



City of Prospect Heights  
**CITY COUNCIL REGULAR MEETING**

Monday, April 13, 2026 at 6:00 PM

Prospect Heights City Hall  
8 North Elmhurst Road

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**IN ACCORDANCE WITH THE APPLICABLE STATUTES OF THE STATE OF ILLINOIS AND ORDINANCES OF THE CITY OF PROSPECT HEIGHTS, NOTICE IS HEREBY GIVEN THAT:**

**The City Council Meeting of the Mayor and City Council of the City of Prospect Heights will be held on MONDAY, APRIL 13, 2026 AT 6:00 PM.**

**In Person in the Council Chambers, Prospect Heights City Hall, 8 North Elmhurst Road, Prospect Heights, Illinois, Mayor Patrick Ludvigsen presiding.**

**This meeting will be broadcast live on cable channels: COMCAST CHANNEL 17, ASTOUND CHANNEL 1176 and AT&T U-VERSE CHANNEL 99. It will also be recorded and rebroadcast on COMCAST CHANNEL 17, ASTOUND CHANNEL 1176 and AT&T U-VERSE CHANNEL 99.**

**Attendees who wish to speak on Agenda or non-agenda items will be provided an opportunity during the meeting. There is a FIVE-MINUTE TIME LIMIT for speakers.**

- 1. CALL TO ORDER AND ROLL CALL**
- 2. PLEDGE OF ALLEGIANCE**
- 3. APPROVAL OF MINUTES**
  - A. March 23, 2026 City Council Regular Meeting Minutes  
Action Requested: (Motion, Second, Roll Call Vote)**
  - B. March 23, 2026 City Council Executive Session Minutes (*not for public release*)  
Action Requested: (Motion, Second, Roll Call Vote)**
- 4. PRESENTATIONS**
  - A. FY2026-27 Chicago Executive Airport Budget Presentation by Jason G. Griffith**
  - B. City of Prospect Heights Water Quality and Compliance with National Pollution Discharge Elimination System Report by Dave Koldoff**
- 5. APPOINTMENTS, CONFIRMATIONS, AND PROCLAMATIONS**
- 6. PUBLIC COMMENTS ON AGENDA MATTERS (FIVE MINUTES TIME LIMIT)**

(Citizens are asked to identify the agenda item they would like to address and will be provided the opportunity to speak to the issue after its presentation and before City

This meeting will be recorded and made available on your local Cable Channel, Prospect Heights Television, and our PHTV YouTube Channel via a link on the City website.

Council action)

**7. CONSENT AGENDA**

(All items listed on the Consent Agenda are considered routine by the City Council and will be enacted by one motion. There will be no separate discussion of these items unless a City Council Member so requests, in which event the item will be removed from the general order of business and considered as a separate Agenda item.)

**Action Requested: (Motion, Second, Voice Vote)**

- A. Arbor Day Proclamation – Arbor Day – Friday, April 24, 2026
- B. **O-26-03** Staff Memo and Ordinance Establishing Water Rates for FY2026-27 **(2nd Reading)**
- C. **R-26-09** Memo and Resolution Approving the FY2026-27 Budget for the Chicago Executive Airport

**8. OLD BUSINESS**

- A. **Continued at the request of the applicant to the April 27th, 2026 City Council Regular Meeting - O-26-04** Staff Memo and Ordinance Reestablishing a Special Use and Planned Unit Development for Neder Capital Services, LLC at 1001 and 999 Oak Avenue **(2nd Reading)**  
**Action Requested: (No Action to be Taken)**

**9. NEW BUSINESS**

- A. **O-26-05** Staff Memo and Ordinance Amending Title 1 of City Code and Adopting the Pay Plan (Compensation of Officers, Employee Salaries, and Pay Plan) **(1st Reading)**  
**Action Requested: (Discussion/Informational)**
- B. **O-26-06** Staff Memo and Ordinance Adopting the FY2026-27 Budget for the City of Prospect Heights **(1st Reading)**  
**Action Requested: (Discussion/Informational)**
- C. **O-26-07** Staff Memo and Ordinance Amending Title 8, Chapter 5 of the Prospect Heights City Code Relating to Sewer Service Rates for FY2026-27 **(1st Reading)**  
**Action Requested: (Discussion/Informational)**
- D. **Waiver of 1st Reading O-26-08** Staff Memo and Ordinance Approving a Variance for an Accessory Structure at 1120 N Drury **(1st Reading)**  
**Action Requested: (Motion, Second, Roll Call Vote)**
- E. **O-26-08** Staff Memo and Ordinance Approving a Variance for an Accessory Structure at 1120 N Drury **(2nd Reading)**  
**Action Requested: (Motion, Second, Roll Call Vote)**
- F. **Waiver of 1st Reading O-26-09** Staff Memo and Ordinance Amending Title 7,

