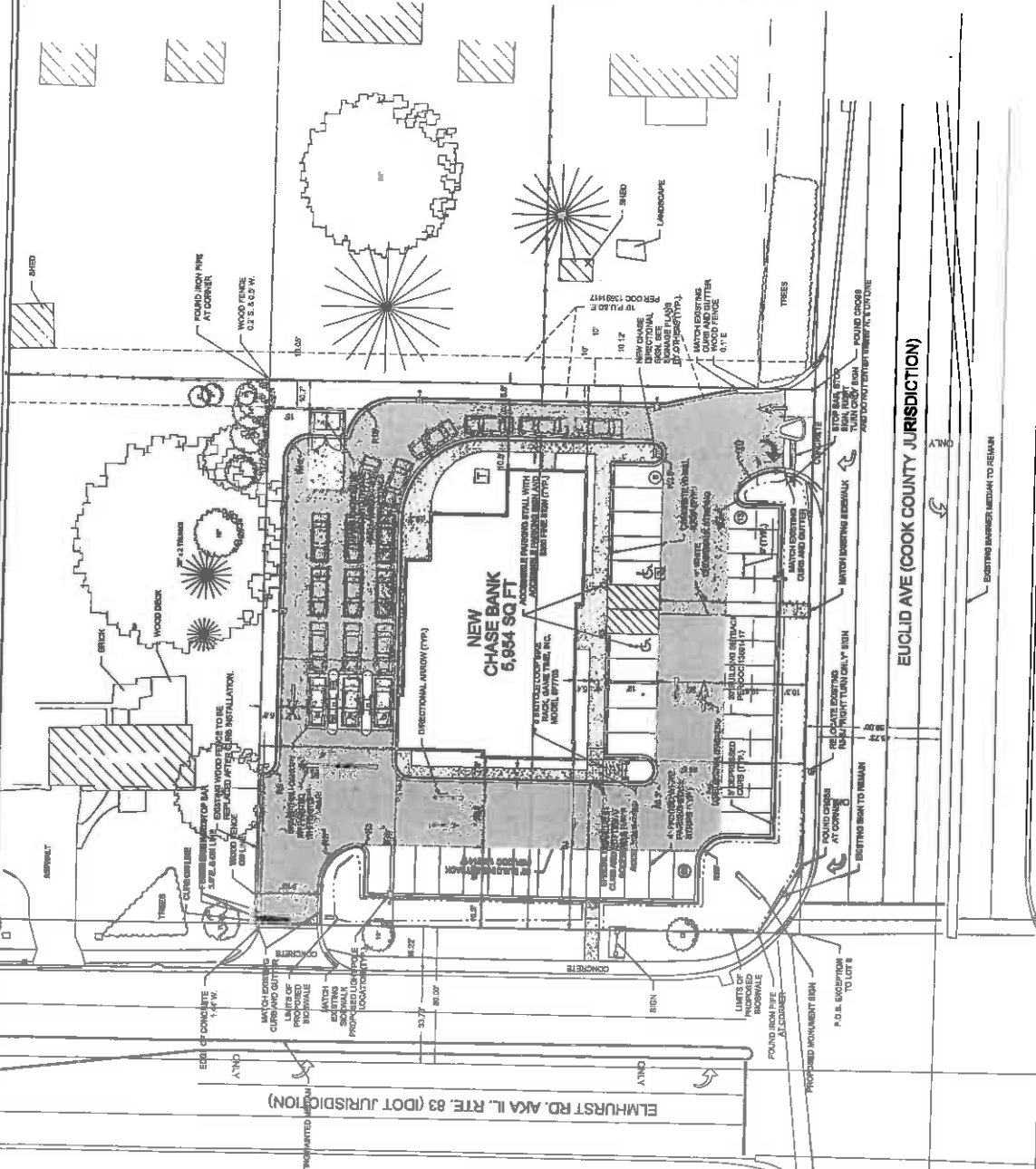
REGULAR SPACES - 34
 ACCESSIBLE SPACES - 2
 TOTAL SPACES - 36

PAVING LEGEND

- HEAVY DUTY BITUMINOUS PAVEMENT**
- 1" BITUMINOUS SURFACE COURSE, DOT SUPERPAVE
 - 1" BITUMINOUS BASE COURSE, DOT SUPERPAVE
 - 1" AGGREGATE BASE COURSE, C-4
- REGULAR BITUMINOUS PAVEMENT**
- 1" BITUMINOUS SURFACE COURSE, DOT SUPERPAVE
 - 1" BITUMINOUS BASE COURSE, DOT SUPERPAVE
 - 1" AGGREGATE BASE COURSE, C-4
- CONCRETE PAVEMENT**
- 4" P.C. CONCRETE PAVEMENT WITH GROWING JOINTS (W.J.)
 - 4" AGGREGATE BASE COURSE, C-4
- CONCRETE SIDEWALK**
- 4" P.C. CONCRETE PAVEMENT
 - 4" AGGREGATE BASE COURSE, C-4

NOTES:

1. ALL DIMENSIONS SHOWN ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
2. ALL PROPOSED DRIVE STOPS SHALL BE PAINTED UNLESS OTHERWISE NOTED.
3. BUILDING DIMENSIONS ARE TO OUTSIDE FACE OF BUILDING UNLESS OTHERWISE NOTED.
4. ALL CURB AND GUTTER SHALL BE 6" UNLESS OTHERWISE NOTED.



CHASE BANK
215 S. ELMHURST ROAD

PROSPECT HEIGHTS, ILLINOIS

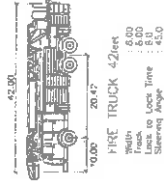
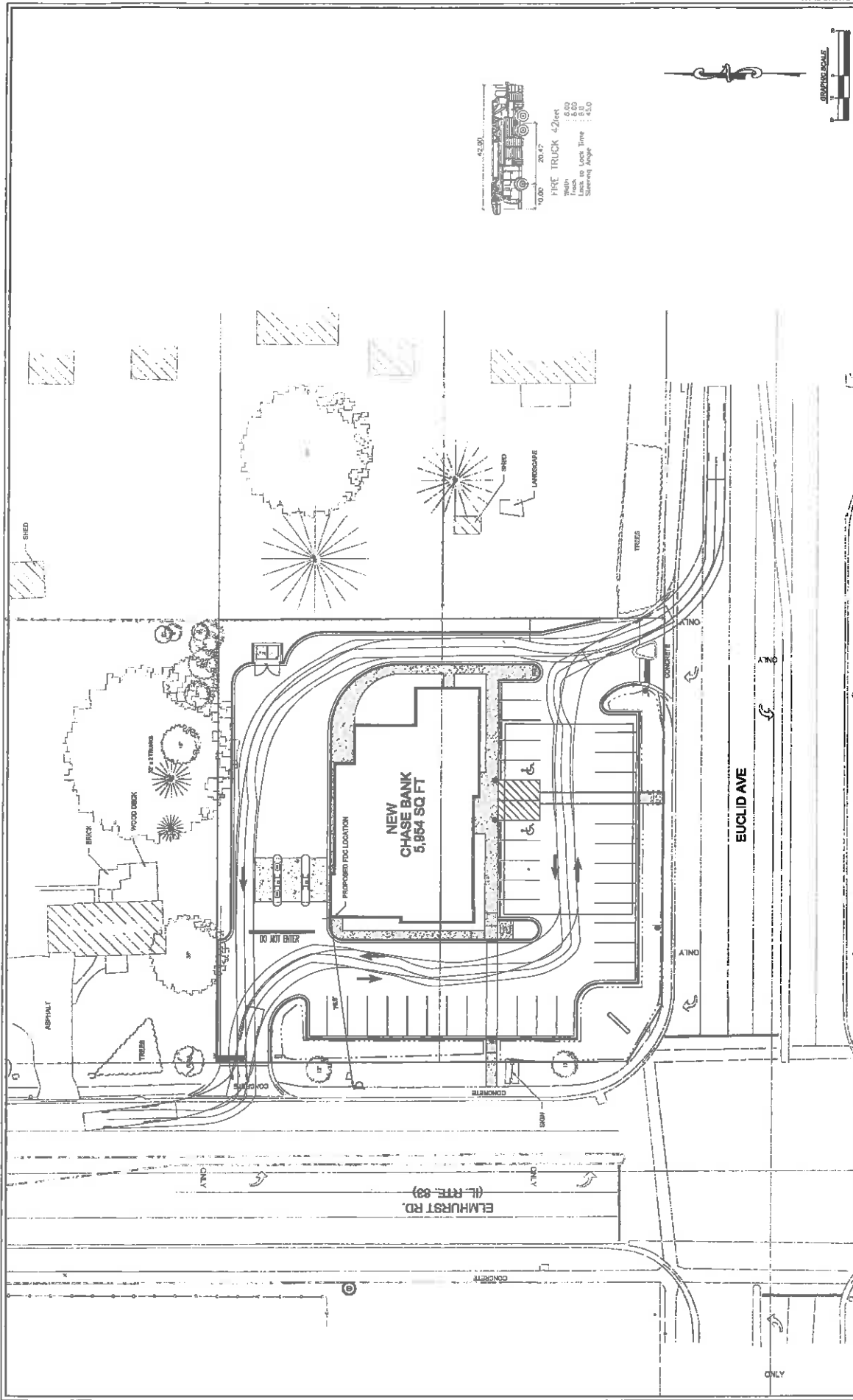
LAYOUT AND PAVING PLAN

C3.0

REVISIONS		DATE	BY	DESCRIPTION

VS CONSULTING
7335 N. Avenue
Westfield, IL 60517
630.724.9200 phone
630.724.9201 fax
www.vsc.com

11/15/15
11/15/15
11/15/15
11/15/15



		CHASE BANK 215 S ELMHURST ROAD PROSPECT HEIGHTS, ILLINOIS		FIRE TRUCK ROUTE EXHIBIT 1/1																																																			
V&B Companies 830.724.9200 Phone 830.724.9202 Fax www.vbco.com		REVISIONS <table border="1"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> <th>BY</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>		NO.	DATE	DESCRIPTION	BY	DATE																					<table border="1"> <thead> <tr> <th>PROJECT NO.</th> <th>DATE</th> <th>BY</th> <th>DATE</th> <th>BY</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>		PROJECT NO.	DATE	BY	DATE	BY																				
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CHASE BANK

215 S ELMHURST ROAD
PROSPECT HEIGHTS, ILLINOIS

PROJECT TEAM

OWNER/DEVELOPER
Chase Bank - Retail Real Estate
111 E. Court 2nd Floor
Flint, Michigan 48502
810 237 3965
Contact: Tom Moffatt

ENGINEER

V3 Companies of Illinois, Ltd.
7325 Janes Avenue
Woodridge, Illinois 60517
630 724 9200
Project Manager: Andrew M. Utner, P.E., LEED AP
Project Engineer: Matthew T. Enkley, P.E.

SURVEYOR

V3 Companies of Illinois, Ltd.
7325 Janes Avenue
Woodridge, Illinois 60517
630 724 9200
Project Manager: Anthony J. Stuckeand

ARCHITECT

The Architects Partnership, Ltd.
122 South Michigan Avenue
Chicago, Illinois 60617
312 583 9800
Contact: Timothy Meserick

INDEX OF DRAWINGS

C0.0	TITLE SHEET
C1.0	GENERAL NOTES, LEGEND, AND ABBREVIATIONS
C1.1	SPECIFICATIONS
C2.0	EXISTING CONDITIONS PLAN
C2.1	DEMOLITION PLAN
C3.0	LAYOUT AND PAVING PLAN
C4.0	GRADING PLAN
C4.1	EROSION CONTROL PLAN
C4.2	EROSION CONTROL DETAILS
C5.0	UTILITY PLAN
C6.0	CONSTRUCTION DETAILS
C6.1	CONSTRUCTION DETAILS
C6.2	CONSTRUCTION DETAILS

BENCHMARK

NOTES:
1. ALL ELEVATIONS ARE IN FEET ABOVE MEAN SEA LEVEL (AMSL).
2. ALL ELEVATIONS ARE BASED ON THE DATUM OF 1985.
3. ALL ELEVATIONS ARE BASED ON THE DATUM OF 1985.
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LOCATION MAP
NO SCALE



VICINITY MAP
NO SCALE

V3 Companies
7325 Janes Avenue
Woodridge, Illinois 60517
630.724.9200 Phone
630.724.9202 Fax
www.v3co.com

Call The Day
TUE
800.892.0123
Call 48 hours before you dig

Just
Utility
Locating
Information
for
Excavators

REV	DATE	DESCRIPTION	REVISIONS	BY

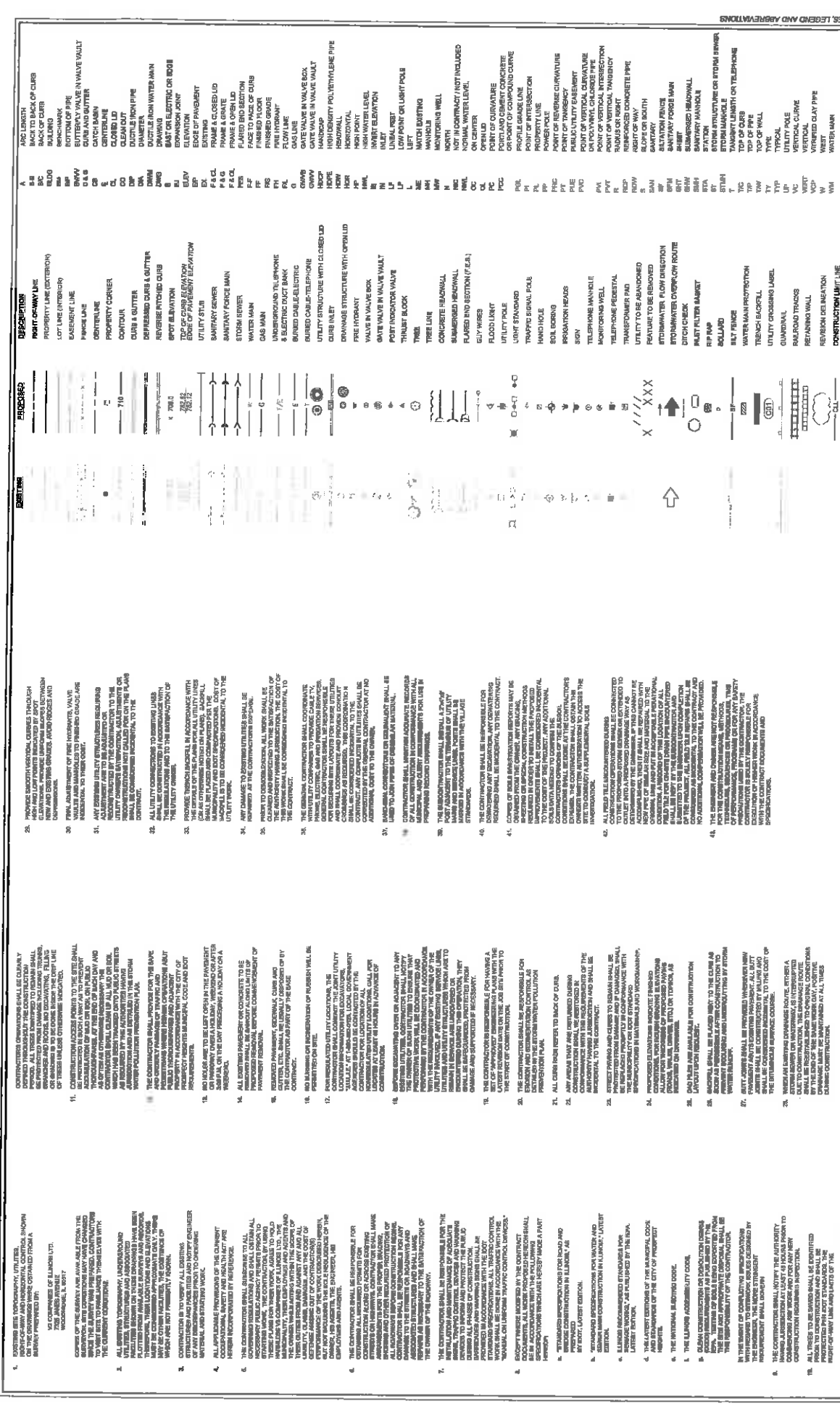
ORIGINAL ISSUE DATE: OCTOBER 16, 2015

PROFESSIONAL ENGINEER'S CERTIFICATION
I, the undersigned, being a duly Licensed Professional Engineer in the State of Illinois, do hereby certify that the foregoing is a true and correct copy of the original as the same appears in my files.
GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS 16th DAY OF OCTOBER, 2015.
Matthew T. Enkley, P.E.
Matthew T. Enkley, P.E.
Matthew T. Enkley, P.E.

DRAWING NO.

C0.0

10/15/2015 - TITLE SHEET



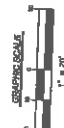
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930 Connelley
7325 James Avenue
Prospect Heights, IL 60070
Phone: 847.326.1100
Fax: 847.326.1101
www.phsco.com

DEMOLITION PLAN

1. THE EXTENT OF DEMOLITION WORK IS AS GENERALLY SHOWN ON THE CONSTRUCTION DOCUMENTS. SPECIFIC DEMOLITION PROCESSES OR PROCEDURES FOR DEMOLITION SHALL BE DETERMINED BY THE CONTRACTOR AND SHALL BE THE FOLLOWING: DEMOLITION INCLUDING, BUT NOT LIMITED TO, REMOVAL AND DISPOSAL OF:
 - BUILDINGS AND STRUCTURES
 - BUILDINGS, FOUNDATIONS AND SUPPORTING WALLS AND SLABS
 - UTILITIES
 - CONSTRUCTION DEBRIS
2. ALL MATERIALS TO BE REMOVED ADJACENT TO PAVEMENT SHALL BE REMOVED TO A MINIMUM OF 18" BELOW THE PAVEMENT SURFACE. MATERIALS TO BE REMOVED FROM OVER EXPOSED AND GEOTECHNICAL ENGINEER FOR THE MATERIAL TYPE AND LOCATION. DEMOLITION SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
3. STRUCTURES TO BE DEMOLISHED SHALL BE VACATED AND DISCONNECTED FROM USE PRIOR TO START OF WORK. CHANGES TO THE DEMOLITION PLAN SHALL BE MADE PRIOR TO THE START OF WORK. DEMOLITION SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME. DEMOLITION SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
4. DEMOLITION SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME. DEMOLITION SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME. DEMOLITION SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
5. ITEMS OF SALVAGEABLE VALUE SHALL BE REMOVED AS WORK PROGRESSES AND AS APPROVED BY THE OWNER. SALVAGED ITEMS MUST BE REMOVED FROM THE SITE AS THEY ARE REMOVED. STORAGE ON SITE OF REMOVED ITEMS ON SITE WILL NOT BE PERMITTED.
6. DEMOLITION OPERATIONS AND REMOVAL OF DEBRIS IN SUCH A MANNER TO MAINTAIN MINIMUM ADJACENT PAVEMENT WITH ROADS, STREETS, WALLS AND OTHER ADJACENT FACILITIES.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF BUILDINGS, ADJACENTS AND UTILITIES TO REMAIN AND FOR ANY DAMAGE AND SHALL BE RESPONSIBLE FOR REPAIRING THE SAME.
8. UTILITIES WHICH DO NOT SOLELY SERVICE STRUCTURES BEING DEMOLISHED, ARE TO BE LEFT IN PLACE AND SHALL BE PROTECTED BY THE CONTRACTOR. CONTRACTOR SHALL MAINTAIN PROPER CLEARANCE FOR ALL UTILITIES BEING DEMOLISHED. CONTRACTOR SHALL MAINTAIN PROPER CLEARANCE FOR ALL UTILITIES BEING DEMOLISHED. CONTRACTOR SHALL MAINTAIN PROPER CLEARANCE FOR ALL UTILITIES BEING DEMOLISHED.
9. EXISTING UTILITIES TO BE ABANDONED ARE TO BE CAPED AT BOTH ENDS AND RIGIDLY SUPPORTED OR ABANDONED FULL OR SELECTED UTILITIES SHALL BE REMOVED AND TO MAKE THEM THROUGHOUT DEMOLITION WITH MODIFIED PROTECTIVE DENSITY.
10. ALL PRIVATE UTILITIES (ELECTRIC, GAS, TELEPHONE, WATER, SEWER, ETC.) SHALL BE REMOVED AND RELOCATED PER THE UTILITY OWNER AND THE LOCAL JURISDICTION'S REQUIREMENTS.
11. CONTRACTOR SHALL LOCATE AND PROTECT EXISTING UNDERGROUND AND OVERGROUND UTILITIES PRIOR TO DEMOLITION. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES.
12. REMOVAL OF EXISTING UTILITIES SHALL BE COMPLETED AS GENERALLY SHOWN ON THESE PLANS. CONTRACTOR TO COORDINATE WITH THE UTILITY OWNERS TO MAINTAIN AN ACCEPTABLE LEVEL OF SERVICE.
13. USE WATER SPRINKLING, THERMAL SPRINKLING, AND OTHER AVAILABLE METHODS TO MINIMIZE DUST AND DIRT FROM READING AND ACTIVITIES IN THE AIR. COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.
14. DEMOLITION DEBRIS SHALL BE REMOVED FROM THE SITE AND DEPOSITED IN A LEGAL MANNER. COMPLETELY FULLY CHARGED AREA AND VESSEL FROM DEMOLITION TO THE FINAL LINES AND GRADES SHOWN ON THE CONTRACT DOCUMENTS. DEMOLITION DEBRIS SHALL BE DEPOSITED IN AN ACCEPTABLE MANNER ON APPROVED SITES.
15. SEE LANDSCAPE PLANS FOR INFORMATION ON LANDSCAPE AND TREE PROTECTION, PRESERVATION, AND RELOCATION.
16. EXISTING MONITORING WELLS ARE TO BE REMOVED AS NECESSARY AND SEEN BY STATE LICENSED WELL CONTRACTOR TO COORDINATE WITH THE COOK COUNTY HEALTH DEPARTMENT (PH 630-2000) FOR DIRECTION AND REQUIRED SEALS REPORT DOCUMENTATION.
17. THESE DRAWINGS DO NOT INCLUDE THE REMOVAL OF UNDERGROUND STORAGE TANKS, GASOLINE, DIESEL, AND OTHER LIQUIDS. CONTRACTOR TO COORDINATE WITH THE UTILITY OWNERS AND ENGINEER TO DETERMINE THE LOCATION AND DEPTH OF UNDERGROUND STORAGE TANKS. TANKS MUST BE IN COMPLIANCE WITH ALL LOCAL AND STATE REGULATIONS.

DEMOLITION LEGEND	
	EXISTING STRUCTURAL ELEMENTS TO BE REMOVED & PROPERLY DISPOSED OF BY CONTRACTOR
	EXISTING UTILITIES TO BE REMOVED & PROPERLY DISPOSED OF BY CONTRACTOR
	ITEMS TO BE REMOVED
	ITEMS TO BE REMOVED



DEMOLITION PLAN

CHASE BANK
215 S BLAUFURST ROAD

PROSPECT HEIGHTS

ILLINOIS

C2.1

REVISIONS

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VS Consulting
7320 Janna Avenue
Westfield, IL 60177
Tel: 847.221.1111
Fax: 847.221.1112
www.vscs.com



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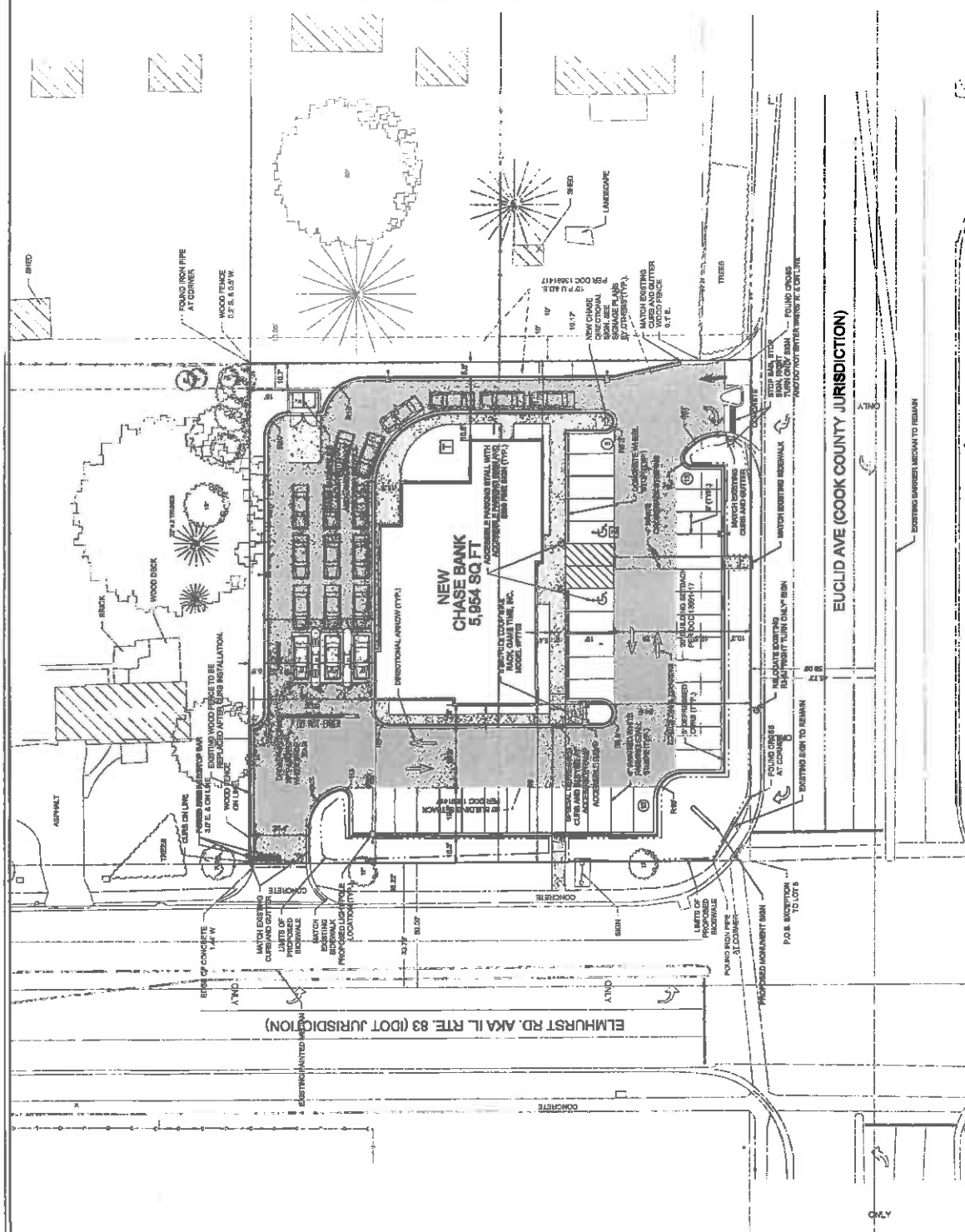
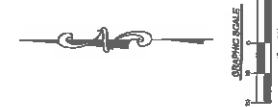
SITE DATA TABLE	
PROPERTY AREA - 1.00 AC (81,474 SQ. FT.)	
EXISTING IMPAVED AREA - 28,000 SQ. FT. (0.64 AC)	
ON-SITE PARKING	
PROPOSED IMPAVED AREA - 28,000 SQ. FT. (0.64 AC)	
PROPOSED PAVED AREA - 28,000 SQ. FT. (0.64 AC)	
EXISTING IMPAVED AREA - 28,000 SQ. FT. (0.64 AC)	
EXISTING PAVED AREA - 28,000 SQ. FT. (0.64 AC)	

SITE DATA TABLE	
REGULAR SPACES	34
CONCRETE SPACES	2
TOTAL SPACES	36

PAVING LEGEND	
HEAVY DUTY BITUMINOUS PAVEMENT	
1" BITUMINOUS SURFACE COURSE, 10% SUPERPAVE	
2" BITUMINOUS BASE COURSE, 10% SUPERPAVE	
1" AGGREGATE BASE COURSE - C-3	
REGULAR BITUMINOUS PAVEMENT	
1" BITUMINOUS SURFACE COURSE, 10% SUPERPAVE	
2" BITUMINOUS BASE COURSE, 10% SUPERPAVE	
1" AGGREGATE BASE COURSE - C-3	
CONCRETE PAVEMENT	
8" FAL CONCRETE PAVEMENT WITH 2% SLOPE (2% SLOPE)	
8" FAL CONCRETE PAVEMENT WITH 2% SLOPE (2% SLOPE)	
8" FAL CONCRETE PAVEMENT WITH 2% SLOPE (2% SLOPE)	
CONCRETE SIDEWALK	
8" FAL CONCRETE PAVEMENT WITH 2% SLOPE (2% SLOPE)	
8" FAL CONCRETE PAVEMENT WITH 2% SLOPE (2% SLOPE)	

NOTES:

1. ALL DIMENSIONS SHOWN ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
2. ALL PROPOSED ON-SITE STREETS SHALL BE PAINTED WHITE UNLESS OTHERWISE NOTED.
3. BUILDING DIMENSIONS ARE TO OUTSIDE FACE OF BUILDING UNLESS OTHERWISE NOTED.
4. ALL CURB AND GUTTER SHALL BE 12" UNLESS OTHERWISE NOTED.



LAYOUT AND PAVING PLAN		
C3.0		
CHASE BANK 215 S ELMHURST ROAD PROSPECT HEIGHTS, ILLINOIS		
REVISIONS		
NO.	DATE	DESCRIPTION
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VS Companies
830.724.8900 phone
830.724.8900 fax
www.vscorp.com

LEGEND

EXISTING ELEVATION
OVERLAP FLOOD ROUTE

EXISTING ELEVATION
OVERLAP FLOOD ROUTE

1. ALL ELEVATIONS MUST BE TO THE TOP OF THE CURB AND FINISH GRADE. ALL ELEVATIONS MUST BE TO THE TOP OF THE CURB AND FINISH GRADE. ALL ELEVATIONS MUST BE TO THE TOP OF THE CURB AND FINISH GRADE.
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3. PROVIDE 10% CROSS SLOPE AND 4.0% SIDEWALK SLOPE. PROVIDE 10% CROSS SLOPE AND 4.0% SIDEWALK SLOPE. PROVIDE 10% CROSS SLOPE AND 4.0% SIDEWALK SLOPE.



DRAWING NO.

GRADING PLAN

C4.0

CHASE BANK
215 S ELMHURST ROAD

ILLINOIS

PROSPECT HEIGHTS

NO.	DATE	DESCRIPTION	BY	DATE	DESCRIPTION	BY
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REVISIONS

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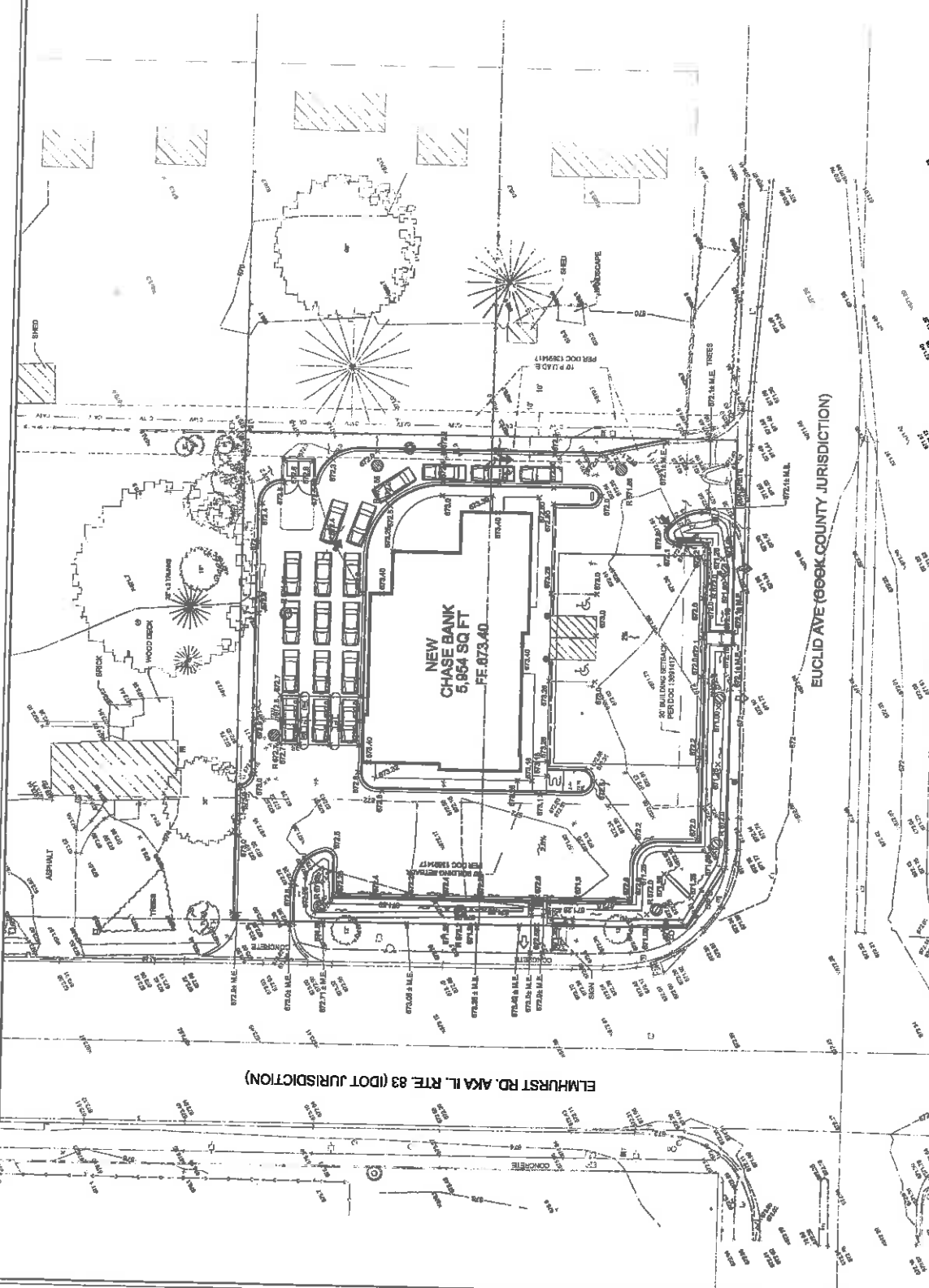
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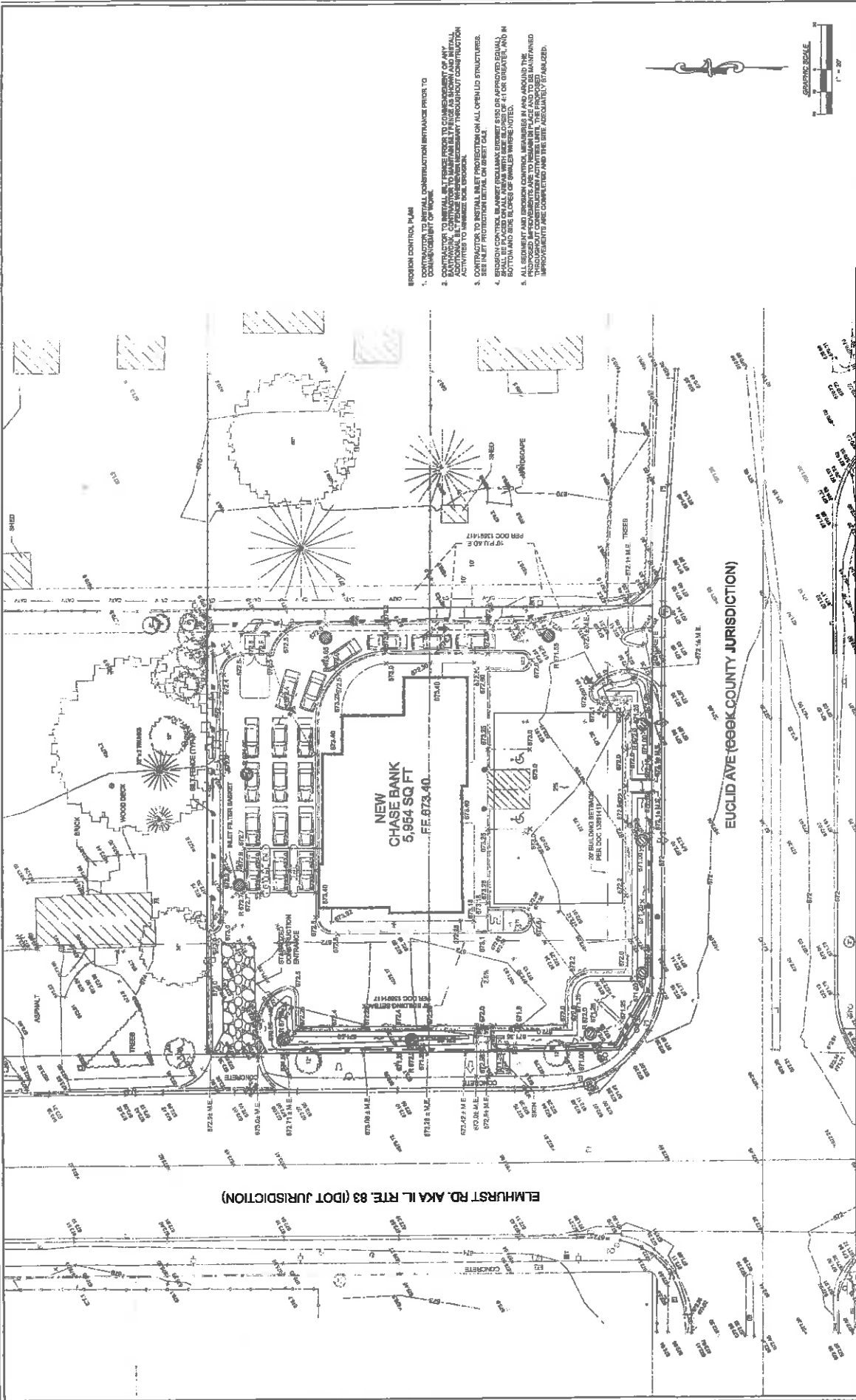
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TS Consulting
Wendell, IL 60531
800.774.8200 phone
800.774.8200 fax
www.tsinc.com



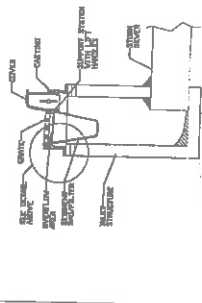
10175.022 - GRADING PLAN





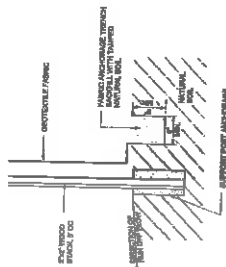
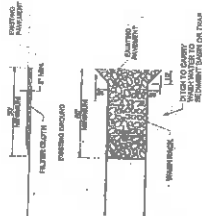
- EROSION CONTROL PLAN
1. CONTRACTOR TO INSTALL CONSTRUCTION ENTRANCE PRIOR TO COMMENCEMENT OF WORK.
 2. CONTRACTOR TO INSTALL EROSION CONTROL MEASURES TO PREVENT EROSION OF ANY EXPOSED SOILS. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY CONSTRUCTION ACTIVITIES TO MINIMIZE SOIL EROSION.
 3. CONTRACTOR TO INSTALL EROSION CONTROL MEASURES TO PREVENT EROSION OF ANY EXPOSED SOILS. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY CONSTRUCTION ACTIVITIES TO MINIMIZE SOIL EROSION.
 4. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY CONSTRUCTION ACTIVITIES TO MINIMIZE SOIL EROSION.
 5. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY CONSTRUCTION ACTIVITIES TO MINIMIZE SOIL EROSION.