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Chapter 1, Section 12 of the Prospect Heights City Code Relating to the City's Compensatory Storage Ratio Requirements for Storm Water Management on New Developments (**1st Reading**)

**Action Requested: (Motion, Second, Roll Call Vote)**

- G. **O-26-09** Staff Memo and Ordinance Amending Title 7, Chapter 1, Section 12 of the Prospect Heights City Code Relating to the City's Compensatory Storage Ratio Requirements for Storm Water Management on New Developments (**2nd Reading**)

**Action Requested: (Motion, Second, Roll Call Vote)**

- H. **R-26-10** Staff Memo and Resolution of City Council Support for the City's Illinois Transportation Enhancement Program (ITEP) Grant Application for the Camp McDonald Sidewalk Project with Local Funding of at Least \$176,700

**Action Requested: (Motion, Second, Roll Call Vote)**

**10. STAFF, ELECTED OFFICIALS, AND COMMISSION REPORTS**

**11. APPROVAL OF WARRANTS**

**A. Approval of Expenditures**

General Fund	\$185,727.65
Motor Fuel Tax Fund	\$0.00
Tourism District	\$4,119.39
Solid Waste Fund	\$101,599.13
Drug Enforcement Agenda Fund	\$3,438.00
Special Service Area #1	\$0.00
Special Service Area #2	\$0.00
Special Service Area #3	\$0.00
Special Service Area #4	\$0.00
Special Service Area #5	\$172.55
Special Service Area - Constr #6 (Water Main)	\$0.00

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Special Service Area - #8 Levee Wall #37	\$98.06
Capital Improvements	\$0.00
Special Service Area - Debt #6	\$0.00
Road Construction Debt	\$0.00
Water Fund	\$46,696.86
Parking Fund	\$769.16
Sanitary Sewer Fund	\$12,603.05
Road/Building Bond Escrow	\$0.00
<b>TOTAL</b>	<b>\$355,223.85</b>
<b>Wire Payments</b>	
<b>04.03.26 Payroll</b>	<b>\$284,326.64</b>
<b>03.20.26 Payroll</b>	<b>\$195,108.83</b>
<b>Manual Checks Wight &amp; Company (Beyond Your Base Referendum Resources)</b>	<b>\$14,648.17</b>
<b>TOTAL WARRANT</b>	<b>\$849,307.49</b>

**12. PUBLIC COMMENT ON NON-AGENDA MATTERS (FIVE MINUTE TIME LIMIT)**

**13. EXECUTIVE SESSION**

**14. ACTION ON EXECUTIVE SESSION ITEMS, IF REQUIRED**

**15. ADJOURNMENT**

**Action Requested: (Motion, Second, Voice Vote)**

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Posted by 5:00 PM, April 10, 2026

**This meeting will be recorded and made available on your local Cable Channel, Prospect Heights Television, and our PHTV YouTube Channel via a link on the City website.**



**CHICAGO** EXECUTIVE  
AIRPORT

# **FY27 Proposed Budget**

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April 13, 2026

# In governmental accounting what is Chicago Executive Airport?

Chicago Executive Airport is an Enterprise Fund. An enterprise fund is a fund used to account for operations that are financed and operated in a manner similar to private business enterprises where the intent of the governing body is that the costs (expenses) of providing goods or services to the public on a continuing basis be financed or recovered primarily through user charges.

## What is the Chicago Executive Airport budget?

The Chicago Executive Airport budget is an annual estimate of that fiscal year's revenues, operating expenses, debt service expenses, reserve fund transfers, and capital expenses. The Airport budget covers a May-April fiscal year. It is developed with keeping the future operating and significant capital needs of the Airport in mind. It is also developed to ensure the Airport always remains self sufficient. The budget focuses on today well preparing the Airport for the future.