		V8 Companies 7225 James Avenue Chicago, IL 60631 850.754.9200 Phone 850.754.9202 Fax www.v8inc.com	
REVISIONS		DATE	
NO.	DATE	DESCRIPTION	DATE
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100	10/18/18	ISSUED FOR PERMITS	10/18/18

[illegible][illegible]

CONSTRUCTION ENTRANCE SPECIFICATIONS

- [illegible]



Only use these tags: **h1**, **h2**, **h3**, **h4**, **h5**, **h6**, **h7**, **h8**, **h9**, **h10**, **h11**, **h12**, **h13**, **h14**, **h15**, **h16**, **h17**, **h18**, **h19**, **h20**, **h21**, **h22**, **h23**, **h24**, **h25**, **h26**, **h27**, **h28**, **h29**, **h30**, **h31**, **h32**, **h33**, **h34**, **h35**, **h36**, **h37**, **h38**, **h39**, **h40**, **h41**, **h42**, **h43**, **h44**, **h45**, **h46**, **h47**, **h48**, **h49**, **h50**, **h51**, **h52**, **h53**, **h54**, **h55**, **h56**, **h57**, **h58**, **h59**, **h60**, **h61**, **h62**, **h63**, **h64**, **h65**, **h66**, **h67**, **h68**, **h69**, **h70**, **h71**, **h72**, **h73**, **h74**, **h75**, **h76**, **h77**, **h78**, **h79**, **h80**, **h81**, **h82**, **h83**, **h84**, **h85**, **h86**, **h87**, **h88**, **h89**, **h90**, **h91**, **h92**, **h93**, **h94**, **h95**, **h96**, **h97**, **h98**, **h99**, **h100**, **h101**, **h102**, **h103**, **h104**, **h105**, **h106**, **h107**, **h108**, **h109**, **h110**, **h111**, **h112**, **h113**, **h114**, **h115**, **h116**, **h117**, **h118**, **h119**, **h120**, **h121**, **h122**, **h123**, **h124**, **h125**, **h126**, **h127**, **h128**, **h129**, **h130**, **h131**, **h132**, **h133**, **h134**, **h135**, **h136**, **h137**, **h138**, **h139**, **h140**, **h141**, **h142**, **h143**, **h144**, **h145**, **h146**, **h147**, **h148**, **h149**, **h150**, **h151**, **h152**, **h153**, **h154**, **h155**, **h156**, **h157**, **h158**, **h159**, **h160**, **h161**, **h162**, **h163**, **h164**, **h165**, **h166**, **h167**, **h168**, **h169**, **h170**, **h171**, **h172**, **h173**, **h174**, **h175**, **h176**, **h177**, **h178**, **h179**, **h180**, **h181**, **h182**, **h183**, **h184**, **h185**, **h186**, **h187**, **h188**, **h189**, **h190**, **h191**, **h192**, **h193**, **h194**, **h195**, **h196**, **h197**, **h198**, **h199**, **h200**, **h201**, **h202**, **h203**, **h204**, **h205**, **h206**, **h207**, **h208**, **h209**, **h210**, **h211**, **h212**, **h213**, **h214**, **h215**, **h216**, **h217**, **h218**, **h219**, **h220**, **h221**, **h222**, **h223**, **h224**, **h225**, **h226**, **h227**, **h228**, **h229**, **h230**, **h231**, **h232**, **h233**, **h234**, **h235**, **h236**, **h237**, **h238**, **h239**, **h240**, **h241**, **h242**, **h243**, **h244**, **h245**, **h246**, **h247**, **h248**, **h249**, **h250**, **h251**, **h252**, **h253**, **h254**, **h255**, **h256**, **h257**, **h258**, **h259**, **h260**, **h261**, **h262**, **h263**, **h264**, **h265**, **h266**, **h267**, **h268**, **h269**, **h270**, **h271**, **h272**, **h273**, **h274**, **h275**, **h276**, **h277**, **h278**, **h279**, **h280**, **h281**, **h282**, **h283**, **h284**, **h285**, **h286**, **h287**, **h288**, **h289**, **h290**, **h291**, **h292**, **h293**, **h294**, **h295**, **h296**, **h297**, **h298**, **h299**, **h300**, **h301**, **h302**, **h303**, **h304**, **h305**, **h306**, **h307**, **h308**, **h309**, **h310**, **h311**, **h312**, **h313**, **h314**, **h315**, **h316**, **h317**, **h318**, **h319**, **h320**, **h321**, **h322**, **h323**, **h324**, **h325**, **h326**, **h327**, **h328**, **h329**, **h330**, **h331**, **h332**, **h333**, **h334**, **h335**, **h336**, **h337**, **h338**, **h339**, **h340**, **h341**, **h342**, **h343**, **h344**, **h345**, **h346**, **h347**, **h348**, **h349**, **h350**, **h351**, **h352**, **h353**, **h354**, **h355**, **h356**, **h357**, **h358**, **h359**, **h360**, **h361**, **h362**, **h363**, **h364**, **h365**, **h366**, **h367**, **h368**, **h369**, **h370**, **h371**, **h372**, **h373**, **h374**, **h375**, **h376**, **h377**, **h378**, **h379**, **h380**, **h381**, **h382**, **h383**, **h384**, **h385**, **h386**, **h387**, **h388**, **h389**, **h390**, **h391**, **h392**, **h393**, **h394**, **h395**, **h396**, **h397**, **h398**, **h399**, **h400**, **h401**, **h402**, **h403**, **h404**, **h405**, **h406**, **h407**, **h408**, **h409**, **h410**, **h411**, **h412**, **h413**, **h414**, **h415**, **h416**, **h417**, **h418**, **h419**, **h420**

BOLT FENCE CONSTRUCTION DETAIL

PROJECT NAME	1617E.D22	CHARGED BY:	LAB
FILE NAME	C40 00000000.D22.D22	CHARGED BY:	BLD
CHARGE IN DATE	10-18-18	CHARGED BY:	AMU
SCALE	M7H	PROJECT NUMBER	ASMA

REVISIONS

[illegible]

V3 Companies
1325 Jane Avenue
Woodridge, IL 60517
330.724.9200 phone
330.724.9202 fax
www.v3co.com

Do Vines in Your Garden - the Good...

STABILIZED CONSTRUCTION ENTRANCE (TYPICAL)

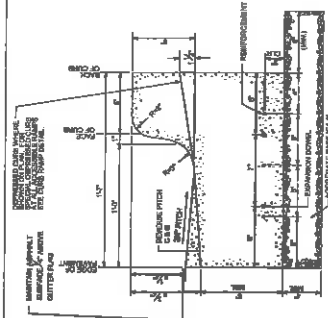
CHASE BANK
215 S ELMHURST ROAD

PSKOH 772

EROSION CONTROL DETAILS

06841973

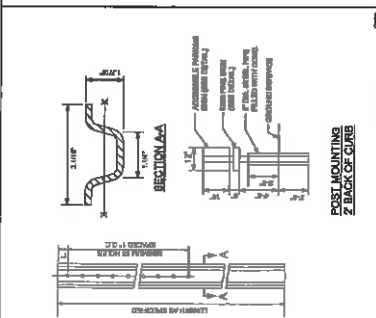
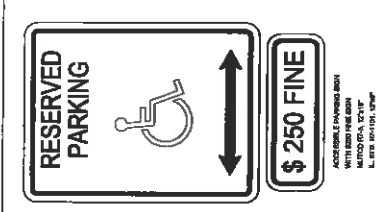
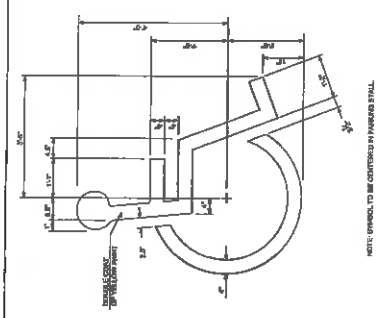
C4.2



ITEM	QUANTITY	UNIT	REMARKS
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3.0	1.00	EA	1.00
4.0	1.00	EA	1.00
5.0	1.00	EA	1.00
6.0	1.00	EA	1.00
7.0	1.00	EA	1.00
8.0	1.00	EA	1.00
9.0	1.00	EA	1.00
10.0	1.00	EA	1.00

- NOTES:**
1. CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, LATEST EDITION, AND THE STANDARD SPECIFICATIONS FOR THE CONSTRUCTION OF THE STATE OF TEXAS, LATEST EDITION.
 2. CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, LATEST EDITION, AND THE STANDARD SPECIFICATIONS FOR THE CONSTRUCTION OF THE STATE OF TEXAS, LATEST EDITION.
 3. CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, LATEST EDITION, AND THE STANDARD SPECIFICATIONS FOR THE CONSTRUCTION OF THE STATE OF TEXAS, LATEST EDITION.
 4. CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, LATEST EDITION, AND THE STANDARD SPECIFICATIONS FOR THE CONSTRUCTION OF THE STATE OF TEXAS, LATEST EDITION.
 5. CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, LATEST EDITION, AND THE STANDARD SPECIFICATIONS FOR THE CONSTRUCTION OF THE STATE OF TEXAS, LATEST EDITION.
 6. CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, LATEST EDITION, AND THE STANDARD SPECIFICATIONS FOR THE CONSTRUCTION OF THE STATE OF TEXAS, LATEST EDITION.
 7. CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, LATEST EDITION, AND THE STANDARD SPECIFICATIONS FOR THE CONSTRUCTION OF THE STATE OF TEXAS, LATEST EDITION.
 8. CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, LATEST EDITION, AND THE STANDARD SPECIFICATIONS FOR THE CONSTRUCTION OF THE STATE OF TEXAS, LATEST EDITION.
 9. CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, LATEST EDITION, AND THE STANDARD SPECIFICATIONS FOR THE CONSTRUCTION OF THE STATE OF TEXAS, LATEST EDITION.
 10. CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, LATEST EDITION, AND THE STANDARD SPECIFICATIONS FOR THE CONSTRUCTION OF THE STATE OF TEXAS, LATEST EDITION.

B6.12 CURB AND GUTTER



REVISIONS		CONSTRUCTION DETAILS		PROSPECT HEIGHTS	
NO.	DATE	DESCRIPTION	DATE	DESCRIPTION	DATE
1	01/15/20 </td <td>1. 12" X 18" SIGN</td> <td>01/15/20</td> <td>1. 12" X 18" SIGN</td> <td>01/15/20</td>	1. 12" X 18" SIGN	01/15/20	1. 12" X 18" SIGN	01/15/20
2	01/15/20	2. 12" X 18" SIGN	01/15/20	2. 12" X 18" SIGN	01/15/20
3	01/15/20	3. 12" X 18" SIGN	01/15/20	3. 12" X 18" SIGN	01/15/20
4	01/15/20	4. 12" X 18" SIGN	01/15/20	4. 12" X 18" SIGN	01/15/20
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7	01/15/20	7. 12" X 18" SIGN	01/15/20	7. 12" X 18" SIGN	01/15/20
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9	01/15/20	9. 12" X 18" SIGN	01/15/20	9. 12" X 18" SIGN	01/15/20
10	01/15/20	10. 12" X 18" SIGN	01/15/20	10. 12" X 18" SIGN	01/15/20

V2 Companies
7225 Jones Avenue
Dallas, TX 75237
850.724.9202 fax
850.724.9202 fax
www.v2co.com

CHASE BANK
215 S ELMHURST ROAD
ILLINOIS

CONSTRUCTION DETAILS
C6.0

ACCESSIBLE PARKING STALL DETAIL

1. 12" X 18" SIGN

2. 12" X 18" SIGN

3. 12" X 18" SIGN

4. 12" X 18" SIGN

5. 12" X 18" SIGN

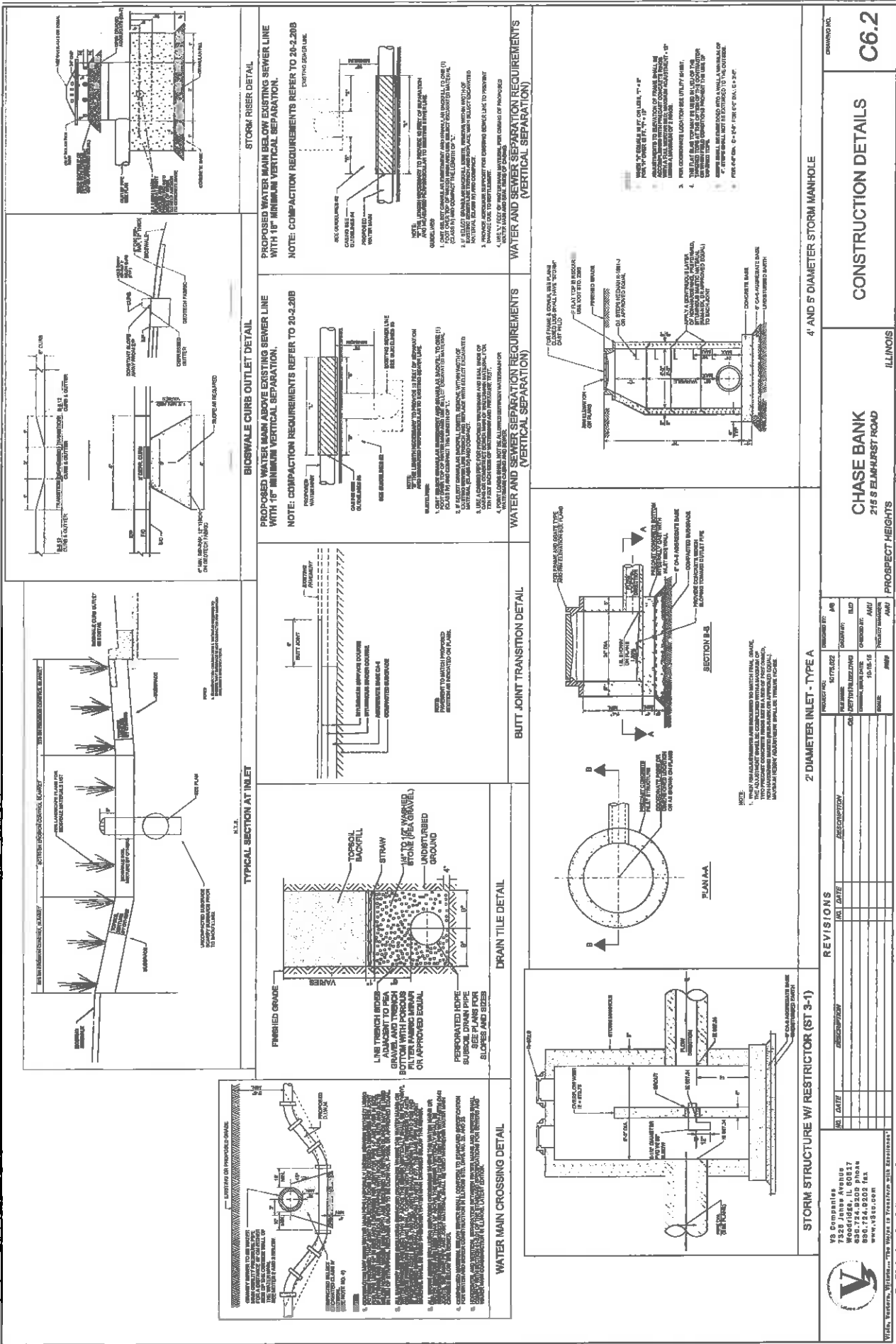
6. 12" X 18" SIGN

7. 12" X 18" SIGN

8. 12" X 18" SIGN

9. 12" X 18" SIGN

10. 12" X 18" SIGN



V8 Companies, Inc.
1000 West 10th Street
Chicago, IL 60607
800.724.9205 phone
800.724.9205 fax
www.v8co.com

REV	DATE	DESCRIPTION
1	10/10/02	ISSUED FOR PERMIT
2	10/10/02	ISSUED FOR PERMIT
3	10/10/02	ISSUED FOR PERMIT
4	10/10/02	ISSUED FOR PERMIT
5	10/10/02	ISSUED FOR PERMIT
6	10/10/02	ISSUED FOR PERMIT
7	10/10/02	ISSUED FOR PERMIT
8	10/10/02	ISSUED FOR PERMIT
9	10/10/02	ISSUED FOR PERMIT
10	10/10/02	ISSUED FOR PERMIT

REV	DATE	DESCRIPTION
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8	10/10/02	ISSUED FOR PERMIT
9	10/10/02	ISSUED FOR PERMIT
10	10/10/02	ISSUED FOR PERMIT

REV	DATE	DESCRIPTION
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10	10/10/02	ISSUED FOR PERMIT

REV	DATE	DESCRIPTION
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REV	DATE	DESCRIPTION
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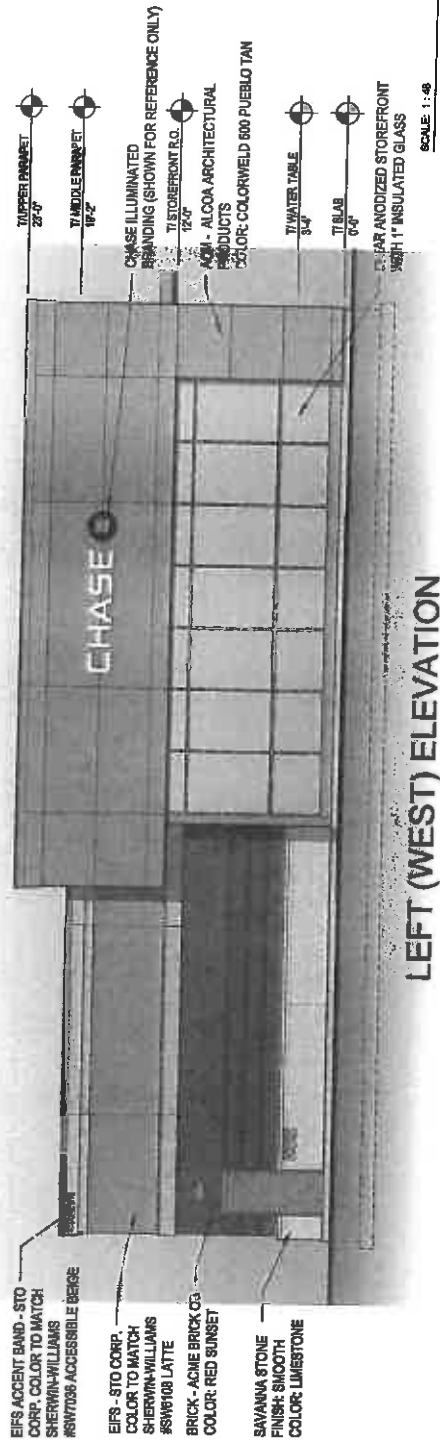
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REV	DATE	DESCRIPTION
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REV	DATE	DESCRIPTION
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8	10/10/02	ISSUED FOR PERMIT
9	10/10/02	ISSUED FOR PERMIT
10	10/10/02	ISSUED FOR PERMIT



CHASE
RANDHURST
215 S. Elmhurst Rd.
Prospect Heights, IL 60070

ARCHITECTURAL EXTERIOR ELEVATIONS

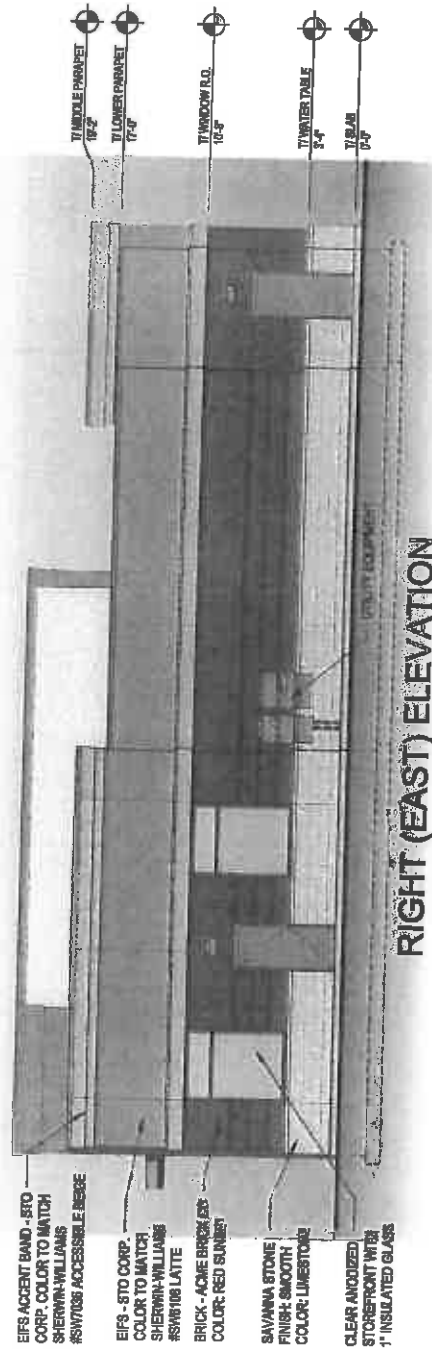
OCTOBER 19, 2015

Architect/Designer
The Architects Partnership
122 South Michigan Avenue
Chicago, IL 60603
t: 312.583.9800
f: 312.583.9890
TAP Project Number: 15101

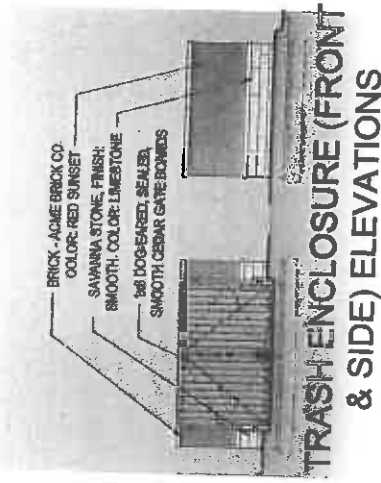




REAR (NORTH) ELEVATION



RIGHT (EAST) ELEVATION



TRASH ENCLOSURE (FRONT & SIDE) ELEVATIONS

SCALE 1:48

ARCHITECTURAL EXTERIOR ELEVATIONS

OCTOBER 19, 2015

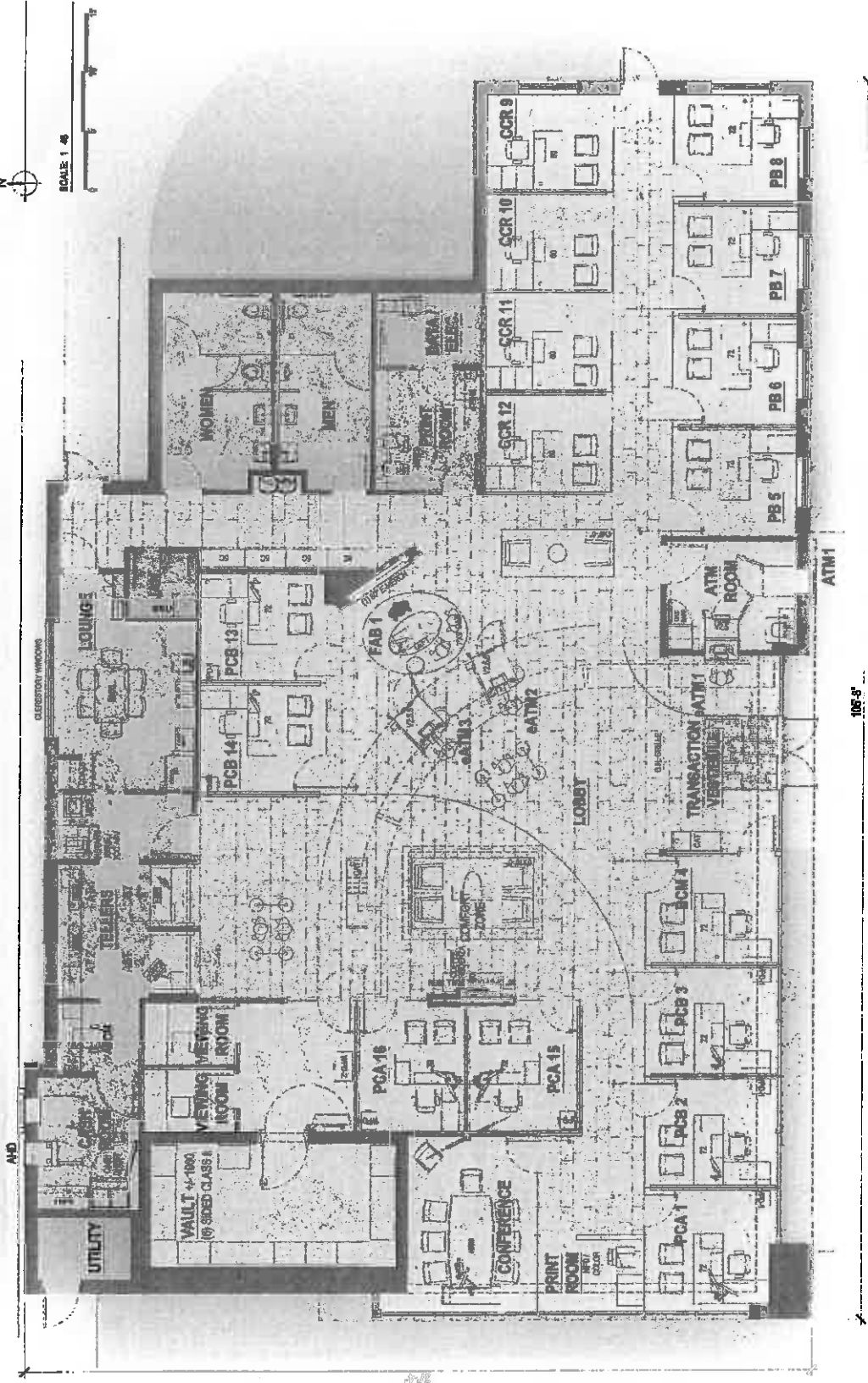


215 S. Elmhurst Rd.
Prospect Heights, IL 60070

Architect/Designer
The Architects Partnership
122 South Michigan Avenue
Chicago, IL 60603
T: 312.593.9800
F: 312.593.9890
TAP Project Number: 15101



ATM2



105'-0"

CHASE
RANDHURST
 215 S. Elmhurst Rd.
 Prospect Heights, IL 60070

Architect/Designer
 The Architects Partnership
 122 South Michigan Avenue
 Chicago, IL 60603
 t: 312.583.9800
 f: 312.583.9890
 TAP Project Number: 15101



ARCHITECTURAL FLOOR PLAN

OCTOBER 19, 2015



529 North Barron Boulevard
Graylake, IL 60030
(847) 223-1691 (847) 223-1692 FAX
website: www.3daddict.com
email: info@3daddict.com

Chase Bank - 215 S. Elmhurst Road
Landscape Plan

code	AS NOTED
design	3D
date	10.16.15
preparer	
checked	
approved	

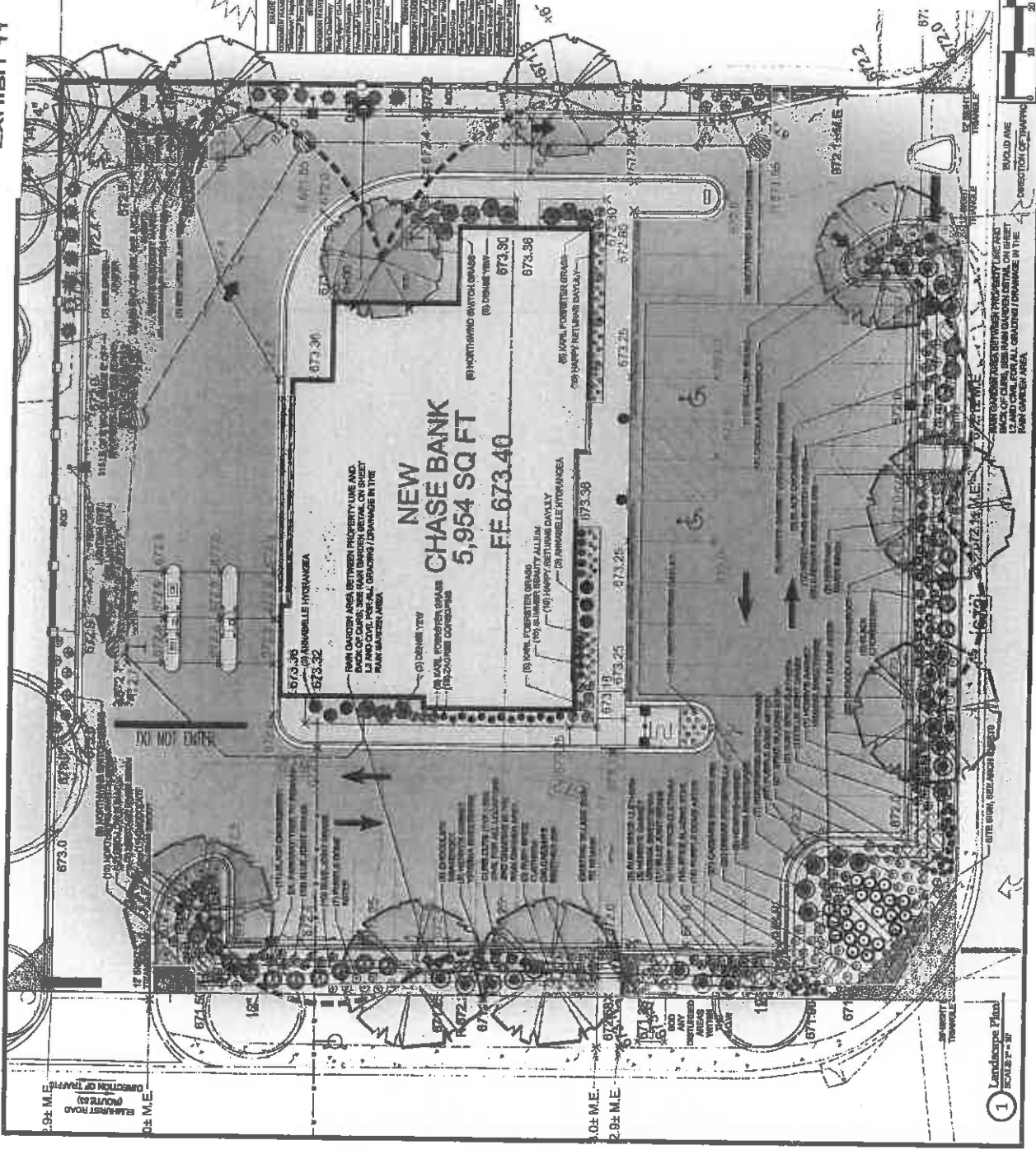
L1
of 2 sheet(s)

LANDSCAPE CODE CALCULATIONS:

FOR TOTAL TRADING OPPORTUNITIES AND INFORMATION:

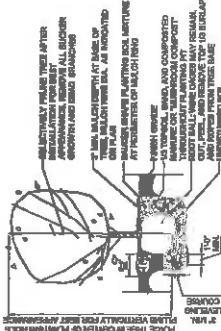
LOCATIONS INCLUDE: MANHATTAN, NY; SEVERAL LOCATIONS BETWEEN
PARKWAY EAST AND EIGHTH AVENUE IN PROPOSED SOUTH VESTER AREA.

THE BEST IS FOR YOUR OWNERS DETAIL AND PLANTING DETAILS.

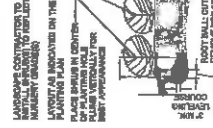
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1 Landscape Plan
SCALE 1" = 10'

NOTES:
1. LANDSCAPE CONTRACTOR SHALL CONSTRUCT FROM THE LAYOUT WITH ALL MAJOR
2. LANDSCAPE CONTRACTOR TO INSTALL TREES AT MAXIMUM OF 14 INCHES
3. LAYOUT AS INDICATED ON THE PLANTING PLAN



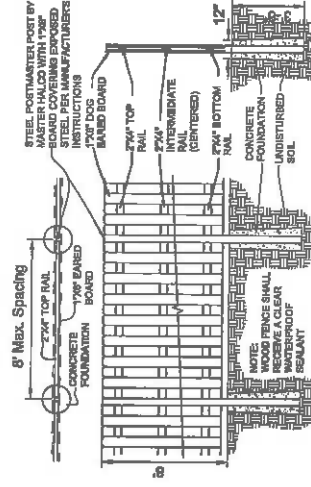
1 Tree Planting Detail
SCALE: 1/4" = 1'-0"



2 Shrub Planting Detail
SCALE: 1/4" = 1'-0"



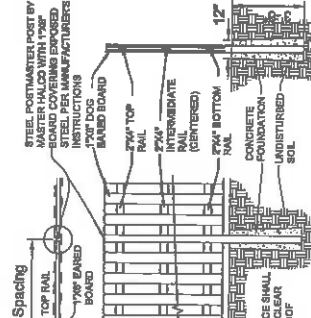
3 Perennial Planting Detail
SCALE: 1/4" = 1'-0"



4 Rain Garden Detail
SCALE: 1/4" = 1'-0"



5 Wood Fence Detail
SCALE: 1/4" = 1'-0"



6 8' Max. Spacing
SCALE: 1/4" = 1'-0"

CHASE

Chase Bank - 215 S. Elmhurst Road
Landscape Plan

design studio
200 North Lincoln Road
Cape Coral, FL 33904
(813) 223-1671 (813) 223-1672 FAX
www.designstudiofl.com
info@designstudiofl.com

Project	AS NOTED
Address	30
City	10, 15, 15
State	10, 15, 15
County	10, 15, 15
Parcel	10, 15, 15
Owner	10, 15, 15
Architect	10, 15, 15
Engineer	10, 15, 15
Surveyor	10, 15, 15
Inspector	10, 15, 15
Contractor	10, 15, 15
Material	10, 15, 15
Method	10, 15, 15
Time	10, 15, 15
Cost	10, 15, 15
Notes	10, 15, 15

L2
of 2 sheet(s)

tap
The Architects Partnership

APPROVED FOR CONSTRUCTION
DATE: 11/15/2011
BY: [Signature]
PROJECT: 11/15/2011

Dan Peterson

From: Timothy Meseck <meseck@tapchicago.com>
Sent: Thursday, November 12, 2015 3:07 PM
To: Dan Peterson
Cc: David Stangle
Subject: RE: Chase - Prospect Heights, site lighting
Attachments: 1502025G-Enlarged Site Cropped.pdf; 1502025G-Enlarged Site.pdf; 1502025G-30x42.pdf

Dan,

I have adjusted the print settings to enlarge the photometric plan. Hopefully this will allow you to prepare a more legible plan to include in the packets. Let me know if you need anything further at all.