# FY27 Budget Goals

- Provide the resources to be a premier General Aviation airport
- Maintain financial self-sufficiency
- Maintain appropriate revenue growth across the Airport's revenue streams
- Manage operating expenses to ensure operational effectiveness
- Continue to utilize reserve funds to minimize impact on the operating fund
- Plan and design a new Airport Aviation Community Center

# FY27 Budget Overview

- **Net Income:** After reserve fund transfers FY27 budgeted Net Income is \$428,448
- **Revenues:** FY27 total budgeted revenues are **\$9,793,988**, an \$897,101 (10.08%) increase from FY26. The revenue stream growth is driven by sewer fees, fuel flowage fees, long-term leases, U.S. Customs service fees and other fees increases
- **Operating Expenses:** Total budgeted operating expenses for the combined departments are **\$6,673,111**, an increase of \$753,397 (12.73%) from the FY27 budget. Significant drivers of this expense increase are the 100-Year Celebration, software expenses, insurance, utilities, aircraft movement expenses for Hangars 5 & 6, and personnel expenses.

# FY27 Budget Overview

- **Unrestricted Net Assets Available:** The Airport Business Plan requires that the Airport maintains an unrestricted net asset balance equal to 3 months (25%) of the current year's budgeted operating expenses, which would be \$1,668,278 ( $\$6,673,111 \times 25\%$ ). The estimated running balance on April 30, 2027, of \$5,052,609 will be sufficient to cover this requirement.
- **Debt Covenant Requirements:** The Airport's debt covenants require the Airport to maintain a cash balance worth 180 days of budgeted operating expenses. In FY27 that would be \$3,290,849 ( $\$6,673,111 \times 180 / 365$ ). The estimated running balance on April 30, 2027, of \$ 5,052,609 will be sufficient to cover this requirement.

# FY27 Budget Overview

- **Sewer Reserve Fund:** A projected starting balance of \$730,500. With an estimated FY27 ending balance of \$769,238.
- **Vehicle and Equipment Reserve Fund:** A projected starting balance of \$1,322,691. With an estimated FY27 ending balance of \$180,691.
- **Building and Land Reserve Fund:** A projected starting balance of \$3,460,262. With an estimated FY27 ending balance of \$5,260,262.
- **Capital Repair/Demo Fund:** A projected starting balance of \$878,965. With an estimated FY27 ending balance of \$363,055.

# FY27 Budget Overview

- **Self Funded Capital Projects:**
  - Capital Improvements
    - Facilities- \$115,000
    - Fencing, Gates, Landscaping- \$15,000
    - Security Improvements- \$75,000
    - Pavement Repairs- \$300,000
  - Capital Outlay
    - Office Equipment- \$90,000
    - Vehicle/Equipment Repairs- \$36,000
    - Shop Equipment- \$51,500
    - Other Capital Outlay- \$180,000
  - Capital Design-Construction- \$2,250,000

# FY27 Budget Overview

- **Capital “A” Projects:**
  - Hot Spot Reconfiguration of Taxiways- Phase 1
  - Hot Spot Reconfiguration of Taxiways- Phase 2

Total Budgeted Capital “A” Project Expense \$11,840,000

Airport’s Total Capital “A” Local Share \$310,000

- The Airport’s local share for Hot Spot Reconfiguration of Taxiways- Phase 1 was paid in FY26

These projects come from the Airport’s Transportation Improvement Program (TIPs). TIPs was passed by the Airport’s Board of Directors with Resolution 25-044 for the Federal Fiscal Years 2027-2031. TIPs is a document created with input by the Airport, the Federal Aviation Administration, Illinois Department of Transportation Division of Aeronautics.

# FY27 Budget Overview

- **Residential Sound Insulation Program (RSIP):** Remains separate from traditional Capital “A” Projects as its own section of the budget. RSIP is not a traditional grant project and it is also not a traditional operating expense.
  - \$4,100,000 in RSIP expenses
  - \$3,895,000 in RSIP reimbursement revenues

# FY27 Budget

## Questions and Comments



**CHICAGO** EXECUTIVE  
AIRPORT

# **FY27 Proposed Budget**

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April 13, 2026



# MS4

Municipal Separate Storm Sewer System

## Prospect Heights

Year 23

**GHA** GEWALT HAMILTON  
ASSOCIATES, INC.

# NPDES

## National Pollutant Discharge Detection & Elimination



- ✓ Pollution prevention/good housekeeping for municipal operations
- ✓ Program in place to prevent/remediate water pollution
- ✓ Illicit discharge detection and elimination (IDDE)