Thanks,

Tim

Timothy R. Meseck
The Architects Partnership, Ltd.
122 South Michigan Avenue, Suite 1810
Chicago, IL 60603
P: 312.583.9800, Ext. 44, F: 312.583.9890
M: 414.745.4526, E: tmeseck@tapchicago.com
From: Timothy Meseck
Sent: Tuesday, November 10, 2015 11:02 AM
To: 'Dan Peterson' <dpeterson@prospect-heights.org>
Cc: David Stangle <dstangle@tapchicago.com>
Subject: Chase - Prospect Heights, site lighting

Dan,

Please review the attached photometric plan and let me know if you have any questions or concerns. The plan utilizes 14'-0" high poles and has a maximum FC level of 4.8 FC. Please note that there are 18 poles and fixtures shown in order to be able to maintain 1.0 FC throughout the site (Chase standard for security) and be able to have the shorter poles. We could get by with much fewer poles if we provided a higher fixture height.

Let me know if you feel this is the most appropriate solution or if any other designs would be better.

Thanks,

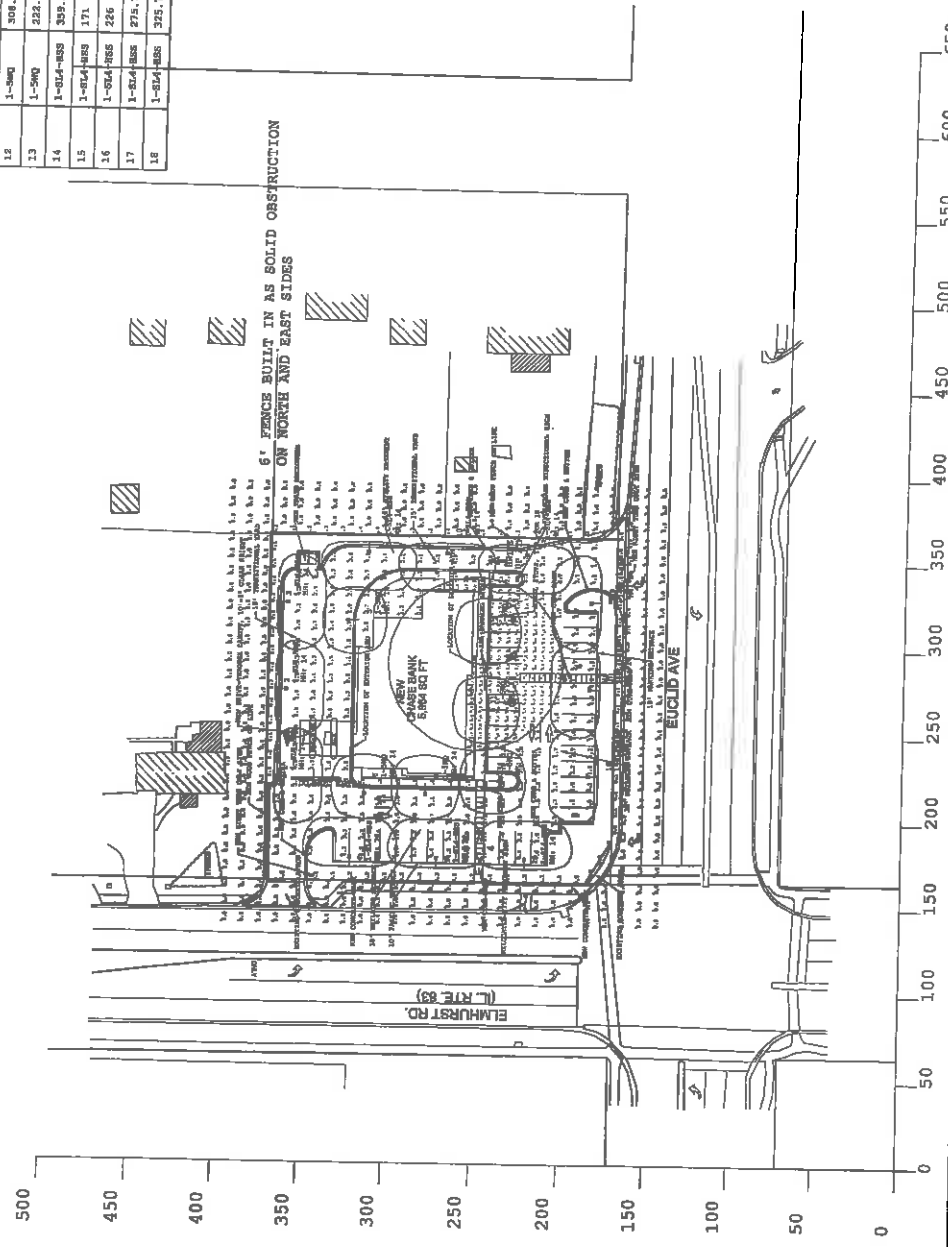
Tim

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Illumination Schedule			
Symbol	Qty	Arrangement	Var
—E1	12	1-824-888	0.912
—E6	6	1-590	0.912

Calculation Summary			
Label	Category	Units	Var
30' MARIUS CP ACN 43' AW	ILLUMINATION	FC	1.83
Parking lot 3' AW	ILLUMINATION	FC	2.50
Property Line 8' Grade	ILLUMINATION	FC	0.15
Spill 6' Grade	ILLUMINATION	FC	0.01

Illumination Location Summary			
Location	Label	X	Y
1	1-824-888	223.25	366
2	1-824-888	273.25	366
3	1-824-888	323.25	366
4	1-824-888	373.25	366
5	1-590	313.5	318.85
6	1-590	363.5	318.85
7	1-824-888	389.25	315
8	1-590	229	277.75
9	1-824-888	171	276.75
10	1-824-888	389.25	246
11	1-590	263.5	246
12	1-590	308.25	246
13	1-590	222.5	241.5
14	1-824-888	389.25	222.75
15	1-824-888	171	222.75
16	1-824-888	226	178.75
17	1-824-888	276.75	178.75
18	1-824-888	326.75	178.75



WATON

1111 Highway 74, Suite 100
Piquette, CA 94661
Tel: 707-448-4743
Fax: 707-448-4749
www.waton.com

PROSPECT HEIGHTS, IL

RICK BERGSTROM

PILUP GRIST & ASSOCIATES

CHASE - RANDHURST

E.BURDETTE, LC

Date: 1/19/2015
Project: 1502025GAGI



City of Prospect Heights

Department of Building & Zoning
8 North Elmhurst Road, Prospect Heights Illinois, 60070-6070
Office: 847/398-6070 x 211-FAX: 847/590-1854
www.prospect-heights.il.us

12G

MEMORANDUM

Date: December 7, 2015
To: Mayor Helmer and City Council
Cc: Joe Wade, City Administrator
From: Daniel A. Peterson, Director of Building & Development
Subject: Health Inspector Service Agreement with Frank Bertolami

ISSUE: Approval of a Health Inspector Service Agreement with Frank Bertolami to perform restaurant, food service business, pool inspections, plan reviews and emergency call out services related to the administration of the Health Code and Inspections.

BACKGROUND: The City is responsible for providing health inspections related to the Illinois Health Code and the City of Prospect Heights Ordinances. For the past few years the City has hired a part-time inspector to perform these services. There have been 3 inspectors in the last 4 years. Late this summer the City was informed that the current inspector was resigning and that the City needed to hire a new inspector. Employment notices were posted and the City received 4 letters of interest/resumes from individuals and met with a third party health inspection company to evaluate their services and fees. As part of the evaluation, the City is requiring the individual to be a Licensed Environmental Health Practitioner (LEHP). Three of the individuals currently are LEHP certified. One was not and was eliminated from consideration. The third party group has LEHP certified employees on staff.

ANALYSIS: There are a number of factors that had to be evaluated during the review of our program. 1) Workload based upon the number of establishments required to be inspected per the Health Code. 2) Requirements of the Illinois Health Code and the new rules that are set for adoption next year and 3) Current budget constraints.

The City has a very small and limited number of food service establishments that make this position difficult to fill. This equates to approximately 125 state mandated inspections and doesn't include the associated re-inspections and mobile vendor inspections. This limited number of inspections makes it difficult to find a qualified inspector willing to work for the current rate of \$39.00 per inspection.

The State of Illinois has announced that there are new rules that have been published and will be implemented in 2016. These rules will require the State to Adopt the Federal Food Code and its rules and inspection requirements. Some of these rules dictate the types of inspections and the frequency of inspections. This also will impact future inspection services.

Finally, the current budget is based upon the contract for the previous inspector. This cost was set at \$39.00 per inspection. This has been the fee for a number of years and the food service business license fee is based upon that amount. The previous inspectors were not required to be LEHP certified. The estimated cost for inspection services from respondents with a LEHP certified inspector came in at a low of \$65.00 to a high of \$170.00 per inspection. Currently

funds are available in this year's budget to cover the inspections this fiscal year. However, to fund this program an increase in license fees will need to be implemented for the 2016 Business License billing cycle which is scheduled for February. Therefore, a fee amendment ordinance for the food service establishments that will off-set the cost for services will be presented to the City Council in January.

After careful consideration of these issues it is my recommendation to enter into a service agreement with Frank Bertolami. Frank has over 25 of experience in the field of environmental health and code enforcement. Along, with being a Licensed Environmental Health Practitioner, he also holds numerous International Code Council Certifications and is a certified teacher. He believes that one of the most important elements of his position is to educate the food service handlers on the how's and why's of the code to ensure understanding and safe practices are being performed. Frank has agreed to the following terms which will provide the services necessary and at the lower dollar amount.

The inspections will occur in the early evening and on weekends when most establishments are in operation. Those locations that need day time inspections can be accommodated with prior scheduling.

In summary the agreement calls for the following rates.

Regular Inspections: \$65.00 per inspection
Plan Review Service: \$50.00 per hour
Emergency Call Outs and Holidays: \$100.00 per inspection

This expense is off-set by revenue collected as part of the food service establishment business license fee.

RECOMMENDATION: That the City Council approve the Health Inspector Services agreement with Frank Bertolami commencing upon approval of Council.

**AGREEMENT BETWEEN THE CITY OF PROSPECT HEIGHTS AND FRANK
BERTOLAMI, HEALTH INSPECTOR CONCERNING CITY HEALTH INSPECTIONS**

This Agreement effective the _____ of _____ 2015, by and between the City of Prospect Heights an Illinois Municipal Corporation and non-home rule unit, hereinafter referred to as the "City", Frank Bertolami and individual appointed as Health Inspector, with residence at 4 Sunset Lane Algonquin, IL 60102, hereinafter referred to as the "Health Inspector". City ordinance has also created the position and enumerated the duties of the office of health inspector, who may serve in the absence of the Health Officer.

WHEREAS, the City is desirous of contracting with the Health Inspector concerning the furnishing of health consulting services as described hereinafter within the corporate boundaries of the City and in accordance with all City codes or ordinances covering said services; and

WHEREAS, the Health Inspector is agreeable to providing consulting services requested by the City on the terms and conditions hereinafter set for; and

WHEREAS, a Service Agreement of this nature is authorized pursuant to Article 11 of the Chapter 65 of the Illinois Compiled Statutes, as amended:

NOW, THEREFORE, in consideration of the mutual promises and covenants provided herein, it is hereby agreed by the City and Health Inspector as follows:

I. SCOPE OF SERVICES

The Health Inspector shall furnish, supply and provide the City with health inspection services within the corporate limits of the City under the following conditions:

1. The Health Inspector shall provide said consulting services in accordance with the terms of this Agreement and as long as she/he serves as City Health Inspector, as appointed by the Mayor and City Council.
2. The Health Inspector shall immediately notify the Building Department of any unusual or dangerous health or safety conditions encountered by the Health Inspector during his/her inspection.
3. The Health Inspector shall be available to the Building and Development Director for consultation by phone or in person, as each case requires.
4. The Health Inspector shall provide inspection services of restaurants, food-handling establishments, service stations, etc. in consultation with the Health Officer and Director of Building and Development Department.
5. Perform plan review for food service establishments, restaurants and businesses as necessary for new construction and remodeling projects.
6. The Health Inspector will provide a monthly written report.

7. The Health Inspector shall immediately notify the Building Department of all planned vacations, furloughs, etc. which shall prevent the Health Inspector from conducting health inspections. In the event that Frank Bertolami is unavailable for health inspections, the City will arrange for a substitute.
8. For the purpose of this Agreement, the responsible official of the City for monitoring the health inspector's work will be the Director of Building and Development.

Inspection services, including the hiring of a health inspector, will be done by the Director of Building and the City Administrator.

The Health Inspector serves in a consulting role but may advise the Director of the Building and Development Department of inadequacies in health inspections.

For the purpose of this Agreement, the responsible official of the City for monitoring the Health Inspector's work will be the Director of Building and Development.

II. INSURANCE AND INDEMNIFICATION

All Contractor personnel shall be deemed to be agents of the City while performing services for said City within the scope of this Agreement and the services are a municipal function. The City hereby agrees to indemnify, save harmless, and defend the Health Inspector against and hold him/her harmless from any and all demands, claims, lawsuits, liability losses and expenses, including court costs and attorney's fees, for or on account of, any injury to persons or property including but not limited to, the general public or any death at any time resulting from such injury or damage to any property, which may arise or may be alleged to have arisen out of or in connection with the performance of services pursuant to this Agreement.

III. PAYMENT SERVICES

The City shall pay the Health Inspector for the services rendered hereunder based upon a rate set forth in the fee schedule attached hereto and made a part of this Agreement (See Attachment "A"). The Health Inspector shall invoice the City on a monthly basis. The City shall pay the invoice of the same at the second regular City Council Meeting of each month.

IV. TERMS OF AGREEMENT

This Agreement shall become effective on _____ 2015 following its approval by the City Council of the City of Prospect Heights and the Health Inspector. This Agreement shall remain in full force and effect for a period of time not exceeding the term of the mayor holding office at the time of the execution of this Agreement unless otherwise terminated prior to that time by the City or the Health Inspector. The City or the Health Inspector may terminate this Agreement provided that written notice of a termination date is supplied at least sixty (60) days prior thereto.

V. MISCELLANEOUS

The City shall supply and pay for any special supplies, stationary, notices, forms or other materials, which bear the name of the City.

Any changes to this Agreement shall be first mutually agreed upon by the Health Inspector and City, and incorporated into a written amendment.

All notices or communication hereunder shall be sufficient if actually delivered by any written means, but prima facie evidence of communication and receipt shall be accomplished by sending same by the United States certified or registered mail, postage paid, return receipt requested to the parties at the following address:

Frank Bertolami
4 Sunset Lane
Algonquin, IL 60102

City of Prospect Heights
8 N. Elmhurst Road
Prospect Heights, IL 60070

The parties may be such notice change addresses to which subsequent notice shall be sent.

IN WITNESS WHEREOF, the City of Prospect Heights, by resolution duly adopted by its City Council, caused this Agreement to be signed by its Mayor and attested by its Clerk, and the Health Inspector has caused this Agreement to be signed by its Mayor and attested, all on this date _____2015.

CITY OF PROSPECT HEIGHTS

By _____
Nicholas J. Helmer, Mayor

Frank Bertolami

ATTEST:

Wendy Morgan-Adams, City Clerk

Attachment "A"

Health Inspector

December 1, 2015

Compensation for services under Section I "Scope of Services" shall be computed on the basis of the following schedule of rates for Health Inspector and/or his staff:

Inspection Services:

Regular: \$65.00 per inspection

Emergency Call Outs and Holidays: \$100.00 per inspection

Plan Review Services:

Plan Reviews will be paid at \$50.00 per hour

Any increase in the above rate shall be first mutually agreed upon by the Health Inspector and the City and incorporated into a written amendment.

The Health Inspector shall provide a separate monthly invoice for each work order on which charges or expenses have been incurred in the preceding month. Payment shall be made within thirty (30) days of receipt of said invoices.



City of Prospect Heights

Department of Building & Zoning
8 North Elmhurst Road, Prospect Heights Illinois, 60070-6070
Office: 847/398-6070 x 211-FAX: 847/590-1854
www.prospect-heights.il.us

POSITION ANNOUNCEMENT

LICENSED ENVIRONMENTAL HEALTH PRACTITIONER HEALTH INSPECTOR – PARTTIME

The City of Prospect Heights is seeking an Illinois Licensed Environmental Health Practitioner to perform health inspections. This position is a contract consulting position and will report to the Director of Building & Development.

Scope of Services: The Health Inspector will provide inspection services of restaurants, food-handling establishments, service stations, swimming pools, and related health businesses and issues that may arise from time to time. Prepare and present inspection reports to the food establishments, provide guidance for food establishments to comply with codes. Receive, investigate, document, and follow up on nuisance complaints. The Health Inspector will serve in a consulting role and will provide advice and recommendations related to current and pending legislation related to health issues, concerns and deficiencies related to the City's health inspection program and ordinances.

How to Apply: Interested candidates shall submit a cover letter, resume and copy of their valid Environmental Health Practitioner license issued by the State of Illinois Department of Finance and Professional Regulation by email to Daniel A. Peterson, Director of Building and Development at dpeterson@prospect-heights.org. Position will be open until filled.

Dear Mr. Peterson:

I am interested in the position of part-time Health Inspector with the Village of Prospect Heights. I have 25 years experience in the field of environmental health and understand the responsibilities of the profession. My 21 years of experience as a municipal Health Officer will provide unique benefits to your community. In addition to an Illinois Department of Professional Regulation issued Environmental Health Practitioner license, I hold four International Code Council certifications. I am very familiar with municipal government and have extensive interdepartmental work experience. My knowledge base and inspection skills afford me with the ability to apply the most effective approach to diverse situations in order to achieve the desired code compliance outcome.

I am a reliable individual with a strong work ethic. My organizational skills and ability to appropriately prioritize work tasks will provide full-time quality service in a part-time employment capacity. I am accustomed to working independently and require minimal direction. Although I would not always be available to conduct all inspection services during regular business hours, I can arrange for regular contact during normal business hours. I have provided consultant services for 17 years under a Secretary of State registered service corporation and have a federal EIN.

I look forward to an opportunity to discuss the position with you.