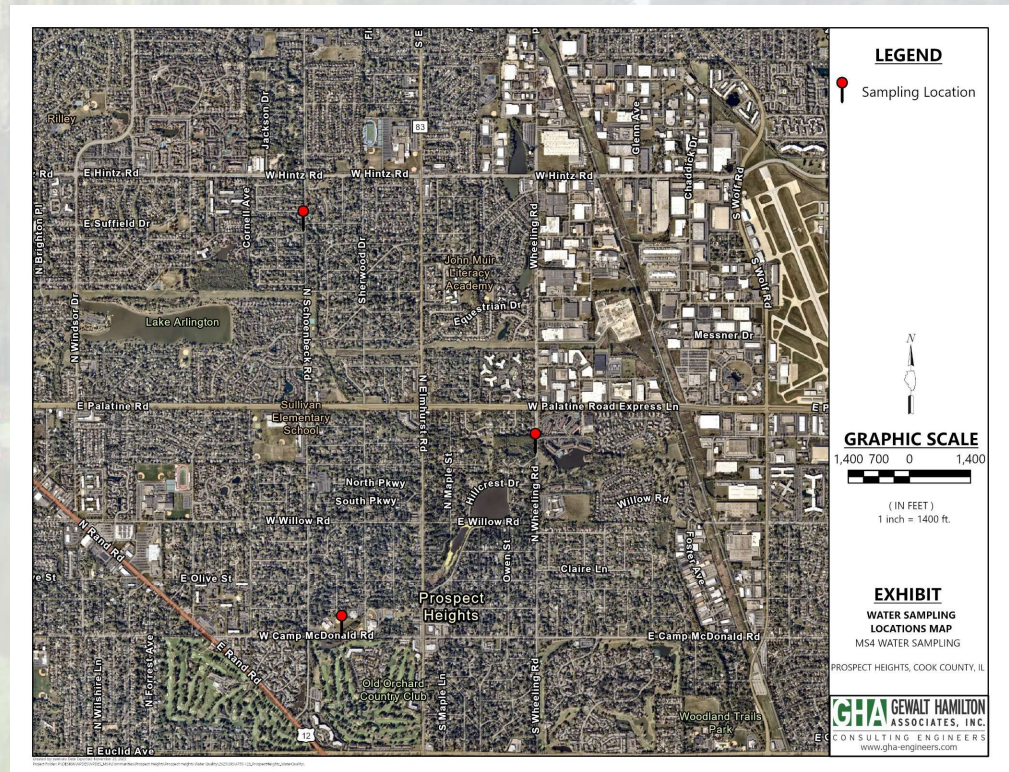
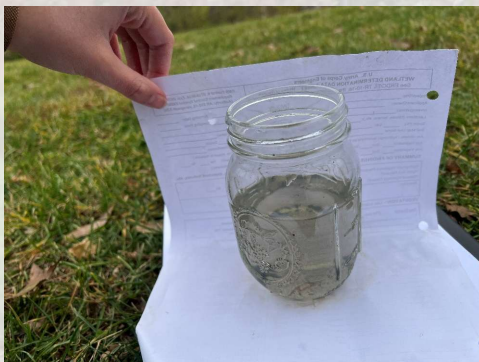
# WATER QUALITY MONITORING

## Locations

- N Schoenbeck Rd
- Wheeling Rd
- Camp McDonald Rd

## Visual Indicators

- Abnormal Vegetation
- Algae Growth
- Odor
- Color
- Turbidity
- Floatables



# ILR40 PERMIT UPDATE

The General Storm Water Permit for MS4s was reissued on July 8, 2025 with an effective date of August 1, 2025. Expiration is July 31, 2030. Significant changes have been made in the permit:



## Property Inspections

An inventory of Village-owned properties with outfall(s), storm sewer(s), or the potential for vehicle parking shall be inspected.



## Green Infrastructure

Requires consideration of incorporating green infrastructure concepts into the storm water program.



## Public Notification

Requires, for purposes of public notification and participation, that the Notice of Intent (NOI) for construction site projects be submitted to the Agency electronically and posted at the construction site.