Sincerely,

Frank Bertolami

Frank Bertolami
4 Sunset Lane
Algonquin, IL 60102

POSITION DESIRED: Part-time Health Inspector

CREDENTIALS: IDPR Licensed Environmental Health Practitioner
IDPH Food Service Sanitation Certification Instructor
National Environmental Health Assoc. Registered Trainer
National Registry of Food Safety Professionals Trainer
National Restaurant Association ServSafe Instructor
ICC Certified Property Maintenance & Housing Inspector
ICC Certified Zoning Inspector
ICC Certified Residential Building Inspector
ICC Certified Fire Inspector I
State of Illinois Certified Secondary Education Teacher

PROFESSIONAL AFFILIATIONS: Illinois Environmental Health Association Member
National Environmental Health Association Member
Illinois Association of Code Enforcement Member

WORK HISTORY: Village of Hanover Park
Health Officer / Commercial Code Official
September 1994 – present

McHenry County College
Adjunct Faculty
January 1992 – present

McHenry County Health Department
Sanitarian / Food Program Coordinator
August 1990 – August 1994

EDUCATION: Teaching Certificate 1990
Northeastern Illinois University
Chicago, IL

Bachelor of Science 1987
Northeastern Illinois University
Chicago, IL

Associate in Science 1984
Elgin Community College
Elgin, IL

Frank Bertolami
4 Sunset Lane
Algonquin, IL 60102
(847) 710-3278

POSITION DESIRED:

Part-time Health Inspector

CREDENTIALS:

IDPR Licensed Environmental Health Practitioner
IDPH Food Service Sanitation Certification Instructor
National Environmental Health Assoc. Registered Trainer
National Registry of Food Safety Professionals Trainer
National Restaurant Association ServSafe Instructor
ICC Certified Property Maintenance & Housing Inspector
ICC Certified Zoning Inspector
ICC Certified Residential Building Inspector
ICC Certified Fire Inspector I
State of Illinois Certified Secondary Education Teacher

**PROFESSIONAL
AFFILIATIONS:**

Illinois Environmental Health Association Member
National Environmental Health Association Member
Illinois Association of Code Enforcement Member

WORK HISTORY:

Village of Hanover Park
Health Officer / Commercial Code Official
September 1994 – present

McHenry County College
Adjunct Faculty
January 1992 – present

McHenry County Health Department
Sanitarian / Food Program Coordinator
August 1990 – August 1994

EDUCATION:

Teaching Certificate 1990
Northeastern Illinois University
Chicago, IL

Bachelor of Science 1987
Northeastern Illinois University
Chicago, IL

Associate in Science 1984
Elgin Community College
Elgin, IL

Dan Peterson

From: FRANK BERTOLAMI
Sent: Thursday, October 22, 2015 9:04 PM
To: Dan Peterson
Subject: Part-time Health Inspector Position

To summarize our earlier discussion: I am interested in the part-time health inspector position with the City of Prospect Heights. I would be primarily available to conduct sanitation inspections of food service facilities on weekday evenings and weekends. Given ample notification I can also be available for meetings, hearing and or inspections on occasion during regular city business hours. I possess the required Illinois Department of Professional Regulation credential as a Licensed Environmental Health Practitioner (183-000183) to legally conduct the aforementioned sanitary inspections of food service establishments. I would initially conduct the inspections using paper inspection reports provided to the business operator with a copy to be recorded in the City of Prospect Heights records. I would transition within the first two months of hire to an electronic inspection report that would be emailed to the business and City of Prospect Heights. The number of inspections based on risk criteria established by the Illinois Department of Public Health would be conducted.

I can perform the duties of the part-time health inspector as a contracted service provider or an employee. If I were contracted to perform the work, the service fee would be \$65 per inspection. As a contractor payment would be made to Food & Alcohol Service Training, Incorporated (EIN 36-4211143). If it is required by the City of Prospect Heights, a waiver of subrogation would be signed. It would, however, be cost prohibitive to perform the work should a workman's compensation certificate of insurance be required. I can also perform the duties of a part-time health inspector as a City of Prospect Heights employee. Since I would be afforded the benefit of certain liability protection as a paid employee, I would expect a pay rate of \$40 per hour.

In closing, if the City of Prospect Heights required the part-time health inspector to perform related code enforcement duties, I hold ICC inspector certifications in the following areas: Housing & Property Maintenance; Zoning; Residential Building; and Fire Inspector I.



City of Prospect Heights

Department of Building & Zoning
8 North Elmhurst Road, Prospect Heights Illinois, 60070-6070
Office: 847/398-6070 x 211-FAX: 847/590-1854
www.prospect-heights.il.us

12 H

MEMORANDUM

Date: December 11, 2015

To: Mayor Helmer and City Council

Cc: Joe Wade, City Administrator
Jamie Dunn, Chief of Police
Al Steffen, Deputy Police Chief

From: Daniel A. Peterson, Director of Building & Development

Subject: Acceptance of Quotes for Concrete and Mechanical Work for Police Shooting Range

ISSUE: The City has approved the purchase and installation of a manufactured shooting range to be installed at 401 Piper Lane. As part of this purchase the City is responsible for providing the concrete foundation system and natural gas supply for the unit. Staff is seeking approval of the quotes for this work in preparation for delivery of the shooting range.

BACKGROUND: Shooting Range Industries (SRI) was awarded the contract to design and manufacture a pre-built shooting range for the City. SRI prepared construction plans and engineering details for the project that have been review and approved. The agreement with SRI was that the City would be responsible for the installation of the foundation system, electrical, mechanical and crane work for placement of the range. The police department is coordinating the crane work and that is not part of this analysis. SRI will coordinate the placement of the unit and perform the final connection work required to make the unit operational.

The City has the expertise and manpower to perform the necessary electrical work saving the City money on this portion of the installation. It was determined that the concrete foundation system and natural gas pipe be contracted out. The building department proceeded to seek quotes for the concrete and gas piping installation.

It was determined that the existing high-pressure gas line had sufficient volume to support the shooting range. Mel-O-Air Inc. provided a quote for \$2,690.00 to install the piping for the shooting range. Mel-O-Air was the contractor that installed the high-pressure gas system at the Public Works building required for the addition. Based upon their knowledge of the high-pressure gas system and the installation work they performed Mel-O-Air was determined to be a single source provider for the gas line installation. As the quote is within the Administrator's authorized purchasing limit this item was listed for informational purposes.

Staff proceeded to seek concrete contractors to provide quotes to install the required foundation system as designed and approved. The Building Department sent project information to 10 concrete contractors and requested them to provide quotes to perform this service. Seven companies declined to provide a quote. One company did not respond to the request. Two companies listed below provided quotes for review. A list of the companies contacted to provide quotes is attached.

- | | |
|--|-------------|
| 1. Krueger's Concrete and Excavation, Inc. | \$18,850.00 |
| 2. McNelly Services, Inc. | \$14,265.00 |

ANALYSIS: The proposal from McNelly Services, Inc. Lake Zurich, IL meets the complete requirements of the proposed plan. They provided the low quote and included all required materials. Specifically, the required steel mounting plates is included in the cost of the proposal, whereas the Krueger's Concrete proposal would require either the City or other entity to provide the steel plates at an additional cost. McNelly Services will be able to place the footings and have the work completed prior to the delivery of the shooting range.

In conclusion, both companies are qualified to perform the work proposed. However, McNelly Services, Inc. provided a complete proposal at a lower cost and I would recommend that the City enter into an agreement with McNelly Services, Inc. to install the foundation system for the shooting range.

The Police Department had established a budget of \$25,000 for this portion of the work related to the shooting range project. Due to the City performing a portion of the work and two favorable quotes for service, this portion of the project is estimated to be approximately \$8,000.00 under budget.

RECOMMENDATION: I recommend that the City Council approve a Resolution approving McNelly Services, Inc. as the contractor for the installation of concrete foundation system for the new police shooting range.

Att: Resolution
Copy of Proposals
List of Concrete Contractor's

RESOLUTION NO. R-15-

Whereas, the City of Prospect Heights has purchased a manufactured shooting range from SRI, Inc. for the purposes of providing improved training opportunities for our police officers and saving training dollars by having our own training facility;

Whereas, the City is responsible for the site preparation, installation of the foundation system, electrical service and natural gas piping; and

Whereas, the City's Building and Development Department, after comparative analysis, recommends entering into contract service agreement with McNelly Services, Inc. for the installation of the of the concrete foundation system for the cost of \$14,265.00.

Now Therefore, Be It Resolved by the City Council of the City of Prospect Heights, Illinois as follows:

Section 1: The City Council finds that the above recitals are true and correct and incorporates the same as part of this resolution.

Section 2: The City Council hereby approves the service agreement with McNelly Services, Inc. in the amount of \$14,265.00 and Hereby authorizes the City Administrator to execute associated purchasing documents.

Passed and Approved this 14th day of December, 2015

Nicholas J. Helmer, Mayor

Attest:

City Clerk

Ayes:

Nays:

Absent:



Proposal Provided By: Tim McNelly
Proposal Provided To: Prospect Heights, Dan Peterson

For:
Concrete Footings for Rifle Range
Prospect Heights PD



December 10, 2015

McNelly Services, Inc.
225 Oakwood, Lake Zurich IL 60047
Office: 847-726-9400 Fax: 847-726-9402
Website: www.mcnellyservices.com
Page 1 of 5

CONTRACT

McNelly Services, Inc. will provide the following services:

BASE SCOPE OF WORK:

McNelly Services, Inc proposes to:

- Furnish all labor, material and equipment necessary to supply and install concrete footings per the plan prepared by Shooting Range Industries, LLC with an approved date of 9.9.15 to include:
 - Layout and Excavation
 - Steel reinforcement
 - Determining final grade and placing concrete
 - Embedded steel plates
 - Spoils to remain on site
 - Figured to be completed in one mobilization
- Does not include:
 - Removal of hazardous or contaminated material
 - Conduit or conduit sleeves
 - Permit, inspection, etc. fees
 - Excavation for anything other than concrete

BASE COST(S):

We propose to furnish all labor, material and equipment complete in accordance with the above specifications, for the sum of: **\$14,265.00**

SCHEDULING: (NORMAL BUSINESS HOURS)

All work will be accomplished on a mutually agreed upon timetable.

GENERAL NOTE(S):

1. *Permitting of work to be completed within this proposal is at the sole discretion of management although McNelly Services, Inc. highly recommends it.*
2. *Work quoted herein does not include any plans, drawings, review, application and or inspection fees, licenses, bonds, etc. Should the building department and or village/city become involved and require any of the items listed above as well as any other unforeseen administration costs; the costs associated will be in addition to those quoted herein.*
3. *Any code compliant work/issues that may arise due to building department and or village/city involvement will be performed as an extra in addition to the price quoted herein.*
4. *It will be necessary for the tenant(s) to cooperate with McNelly Services while the repair/work is being performed. All measures will be taken to minimize any disturbance(s) to the tenant(s) although some disturbance(s) can be expected and is unavoidable.*
5. *Please note that this work will be scheduled during normal business hours and as such has been priced accordingly. Should any portion of the repair need to occur after hours that work will be performed as an extra and billed at a rate of time and a half or this proposal will need to be revised accordingly.*

JOB SPECIFIC NOTE(S):

If you have any questions or need further assistance, please feel free to contact Tim McNelly, Vice President, at (847) 726-9400 or (888) MCNELLY or by email at Tim.McNelly@McNellyServices.com

ADDITIONAL TERMS, CONDITIONS AND NOTE(S):

1. *The contract price quoted herein maybe subject to change if customer does not accept the contract within 30 days as a result of labor and material price increases. Proposal is valid for a period of 30 days after receipt/submission of this proposal. McNelly Services, Inc. is not responsible for material and labor cost increases associated with the above scope of work after this 30 day grace period without prior notice for proposal revision.*
2. *The commencement and completion dates (IF) indicated on this contract are estimates that McNelly Services, Inc. will use its best efforts to meet. The exact dates by which McNelly Services, Inc. will begin and complete the work scoped herein may be extended due to circumstances beyond the control of McNelly Services, Inc. Scheduling dates are given as estimates only unless otherwise specified herein and should be used as such accordingly.*
3. *Customer's claims against McNelly Services, Inc. for breach of contract, property damage, and or personal injuries will be waived if or to the extent that Customer does not notify McNelly Services, Inc. about such breach, damage, or injury within 10 days after the same occurs.*
4. *For purposes of the above provisions, property damage includes property owned by Customer, Customer's employees, and third parties, and personal injuries include injuries to Customer, Customer's employees, and third parties.*
5. *Upon demand by McNelly Services, Inc., Customer agrees to pay McNelly Services, Inc. for all costs and expenses, including the fees of attorneys and experts, incurred by McNelly Services, Inc. to enforce this contract once fully executed by both parties; both parties being McNelly Services, Inc. and Customer.*
6. *Customer agrees to pay McNelly Services, Inc. interest on all sums not fully and timely paid by Customer to McNelly Services, Inc. at the lesser of 1.5 percent per 30 days or the highest lawful interest rate.*

WARRANTY

McNelly Services, Inc. is dedicated to providing commercial property and general contracting services in a professional manner consistent with the highest of standards. All work rendered will be honored to be free of material and or labor related defects for a period of one (1) year after completion of work quoted herein unless said defect(s) is/are not related to services rendered by McNelly Services, Inc. on behalf of the Customer in accordance with the above specified document.

McNelly Services, Inc.
225 Oakwood, Lake Zurich IL 60047
Office: 847-726-9400 Fax: 847-726-9402
Website: www.mcnellyservices.com

INSURANCE:

All employees, field service technicians, and sub contractors of McNelly Services are fully insured with Comprehensive Workman's Compensation and General Liability coverage's. Certificates of coverage are available upon request.

PAYMENT TERMS:

McNelly Services, Inc requires a signed contract at time of acceptance, prior to commencing any work scoped and or specified within this contract. Upon completion of work scoped and or specified within this contract, total balance(s) proposed herein are due within 30 days. A 1.5 % finance charge will be assessed on balances not paid in full past 30 days as well as each consecutive month said balance remains open and or past due.

As a customer and authorized signatory of this contract, you agree to all of the above implied terms and conditions and agree to pay for services rendered by McNelly Services, Inc. in accordance with the contract specified herein.

McNelly Services, Inc.

Tim McNelly

Tim McNelly
Vice President

Authorized Signatory

Signature

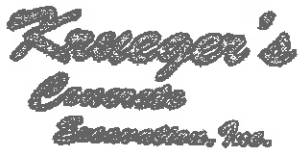
Date

Title

I agree to the above permissions and to the terms and conditions on the following page.



McNelly Services, Inc.
225 Oakwood, Lake Zurich IL 60047
Office: 847-726-9400 Fax: 847-726-9402
Website: www.mcnellyservices.com
Page 5 of 5



We hereby submit specifications and estimates for:

JOB NAME PROSPECT HEIGHTS POLICE DEPARTMENT	DATE 12/1/15
JOB LOCATION 401 PIPER LN. PROSPECT HEIGHTS	

SCOPE OF WORK:

EXCAVATION - TRENCH DOWN 42" X 2' X 9' 5 1/2" / REMOVE AND HAUL SPOILS / AUGER (1) 12" X 3' @ EAST END OF GRADE BEAM TO SUPPORT GRADE BEAM IF NEEDED / REMOVE SPOILS / TOTAL OF 5 GRADE BEAMS

SOIL REPORT SPECS SOLID MATERIAL AT LOCATION OF BUILDING NOT EASTSIDE OF GRADE BEAM / VERIFY IN FIELD SOIL CONDITIONS.

CONCRETE WORK - FRAME AND POUR 2' X 3'6" X 9' 5 1/2" CONCRETE GRADE BEAMS TOTAL OF (5) / WITH 3 # 5 CONT TOP AND BOTTOM , HORIZ @ 18" O/C TOP AND BOTTOM / POUR 12" PIERS AT EAST END / INSTALL BASE PLATES PER PLANS

ALL BASE PLATES AND ELECTRIC SUPPLIED BY OTHERS

TOTAL PROJECT \$18,850.00

We Propose hereby to furnish material and labor - complete in accordance with specifications, for the sum of

20% DEPOSIT - 100% COMPLETION OF WORK

Note: This proposal may be withdrawn by us if not accepted within 30 days 18,850.00 dollars (\$ 18,850.00)

Acceptance of Proposal - The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payment will be made as outlined above Date of Acceptance _____

Signature _____

Signature _____



**MEL-O-AIR
Heating & A/C, Inc.**

620 Childs Street
Wheaton, IL 60187
Phone: (630) 668-6990
Fax: (630) 668-7066
mel-o-air.com

"Quality Doesn't Cost, It Pays!"

Proposal

November 19, 2015

Reference #: 16440-101

Due Date:



City of Prospect Heights
Building & Development Department
8 N. Elmhurst Rd.
Prospect Heights, IL 60070

Job Name:

Gun Range

Prospect Heights, IL 60070

847-398-6070

We Hereby Submit Specifications And Estimates For:

To furnish and install new 1" gas line for shooting range. Connect into existing gas line in new addition and run to outside wall, down to floor, exit building. Run rated plastic across driveway to new structure. Connect back to iron pipe above grade and run up exterior of range building. Make final connection to HVAC unit on roof of range.

TOTAL INSTALLED PRICE:.....\$2,690.00

We propose hereby to furnish material and labor - complete in accordance with the above specifications, for the sum of: \$2,690.00

Payment to be made as follows:

Balance Upon 30 Day Receipt of Invoice.

****ANY APPLICABLE PERMITS OR LICENSE FEES NOT INCLUDED.** NO WARRANTY ON REFRIGERANT.
FOR MAXIMUM EFFICIENCY IT IS RECOMMENDED TO HAVE YOUR EQUIPMENT SERVICED ON AN ANNUAL BASIS.***EXTENDED WARRANTY - May be voided without a record of annual maintenance.*****

All material is guaranteed to be as specified. All work to be completed in a professional manner according to standard practices. Any alteration or deviation from above specifications involving extra costs will be executed only upon written orders and will become an extra charge over and above the estimate. All agreements contingent upon delays beyond our control. Purchaser agrees to pay all costs of collection, including attorney's fees. All past due accounts will be charged 2% service charge, per month. This proposal may be withdrawn by us if not accepted by the above due date. YOU MAY CANCEL THIS TRANSACTION, WITHOUT ANY PENALTY OR OBLIGATION, WITHIN 3 BUSINESS DAYS FROM THE ABOVE DATE.

Authorized
Signature

Acceptance
Signature

Date

List of Concrete Contractors for Shooting Range Quotes

1	Alamp Construction	1900 Wright Blvd, Schaumburg, IL 60193	847-891-6000	alampconcrete.com	Declined to bid
2	DiNatale Construction	1441 Bernard Dr. Addison, IL 60101	630-629-4428	dinataleassociates.com	Declined to bid
3	Marvel Construction	5150 N. Pittsburgh Ave, Norridge, IL 60706	708-452-7335	marvel-construction.com	No Response
4	Colella Concrete				
5	Krueger's Concrete	1200 E. Golf Rd, Dldg 2, Des Plaines, IL 60016	630-628-0991	vince.colella@gmail.com	Declined to bid
6	DuBois Paving & Concrete	1061 E. Main St. #100, East Dundee, IL 60118	847-375-8788	Kruegersconcrete@att.net	Submitted Quote
7	King Koncrete	800 Edward St., Wheeling, IL 60090	847-634-6089	duboispaving.com	Declined to bid
8	Lampignano & Son Const.	501 S. Arthur Ave. Arlington Heights, IL 60005	847-537-5700		Declined to bid
9	Illinois Masonry Corp	200 Telser Rd., Lake Zurich, IL 60047	847-394-0696		Declined to bid
10	McNelly Services Inc	225 Oakwood Road, Lake Zurich, IL 60047	847-550-5100	illinoismasonry.com	Declined to bid
			888-626-3559	mcnellyservices.com	

APPROVAL OF WARRANTS

13A

12/14/2015 COUNCIL MEETING		
<u>Checks</u>		
General Fund	\$	83,018.75
MFT Fund		3,503.15
Palatine/Milwaukee TIF		336.00
Tourism District		1,300.00
Development Fund		147.00
DEA Fund		171.46
Solid Waste Fund		1,205.00
S S Area #1		
S S Area #2		
S S Area #3		
S S Area #4		
S S Area #5		
S S Area #8 - Levee Wall #37		
S S Area-Constr#6(Water Main)		
S S Area-Debt#6		
Road Construction		
Road Construction Debt		
Water Fund		4,898.10
Parking Fund		4,601.52
Sanitary Sewer Fund		1,443.00
Road/Building Bond Escrow		
TOTAL		\$ 100,623.98
<u>Wire Payments</u>		
11/27/15 Payroll Posting		141,021.99
11/15 IMRF Payment		20,156.56
General Obligation Bond, Series 2013		408,466.25
General Obligation Bond, Series 2012		361,913.75
SSA #6 Bonds, Series 2009		174,876.25
General Obligation Bond, Series 2011A		361,287.50
Bank of America Obligation #265		159,748.12
TIF Allocation Notes, Series 2004		453,424.23

APPROVAL OF WARRANTS

Debt Certificate Series 2010	63,755.00	
Total Warrant	\$ 2,245,273.63	

GL Account and Title	Net Invoice Amount	Amount Paid	Date Paid
GENERAL FUND			
Total GENERAL FUND:	83,018.75	58,285.10	
MOTOR FUEL TAX FUND			
Total MOTOR FUEL TAX FUND:	3,503.15	.00	
PALATINE/MILWAUKEE TIF FUND			
Total PALATINE/MILWAUKEE TIF FUND:	336.00	.00	
TOURISM DISTRICT			
Total TOURISM DISTRICT:	1,300.00	1,300.00	
DEVELOPMENT FUND			
Total DEVELOPMENT FUND:	147.00	.00	
DEA SEIZURE FUND			
Total DEA SEIZURE FUND:	171.46	171.46	
SOLID WASTE DISPOSAL FUND			
Total SOLID WASTE DISPOSAL FUND:	1,205.00	.00	
WATER FUND			
Total WATER FUND:	4,898.10	2,029.10	
PARKING FUND			
Total PARKING FUND:	4,601.52	147.85	
Sanitary Sewer			
Total :	1,443.00	.00	
Grand Totals:	100,623.98	61,933.51	

Report Criteria:

Detail report.

Invoices with totals above \$0.00 included.

Paid and unpaid invoices included.

Vendor Name	Invoice Number	Description	Invoice Date	GL Account Number	Net Invoice Amt	Amount Paid	Date Paid
AT&T	847398608011/	PD FAX #3493	11/10/2015	01-320-5410	38.22	38.22	12/02/2015
AT&T	847398618011/	CH ALARM LINES #5533	11/10/2015	01-320-5410	125.25	125.25	12/02/2015
AT&T	847465118011/	PD SUBSTATION RING DOWN #	11/10/2015	01-320-5410	38.22	38.22	12/02/2015
Total AT&T:					201.69	201.69	
B & F CONSTRUCTION CODE S	42917	1414 RAND RD INSPECTION SE	11/19/2015	01-330-5110	3,941.40	.00	
Total B & F CONSTRUCTION CODE SERVIC, INC.:					3,941.40	.00	
CARDMEMBER SERVICE	11/2015 STAT	PD EQUIPMENT MAINTENANCE	11/20/2015	01-380-5610	383.02	383.02	12/02/2015
CARDMEMBER SERVICE	11/2015 STAT	PD TRAINING	11/20/2015	18-300-5330	171.46	171.46	12/02/2015
CARDMEMBER SERVICE	11/2015 STAT	PD EQUIPMENT	11/20/2015	01-360-7022	29.99	29.99	12/02/2015
CARDMEMBER SERVICE	11/2015 STAT	PD MEMBERSHIPS	11/20/2015	01-380-5310	150.00	150.00	12/02/2015
CARDMEMBER SERVICE	11/2015 STAT	PD AUTO EXPENSES	11/20/2015	01-360-5321	94.35	94.35	12/02/2015
CARDMEMBER SERVICE	11/2015 STAT	PD UNIFORMS	11/20/2015	01-360-5741	370.85	370.85	12/02/2015
CARDMEMBER SERVICE	11/2015 STAT	SERVICE AT METRA STATION -	11/20/2015	52-300-5410	147.85	147.85	12/02/2015
CARDMEMBER SERVICE	11/2015 STAT	PARKING/MEAL FOR MEETING	11/20/2015	01-310-5300	45.83	45.83	12/02/2015
Total CARDMEMBER SERVICE:					1,393.35	1,393.35	
CDW GOVERNMENT INC	BDS5167	ADMIN EQUIPMENT	11/12/2015	01-320-7020	14.43	.00	
CDW GOVERNMENT INC	BDS5167	ADMIN EQUIPMENT	11/12/2015	01-310-7020	28.86	.00	
Total CDW GOVERNMENT INC:					43.29	.00	
COMCAST	11/22-12/21	CH SVC #0510	11/15/2015	01-320-5410	252.85	252.85	12/02/2015
COMCAST	11/28-12/27	INTERNET FOR SCADA SYSTE	11/21/2015	51-300-5410	157.90	157.90	12/02/2015
Total COMCAST:					410.75	410.75	
CONSERV FS INC.	102000532	GASOLINE	11/10/2015	01-350-5751	1,655.28	1,655.28	12/02/2015
CONSERV FS INC.	102000670	GASOLINE	11/20/2015	01-350-5751	1,229.51	1,229.51	12/02/2015
Total CONSERV FS INC.:					2,884.79	2,884.79	
CONSTELLATION NEWENERGY	0029017744	STRTS #3147007013	11/18/2015	01-350-5411	258.91	.00	
CONSTELLATION NEWENERGY	0029017900	STRTS #0051066105	11/18/2015	01-350-5411	437.13	.00	
Total CONSTELLATION NEWENERGY INC.:					696.04	.00	
CORINNE FRANK-WATSON	2015 PZBA-4	2015 PZBA ATTENDANCE	12/01/2015	01-310-4000	125.00	.00	
Total CORINNE FRANK-WATSON:					125.00	.00	
CURRIE MOTORS	12/2/15 K9 VE	K9 VEHICLE	12/02/2015	01-560-7040	26,884.00	26,884.00	12/02/2015
Total CURRIE MOTORS:					26,884.00	26,884.00	
DANIELLE DASH	2015 PZBA-7	2015 PZBA ATTENDANCE	12/01/2015	01-310-4000	175.00	.00	
Total DANIELLE DASH:					175.00	.00	

Vendor Name	Invoice Number	Description	Invoice Date	GL Account Number	Net Invoice Amt	Amount Paid	Date Paid
DE LAGE LANDEN FINANCIAL S	47805550	COPIER AT CITY HALL	11/07/2015	01-320-5220	1,101.50	.00	
Total DE LAGE LANDEN FINANCIAL SERVICES INC:					1,101.50	.00	
DEKIND COMPUTER CONSULT	19120	MONTHLY SERVICE RATE - 1/2	12/01/2015	01-320-5130	2,720.00	2,720.00	12/02/2015
DEKIND COMPUTER CONSULT	19143	EVAVLT SUBSCRIPTION - 1/201	12/01/2015	01-320-5130	650.00	650.00	12/02/2015
DEKIND COMPUTER CONSULT	19167	SECURE SPAM FILTERING - 1/2	12/01/2015	01-320-5130	140.00	140.00	12/02/2015
DEKIND COMPUTER CONSULT	19201	TRIP CHARGES - 11/2015	12/02/2015	01-320-5130	120.00	.00	
Total DEKIND COMPUTER CONSULTANTS:					3,630.00	3,510.00	
ENECON USA, INC.	64477	REPAIR DAMAGED STAIRS AT	11/23/2015	52-300-5100	4,380.00	.00	
Total ENECON USA, INC.:					4,380.00	.00	
FEDEX	5-235-58994	WATER SHIPPING	11/25/2015	51-300-5200	26.20	26.20	12/02/2015
Total FEDEX:					26.20	26.20	
FGS INC	69478	POLICE STICKERS	11/18/2015	01-360-5710	445.32	445.32	12/02/2015
Total FGS INC:					445.32	445.32	
FRANCZEK RADELET	164676	LEGAL SERVICES	11/16/2015	01-320-5123	306.00	306.00	12/02/2015
Total FRANCZEK RADELET:					306.00	306.00	
GEORGE WIENOLD	2015 PZBA-2	2015 PZBA ATTENDANCE	12/01/2015	01-310-4000	125.00	.00	
Total GEORGE WIENOLD:					125.00	.00	
HMO ILLINOIS	7904	HMO HEALTH INSURANCE	11/16/2015	01-360-4100	10,691.63	10,691.63	12/02/2015
HMO ILLINOIS	7904	HMO HEALTH INSURANCE	11/16/2015	01-320-4100	698.64	698.64	12/02/2015
Total HMO ILLINOIS:					11,390.27	11,390.27	
IUOE LOCAL 150 ADMIN	#150 A 11/27/2	LOCAL 150 ADMIN DUES	11/27/2015	01-000-2050	339.92	.00	
Total IUOE LOCAL 150 ADMIN:					339.92	.00	
IUOE LOCAL 150 MEMBERSHIP	#150 M 11/27/2	LOCAL 150 MEMBERSHIP DUE	11/27/2015	01-000-2050	82.39	.00	
Total IUOE LOCAL 150 MEMBERSHIP:					82.39	.00	
JON C. TAMMEN	2015 PZBA-3	2015 PZBA ATTENDANCE	12/01/2015	01-310-4000	200.00	.00	
Total JON C. TAMMEN:					200.00	.00	
MAILBOX PLUS	11-25-15	PW SHIPPING	11/25/2015	01-350-5100	29.84	.00	
Total MAILBOX PLUS:					29.84	.00	
MARGIE BOLGER	1/15-11/15	FLEX SPENDING REIMBURSEM	11/12/2015	01-000-2061	309.53	.00	
Total MARGIE BOLGER:					309.53	.00	
MARK ROSCOE	2015 PZBA-1	2015 PZBA ATTENDANCE	12/01/2015	01-310-4000	150.00	.00	

Vendor Name	Invoice Number	Description	Invoice Date	GL Account Number	Net Invoice Amt	Amount Paid	Date Paid
Total MARK ROSCOE:					150.00	.00	
MESIROW INSURANCE SERVIC	910934	UNDERGROUND STORAGE TA	11/27/2015	51-300-5500	2,519.00	.00	
Total MESIROW INSURANCE SERVICES INC.:					2,519.00	.00	
MICHAEL BYUN, M.D., S.C.	11/10/2015	CONSULTATION/WOUND CARE	11/10/2015	01-360-5100	450.00	.00	
Total MICHAEL BYUN, M.D., S.C.:					450.00	.00	
MOE FUNDS	01/2016	HEALTH/DENTAL INS PREMIUM	12/01/2015	01-350-4100	9,000.00	9,000.00	12/02/2015
MOE FUNDS	01/2016	HEALTH/DENTAL INS PREMIUM	12/01/2015	01-340-4100	1,800.00	1,800.00	12/02/2015
MOE FUNDS	01/2016	HEALTH/DENTAL INS PREMIUM	12/01/2015	51-300-4100	1,800.00	1,800.00	12/02/2015
Total MOE FUNDS:					12,600.00	12,600.00	
MORTON SALT, INC.	5400927789	ROAD SALT	12/01/2015	11-300-5832	3,503.15	.00	
Total MORTON SALT, INC.:					3,503.15	.00	
NCPERS GROUP LIFE INS	52701215	PD PREMIUM	11/20/2015	01-000-2030	16.00	16.00	12/02/2015
NCPERS GROUP LIFE INS	77871215	PD PREMIUM	11/20/2015	01-000-2030	64.00	64.00	12/02/2015
Total NCPERS GROUP LIFE INS:					80.00	80.00	
NICOR GAS	10/23/15-11/23	PD SRVC 98-65-54-0000 4	11/23/2015	01-320-5410	181.17	.00	
NICOR GAS	10/26/15 - 11/2	METRA 20-24-74-0000 3	11/23/2015	52-300-5410	73.67	.00	
NICOR GAS	10/26/15-11/23	PW 94-82-27-0000 4	11/23/2015	01-320-5410	264.28	.00	
Total NICOR GAS:					519.12	.00	
NORTHWEST ELECTRICAL SUP	17246822	PW OPERATING SUPPLIES	11/24/2015	01-350-5710	66.17	.00	
Total NORTHWEST ELECTRICAL SUPPLY CO:					66.17	.00	
PADDOCK PUBLICATIONS INC	T4424934	LEGAL NOTICE - TAX LEVY	11/20/2015	01-320-5222	302.40	.00	
Total PADDOCK PUBLICATIONS INC:					302.40	.00	
PARDEEP DEOL	11/16/15	OVERDRAFT FEE FROM PAYR	11/16/2015	01-320-5430	50.00	.00	
PARDEEP DEOL	12/1/15	CITIZENS POLICE ACADEMY S	12/01/2015	01-360-5710	127.41	.00	
Total PARDEEP DEOL:					177.41	.00	
PDC LABORATORIES INC	817231	WATER TESTING	11/15/2015	51-300-5100	45.00	45.00	12/02/2015
Total PDC LABORATORIES INC:					45.00	45.00	
POSTMASTER	12-2-15	WATER POSTAGE	12/02/2015	51-300-5200	350.00	.00	
Total POSTMASTER:					350.00	.00	
PRO DATA PAYROLL SERVICE	354512	PAYROLL PROCESSING	11/23/2015	01-320-5540	200.50	.00	
Total PRO DATA PAYROLL SERVICES INC.:					200.50	.00	
RAY O'HERRON CO INC	1566333-IN	PD UNIFORMS	12/01/2015	01-360-5741	109.14	.00	

Vendor Name	Invoice Number	Description	Invoice Date	GL Account Number	Net Invoice Amt	Amount Paid	Date Paid
Total RAY O'HERRON CO INC:					109.14	.00	
REDSPEED ILLINOIS	170260034112	REFUND FOR REDSPEED TICK	11/30/2015	01-380-5970	100.00	.00	
Total REDSPEED ILLINOIS:					100.00	.00	
S & J SERVICES INC.	1763	ELECTRICAL INSPECTIONS	11/30/2015	01-340-5100	1,571.00	.00	
Total S & J SERVICES INC.:					1,571.00	.00	
SCOTT DEGRAF	2015 PZBA-8	2015 PZBA ATTENDANCE	12/01/2015	01-310-4000	25.00	.00	
Total SCOTT DEGRAF:					25.00	.00	
TERRACE SUPPLY CO	70276331	VEH MAINT PARTS	11/17/2015	01-350-5020	106.89	.00	
Total TERRACE SUPPLY CO:					106.89	.00	
TESKA ASSOCIATES, INC.	6401	CORRIDOR ENHANCEMENT PL	11/18/2015	13-300-5100	1,300.00	1,300.00	12/02/2015
Total TESKA ASSOCIATES, INC.:					1,300.00	1,300.00	
THOMAS WEIDMAN	2015 PZBA-8	2015 PZBA ATTENDANCE	12/01/2015	01-310-4000	280.00	.00	
Total THOMAS WEIDMAN:					280.00	.00	
TIM JONES	2015 PZBA-5	2015 PZBA ATTENDANCE	12/01/2015	01-310-4000	150.00	.00	
Total TIM JONES:					150.00	.00	
TRESSLER LLP	360080	IMET RECOVERY FEE SPLIT AR	07/21/2015	01-320-5120	711.73	.00	
TRESSLER LLP	365201	DEVELOPMENT FUND SERVIC	11/11/2015	14-300-5100	147.00	.00	
TRESSLER LLP	365201	GENERAL LEGAL MATTERS	11/11/2015	01-320-5120	6,864.00	.00	
TRESSLER LLP	365201	EMPLOYEE DISABILITY MATTE	11/11/2015	01-320-5123	294.00	.00	
TRESSLER LLP	365201	SWANCC	11/11/2015	17-300-5100	1,205.00	.00	
TRESSLER LLP	365201	PALATINE/MILWAUKEE TIF	11/11/2015	12-300-5100	336.00	.00	
TRESSLER LLP	365201	OLD TOWN SANITARY SEWER	11/11/2015	53-300-5100	1,443.00	.00	
Total TRESSLER LLP:					11,000.73	.00	
VERIZON WIRELESS	9755402409	PD AIRCARDS	11/10/2015	01-360-5610	456.14	456.14	12/02/2015
Total VERIZON WIRELESS:					456.14	456.14	
WAREHOUSE DIRECT OFFICE	2888939-0	CH OFFICE SUPPLIES	11/18/2015	01-320-5700	117.93	.00	
WAREHOUSE DIRECT OFFICE	2892162-0	CH OFFICE SUPPLIES	11/20/2015	01-320-5700	29.05	.00	
Total WAREHOUSE DIRECT OFFICE PROD INC.:					146.98	.00	
WINKLER'S TREE SERVICE	87986	TREE REMOVAL	11/25/2015	01-350-5103	4,384.00	.00	
Total WINKLER'S TREE SERVICE:					4,384.00	.00	
XTIVITY SOLUTIONS INC.	187	MONTHLY VOIP SERVICE 11/20	12/01/2015	01-320-5410	910.07	.00	
Total XTIVITY SOLUTIONS INC.:					910.07	.00	

Vendor Name	Invoice Number	Description	Invoice Date	GL Account Number	Net Invoice Amt	Amount Paid	Date Paid
Grand Totals:					100,623.98	61,933.51	

Dated: _____

Mayor: _____

City Council: _____

City Recorder: _____

Report Criteria:

Detail report.