## Online Disclosure

Must post their NOI, storm water management program plan, and annual reports on the permittee's website.

# WATERSHED WORKGROUPS

- Des Plaines River Watershed Workgroup  
<https://www.drww.org>





*Whereas,* In 1872, J. Sterling Morton proposed to the Nebraska Board of Agriculture that a special day be set aside for the planting of trees, and

*Whereas,* this holiday, called Arbor Day, was first observed with the planting of more than a million trees in Nebraska, and

*Whereas,* Arbor Day is now observed throughout the nation and the world, and

*Whereas,* trees can reduce the erosion of our precious topsoil by wind and water, cut heating and cooling costs, moderate the temperature, clean the air, produce life-giving oxygen, and provide habitat for wildlife, and

*Whereas,* trees are a renewable resource giving us paper, wood for our homes, fuel for our fires and countless other wood products, and

*Whereas,* trees in our city increase property values, enhance the economic vitality of business areas, and beautify our community, and

*Whereas,* trees, wherever they are planted, are a source of joy and spiritual renewal.

*Now, Therefore, I,* Patrick Ludvigsen, Mayor of the City of Prospect Heights, do hereby proclaim April 24th, 2026 as

# Arbor Day

In the City of Prospect Heights, and I urge all citizens to celebrate Arbor Day and to support efforts to protect our trees and woodlands, and

*Further,* I urge all citizens to plant trees to gladden the heart and promote the well-being of this and future generations.

*Dated this* 13th day of April, 2026  
 Mayor Patrick Ludvigsen





To: Mayor Pat Ludvigsen and Members of the City Council

From: Cheri Grieco, Finance Director

Date: March 18, 2026

Re: Ordinance O-26-03 Water Rate Increase

**Background:**

The City of Prospect Heights reviews water rates on an annual basis to ensure fees are in line with the costs incurred to deliver the service. Original water rates were based upon the Water Study conducted in 2012/2013 which have since then been adjusted for annual debt service, water costs, capital improvements and other operating costs. A review of Illinois American Water invoices show an increase of 4.5% for the first 8 months of FY26 primarily due to increases in delivery charges.

**Analysis:**

Historically, we have included four component costs in the water rate calculation. Analysis of these components is as follows:

- Delivery – increased based on annual budgeted variable expenses included in the proposed FY27 budget. Those costs include Salaries/benefits, regular system maintenance and professional services with FY27 budgeted capital expenditures excluded.
- Infrastructure - based upon budget for current year depreciation and infrastructure reserve.
- Maintenance Reserve – provides a savings mechanism for future and current system major repairs/replacement based on historical cost, not projected replacement cost.
- Water sales - based upon the water study rates and previous year’s consumption costs.

Rate Components:		FY2027	FY2026	FY2025
Water Supply Charge per 1,000 Gallons	per 1,000 gals	\$ 8.78	\$ 8.46	\$ 8.36
Monthly Customer Delivery Charge	monthly	35.11	34.05	32.56
Monthly Infrastructure Reserve Charge	monthly	14.14	13.33	13.33
Maintenance Reserve Charge	monthly	5.58	5.50	-
		<b>\$ 63.61</b>	<b>\$ 61.34</b>	<b>\$ 60.28</b>

% increase      3.7%

**Staff Recommendation:**

Based on the above analysis, Staff recommends the City’s water rate be increased to \$63.61 for FY26-27 effective May 1, 2026.

**ORDINANCE NO. O-26-03**

**AN ORDINANCE AMENDING ORDINANCE NO. O-25-05  
BE IT ORDAINED BY THE COUNCIL OF THE CITY OF PROSPECT HEIGHTS,  
COOK COUNTY, ILLINOIS, AS FOLLOWS:**

**SECTION ONE:** Title 1, Chapter 7, Section 15. I Water Rates of the City Code is hereby further amended by deleting the following strikethrough text and adding the following bold and underlined text to read as follows:

**I. Water Rates**

Each and every business or residential dwelling unit utilizing the City’s water distribution system shall be considered a facility. Any facility having connection with the City’s distribution system, that may hereafter be constructed and used in connection with the distribution system, shall pay the following rates per month:

**Rate Components:**

		<b>FY2027</b>	<b>FY2026</b>
Water Supply Charge per 1,000 Gallons	per 1,000 gals	\$ 8.78	\$ 8.46
Monthly Customer Delivery Charge	monthly	35.11	34.05
Monthly Infrastructure Reserve Charge	monthly	14.14	13.33
Maintenance Reserve Charge	monthly	5.58	5.50
		<u>\$ 63.61</u>	<u>\$ 61.34</u>

Supply charges by the city water supplier will be based on actual billed charges to the City and will be determined on an annual basis.