Invoices with totals above \$0.00 included.

Paid and unpaid invoices included.

CITY OF PROSPECT HEIGHTS

City of Prospect Heights Council Meeting
Report dates: 11/24/2015-12/15/2015Page: 1
Dec 02, 2015 05:52PM

GL Account and Title	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid
GENERAL FUND							
01-000-2030 WITHHOLDING INSURAN	NCPERS GROUP LIFE INS	52701215	PD PREMIUM	11/20/2015	16.00	16.00	12/02/2015
01-000-2030 WITHHOLDING INSURAN	NCPERS GROUP LIFE INS	77871215	PD PREMIUM	11/20/2015	64.00	64.00	12/02/2015
01-000-2050 W/H LOCAL 150 UNION	IJOE LOCAL 150 ADMIN	#150 A 11/27/12	LOCAL 150 ADMIN DUES	11/27/2015	339.92	.00	
01-000-2050 W/H LOCAL 150 UNION	IJOE LOCAL 150 MEMBERSHIP	#150 M 11/27/12	LOCAL 150 MEMBERSHIP DUE	11/27/2015	82.39	.00	
01-000-2061 WITHHOLDING FLEX ME	MARGIE BOLGER	1/15-11/15	FLEX SPENDING REIMBURSEM	11/12/2015	309.53	.00	
Total :					811.84	80.00	
CITY COUNCIL & BOARDS							
01-310-4000 WAGES	CORINNE FRANK-WATSON	2015 PZBA-4	2015 PZBA ATTENDANCE	12/01/2015	125.00	.00	
01-310-4000 WAGES	DANIELLE DASH	2015 PZBA-7	2015 PZBA ATTENDANCE	12/01/2015	175.00	.00	
01-310-4000 WAGES	GEORGE WIENOLD	2015 PZBA-2	2015 PZBA ATTENDANCE	12/01/2015	125.00	.00	
01-310-4000 WAGES	JON C. TAMMEN	2015 PZBA-3	2015 PZBA ATTENDANCE	12/01/2015	200.00	.00	
01-310-4000 WAGES	MARK ROSCOE	2015 PZBA-1	2015 PZBA ATTENDANCE	12/01/2015	150.00	.00	
01-310-4000 WAGES	SCOTT DEGRAF	2015 PZBA-8	2015 PZBA ATTENDANCE	12/01/2015	25.00	.00	
01-310-4000 WAGES	THOMAS WEIDMAN	2015 PZBA-6	2015 PZBA ATTENDANCE	12/01/2015	280.00	.00	
01-310-4000 WAGES	TIM JONES	2015 PZBA-5	2015 PZBA ATTENDANCE	12/01/2015	150.00	.00	
01-310-5300 ALDERMANIC EXPENSE	CARDMEMBER SERVICE	11/2015 STAT	PARKING/MEAL FOR MEETING	11/20/2015	45.83	45.83	12/02/2015
01-310-7020 EQUIPMENT	CDW GOVERNMENT INC	BDS5167	ADMIN EQUIPMENT	11/12/2015	28.86	.00	
Total CITY COUNCIL & BOARDS:					1,304.69	45.83	
ADMINISTRATION							
01-320-4100 HEALTH INSURANCE	HMO ILLINOIS	7904	HMO HEALTH INSURANCE	11/16/2015	698.64	698.64	12/02/2015
01-320-5120 CITY ATTORNEY	TRESSLER LLP	360060	IMET RECOVERY FEE SPLIT AR	07/21/2015	711.73	.00	
01-320-5120 CITY ATTORNEY	TRESSLER LLP	365201	GENERAL LEGAL MATTERS	11/11/2015	6,864.00	.00	
01-320-5123 LABOR ATTORNEY	FRANCZEK RADELET	164876	LEGAL SERVICES	11/16/2015	306.00	306.00	12/02/2015
01-320-5130 COMPUTER CONSULTA	TRESSLER LLP	365201	EMPLOYEE DISABILITY MATTE	11/11/2015	294.00	.00	
01-320-5130 COMPUTER CONSULTA	DEKIND COMPUTER CONSULT	19120	MONTHLY SERVICE RATE - 1/2	12/01/2015	2,720.00	2,720.00	12/02/2015
01-320-5130 COMPUTER CONSULTA	DEKIND COMPUTER CONSULT	19143	EVULT SUBSCRIPTION - 1/201	12/01/2015	650.00	650.00	12/02/2015
01-320-5130 COMPUTER CONSULTA	DEKIND COMPUTER CONSULT	19167	SECURE SPAM FILTERING - 1/2	12/01/2015	140.00	140.00	12/02/2015
01-320-5220 PHOTOCOPY	DE LAGE LANDEN FINANCIAL S	19201	TRIP CHARGES - 11/2015	12/02/2015	120.00	.00	
01-320-5222 LEGAL NOTICES	PADDOCK PUBLICATIONS INC	47805550	COPIER AT CITY HALL	11/07/2015	1,101.50	.00	
01-320-5410 UTILITIES	AT&T	T4424934	LEGAL NOTICE - TAX LEVY	11/20/2015	302.40	.00	
01-320-5410 UTILITIES	AT&T	847398608011/	PD FAX #3493	11/10/2015	38.22	38.22	12/02/2015
01-320-5410 UTILITIES	AT&T	847398616011/	CH ALARM LINES #5533	11/10/2015	125.25	125.25	12/02/2015
01-320-5410 UTILITIES	COMCAST	847465118011/	PD SUBSTATION RING DOWN #	11/10/2015	38.22	38.22	12/02/2015
01-320-5410 UTILITIES	NICOR GAS	11/22-12/21	CH SVC #0510	11/15/2015	252.85	252.85	12/02/2015
		10/23/15-11/23	PD SRVC 98-65-54-0000 4	11/23/2015	181.17	.00	

CITY OF PROSPECT HEIGHTS

City of Prospect Heights Council Meeting
Report dates: 11/24/2015-12/15/2015Page: 2
Dec 02, 2015 05:52PM

GL Account and Title	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid
01-320-5410 UTILITIES	NICOR GAS	10/26/15-11/23	PW 94-82-27-0000 4	11/23/2015	264.28	.00	
01-320-5410 UTILITIES	XTIVITY SOLUTIONS INC.	197	MONTHLY VOIP SERVICE 11/20	12/01/2015	910.07	.00	
01-320-5430 CREDIT CARD & BANK C	PARDEEP DEOL	11/16/15	OVERDRAFT FEE FROM PAYR	11/16/2015	50.00	.00	
01-320-5540 PAYROLL SERVICE FEE	PRO DATA PAYROLL SERVICE	354512	PAYROLL PROCESSING	11/23/2015	200.50	.00	
01-320-5700 OFFICE SUPPLIES	WAREHOUSE DIRECT OFFICE	2888939-0	CH OFFICE SUPPLIES	11/18/2015	117.93	.00	
01-320-5700 OFFICE SUPPLIES	WAREHOUSE DIRECT OFFICE	2892162-0	CH OFFICE SUPPLIES	11/20/2015	29.05	.00	
01-320-7020 EQUIPMENT	CDW GOVERNMENT INC	BDS5167	ADMIN EQUIPMENT	11/12/2015	14.43	.00	
Total ADMINISTRATION:							
					16,130.24	4,969.18	
ENGINEERING							
01-330-5110 BILLABLE ENGINEERING	B & F CONSTRUCTION CODE S	42917	1414 RAND RD INSPECTION SE	11/19/2015	3,941.40	.00	
Total ENGINEERING:							
					3,941.40	.00	
BUILDING DEPARTMENT							
01-340-4100 HEALTH INSURANCE	MOE FUNDS	01/2016	HEALTH/DENTAL INS PREMIUM	12/01/2015	1,800.00	1,800.00	12/02/2015
01-340-5100 PROFESSIONAL SERVIC	S & J SERVICES INC.	1763	ELECTRICAL INSPECTIONS	11/30/2015	1,571.00	.00	
Total BUILDING DEPARTMENT:							
					3,371.00	1,800.00	
PUBLIC WORKS							
01-350-4100 HEALTH INSURANCE	MOE FUNDS	01/2016	HEALTH/DENTAL INS PREMIUM	12/01/2015	9,000.00	9,000.00	12/02/2015
01-350-5020 VEHICLE MAINTENANCE	TERRACE SUPPLY CO	70276331	VEH MAINT PARTS	11/17/2015	106.89	.00	
01-350-5100 PROFESSIONAL SERVICE	MAILBOX PLUS	11-25-15	PW SHIPPING	11/25/2015	29.84	.00	
01-350-5103 PROF SERVICES - FORE	WINKLER'S TREE SERVICE	87986	TREE REMOVAL	11/25/2015	4,384.00	.00	
01-350-5411 WATER AND ELECTRIC	CONSTELLATION NEWENERGY	0029017744	STRTS #3147007013	11/18/2015	258.91	.00	
01-350-5411 WATER AND ELECTRIC	CONSTELLATION NEWENERGY	0029017900	STRTS #0051066105	11/18/2015	437.13	.00	
01-350-5710 OPERATING SUPPLIES	NORTHWEST ELECTRICAL SUP	17246622	PW OPERATING SUPPLIES	11/24/2015	66.17	.00	
01-350-5751 GASOLINE	CONSERV FS INC.	102000532	GASOLINE	11/10/2015	1,655.28	1,655.28	12/02/2015
01-350-5751 GASOLINE	CONSERV FS INC.	102000670	GASOLINE	11/20/2015	1,229.51	1,229.51	12/02/2015
Total PUBLIC WORKS:							
					17,167.73	11,884.79	
PUBLIC SAFETY							
01-360-4100 HEALTH INSURANCE	HMO ILLINOIS	7904	HMO HEALTH INSURANCE	11/16/2015	10,691.63	10,691.63	12/02/2015
01-360-5100 PROFESSIONAL SERVICE	MICHAEL BYUN, M.D., S.C.	11/10/2015	CONSULTATION/WOUND CARE	11/10/2015	450.00	.00	
01-360-5310 MEMBERSHIPS	CARDMEMBER SERVICE	11/2015 STAT	PD MEMBERSHIPS	11/20/2015	150.00	150.00	12/02/2015
01-360-5321 AUTO EXPENSE	CARDMEMBER SERVICE	11/2015 STAT	PD AUTO EXPENSES	11/20/2015	94.35	94.35	12/02/2015
01-360-5610 EQUIPMENT MAINTENA	CARDMEMBER SERVICE	11/2015 STAT	PD EQUIPMENT MAINTENANCE	11/20/2015	383.02	383.02	12/02/2015
01-360-5610 EQUIPMENT MAINTENA	VERIZON WIRELESS	9755402409	PD AIRCARDS	11/10/2015	456.14	456.14	12/02/2015

CITY OF PROSPECT HEIGHTS

City of Prospect Heights Council Meeting
Report dates: 11/24/2015-12/15/2015

Page: 3
Dec 02, 2015 05:52PM

GL Account and Title	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid
01-360-5710 OPERATING SUPPLIES	FGS INC	69478	POLICE STICKERS	11/18/2015	445.32	445.32	12/02/2015
01-360-5710 OPERATING SUPPLIES	PARDEEP DEOL	12/1/15	CITIZENS POLICE ACADEMY S	12/01/2015	127.41	.00	12/02/2015
01-360-5741 CLOTHING	CARDMEMBER SERVICE	11/2015 STAT	PD UNIFORMS	11/20/2015	370.85	370.85	12/02/2015
01-360-5741 CLOTHING	RAY O'HERRON CO INC	1566333-IN	PD UNIFORMS	12/01/2015	109.14	.00	12/02/2015
01-360-7022 POLICE EQUIPMENT	CARDMEMBER SERVICE	11/2015 STAT	PD EQUIPMENT	11/20/2015	29.99	29.99	12/02/2015
Total PUBLIC SAFETY:					13,307.85	12,621.30	
OTHER EXPENSES							
01-380-5970 REFUNDS	REDSPEED ILLINOIS	170260034112	REFUND FOR REDSPEED TICK	11/30/2015	100.00	.00	
Total OTHER EXPENSES:					100.00	.00	
PUBLIC SAFETY CAPITAL OUTLAY							
01-560-7040 VEHICLES - POLICE	CURRIE MOTORS	12/2/15 K9 VE	K9 VEHICLE	12/02/2015	26,884.00	26,884.00	12/02/2015
Total PUBLIC SAFETY CAPITAL OUTLAY:					26,884.00	26,884.00	
Total GENERAL FUND:					83,018.75	58,285.10	

CITY OF PROSPECT HEIGHTS

City of Prospect Heights Council Meeting
Report dates: 11/24/2015-12/15/2015Page: 4
Dec 02, 2015 05:52PM

GL Account and Title	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid
MOTOR FUEL TAX FUND							
EXPENSES							
11-300-5632 ICE CONTROL MAINTEN	MORTON SALT, INC.	5400927789	ROAD SALT	12/01/2015	3,503.15	.00	
Total EXPENSES:					3,503.15	.00	
Total MOTOR FUEL TAX FUND:					3,503.15	.00	

CITY OF PROSPECT HEIGHTS

City of Prospect Heights Council Meeting
Report dates: 11/24/2015-12/15/2015Page: 5
Dec 02, 2015 05:52PM

GL Account and Title	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid
PALATINE/MILWAUKEE TIF FUND EXPENSES							
12-300-5100 PROFESSIONAL SERVIC	TRESSLER LLP	365201	PALATINE/MILWAUKEE TIF	11/11/2015	336.00	.00	
Total EXPENSES:					336.00	.00	
Total PALATINE/MILWAUKEE TIF FUND:					336.00	.00	

CITY OF PROSPECT HEIGHTS

City of Prospect Heights Council Meeting
Report dates: 11/24/2015-12/15/2015Page: 6
Dec 02, 2015 05:52PM

GL Account and Title	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid
TOURISM DISTRICT EXPENSES							
13-300-5100 PROFESSIONAL SERVICE	TESKA ASSOCIATES, INC.	6401	CORRIDOR ENHANCEMENT PL	11/18/2015	1,300.00	1,300.00	12/02/2015
Total EXPENSES:					1,300.00	1,300.00	
Total TOURISM DISTRICT:					1,300.00	1,300.00	

CITY OF PROSPECT HEIGHTS

City of Prospect Heights Council Meeting
Report dates: 11/24/2015-12/15/2015Page: 7
Dec 02, 2015 05:52PM

GL Account and Title	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid
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DEVELOPMENT FUND
EXPENSES

14-300-5100 PROFESSIONAL SERVIC TRESSLER LLP

365201	DEVELOPMENT FUND SERVIC	11/11/2015	147.00	.00
			147.00	.00
			147.00	.00

Total EXPENSES:

Total DEVELOPMENT FUND:

CITY OF PROSPECT HEIGHTS

City of Prospect Heights Council Meeting
Report dates: 11/24/2015-12/15/2015

Page: 8

Dec 02, 2015 05:52PM

GL Account and Title

Vendor Name

Invoice Number

Description

Invoice Date

Net Invoice Amount

Amount Paid

Date Paid

DEA SEIZURE FUND
EXPENSES

16-300-5330 TRAINING

CARDMEMBER SERVICE

11/2015 STAT

PD TRAINING

11/20/2015

171.46

171.46

12/02/2015

Total EXPENSES:

Total DEA SEIZURE FUND:

171.46

171.46

171.46

171.46

CITY OF PROSPECT HEIGHTS

City of Prospect Heights Council Meeting
Report dates: 11/24/2015-12/15/2015Page: 9
Dec 02, 2015 05:52PM

GL Account and Title	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid
SOLID WASTE DISPOSAL FUND EXPENSES							
17-300-5100 PROFESSIONAL SERVIC	TRESSLER LLP	365201	SWANCC	11/11/2015	1,205.00	.00	
Total EXPENSES:					1,205.00	.00	
Total SOLID WASTE DISPOSAL FUND:					1,205.00	.00	

CITY OF PROSPECT HEIGHTS

City of Prospect Heights Council Meeting
Report dates: 11/24/2015-12/15/2015Page: 10
Dec 02, 2015 05:52PM

GL Account and Title	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid
WATER FUND EXPENSES							
51-300-4100 HEALTH INSURANCE	MOE FUNDS	01/2016	HEALTH/DENTAL INS PREMIUM	12/01/2015	1,800.00	1,800.00	12/02/2015
51-300-5100 PROFESSIONAL SERVIC	PDC LABORATORIES INC	817231	WATER TESTING	11/15/2015	45.00	45.00	12/02/2015
51-300-5200 POSTAGE	FEDEX	5-235-58994	WATER SHIPPING	11/25/2015	26.20	26.20	12/02/2015
51-300-5200 POSTAGE	POSTMASTER	12-2-15	WATER POSTAGE	12/02/2015	350.00	.00	
51-300-5410 UTILITIES	COMCAST	11/28-12/27	INTERNET FOR SCADA SYSTE	11/21/2015	157.90	157.90	12/02/2015
51-300-5500 LIABILITY INSURANCE	MESIROW INSURANCE SERVIC	910934	UNDERGROUND STORAGE TA	11/27/2015	2,519.00	.00	
Total EXPENSES:					4,898.10	2,029.10	
Total WATER FUND:					4,898.10	2,029.10	

CITY OF PROSPECT HEIGHTS

City of Prospect Heights Council Meeting
Report dates: 11/24/2015-12/15/2015Page: 11
Dec 02, 2015 05:52PM

GL Account and Title	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid
PARKING FUND							
EXPENSES							
52-300-5100 PROFESSIONAL SERVICE	ENECON USA, INC.	64477	REPAIR DAMAGED STAIRS AT	11/23/2015	4,380.00	.00	
52-300-5410 UTILITIES	CARDMEMBER SERVICE	11/2015 STAT	SERVICE AT METRA STATION -	11/20/2015	147.85	147.85	12/02/2015
52-300-5410 UTILITIES	NICOR GAS	10/26/15 - 11/2	METRA 20-24-74-0000 3	11/23/2015	73.67	.00	
Total EXPENSES:					4,601.52	147.85	
Total PARKING FUND:					4,601.52	147.85	

CITY OF PROSPECT HEIGHTS

City of Prospect Heights Council Meeting
Report dates: 11/24/2015-12/15/2015Page: 12
Dec 02, 2015 05:52PM

GL Account and Title	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid
EXPENSES							
53-300-5100 PROFESSIONAL SERVIC	TRESSLER LLP	365201	OLD TOWN SANITARY SEWER	11/11/2015	1,443.00	.00	
Total EXPENSES:					1,443.00	.00	
Total :					1,443.00	.00	
Grand Totals:					1,443.00	.00	
					100,623.98	61,933.51	