Water Rate effective date shall be May 1, 2026.

**SECTION TWO:** This Ordinance shall be in full force and effect upon its passage, approval. And publication in pamphlet form and posting as prescribed by law.

**Passed and Approved** this 13th day of April, 2026

\_\_\_\_\_  
Patrick Ludvigsen, Mayor

ATTEST:

\_\_\_\_\_  
City Clerk

AYES: \_\_\_\_\_

NAYS: \_\_\_\_\_

ABSENT: \_\_\_\_\_



1020 South Plant Road  
 Wheeling, Illinois 60090  
 847.537.2580  
 www.chiexec.com

## MEMO

Date: March 19, 2026  
 To: City of Prospect Heights and Village of Wheeling Officials  
 From: Jason G. Griffith, Director of Finance  
 Subject: FY2027 Chicago Executive Airport Proposed Budget

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Highlight summary of the proposed FY2027 budget:

- **Net Income:** The FY27 proposed budget after transfers, and all operating and capital revenues and expenses results in a Net Income of \$428,448
- **Revenues:** FY27 total budgeted revenues are \$9,793,988. An increase of \$897,101 (10.08%) from FY26.
  - Annual sewer fee revenues and One-time sewer connection fee revenues are included with all other Airport revenues in the FY27 budget. Sewer revenues will then be transferred to the sewer reserve fund. The FY27 budget has annual sewer fees of \$45,321 and One-time connection fee revenues of \$492,899 if the Sky Harbour development is connected to the Airport's sewer systems in FY27. If the One-time connection does not occur in FY27 that revenue will be included in the FY28 budget.
  - Long term lease revenues and fuel flowage fee revenues are the main drivers of the Airport's FY27 budgeted revenues.
  - U.S. Customs fees, Hangars 5 & 6 fees, T-hangar fees, Tiedown fees, and all other Airport fees were increased by 3.082%. 3.082% is the 2025 local Chicago-Naperville-Elgin region annual CPI.
- **Operating Expenses:** Total budgeted operating expenses for the combined departments are \$6,673,311, a \$753,397 (12.73%) increase from FY26.
  - The Administrative line item for the 100-Year celebration was increased for events to take place in FY27. This line item will be removed from future budgets.
  - In the Operations and Maintenance budget there is a new line item for a third party to do the aircraft movements in Hangars 5 & 6
  - Both departments have budgeted expense increases for software and Insurance.
- **RSIP:** The FY27 budget has \$4,100,000 in RSIP expenses. With the RSIP program the Airport pays the invoices and then is reimbursed by the FAA and the State of Illinois. The Airport is responsible for \$153,750 in total expenses for the RSIP program after reimbursement.
- **Reserve Funds:**
  - **Sewer Reserve-** Annual sewer revenues totaling \$45,321 are budgeted to be transferred into the sewer fund. As mentioned above there is a possibility of Sky Harbour connecting

to the Airport's sewer systems in late FY27. The one-time connection fee of \$492,899 is budgeted to be transferred to the sewer fund. The sewer fund has budgeted expenses totaling \$500,000, mostly for stormwater expense. The projected starting balance on 5/1/26 is \$730,500. Projected sewer fund ending balance on 4/30/27 is \$769,238.

- **Vehicle and Equipment Reserve Fund (VERF)**- Budgeted for a \$500,000 annual transfer. The Airport is budgeted to purchase a new large snowbroom (\$770,000), a new large snowplow with a liquid deicer tank (\$725,000) and other smaller vehicles. The larger snow equipment has a 365-day lead time. Delivery of the equipment and the expense may not occur until the next fiscal year. When a vehicle is sold the funds received for the purchase will go back into the VERF fund. The projected starting balance on 5/1/26 is \$1,322,691. The projected ending balance on 4/30/27 is \$180,691.
- **Building & Land Reserve Fund**- Budgeted for a \$3,000,000 annual transfer. Budgeted expenses from this fund are for potential reimbursement for a demolished building that was on the property the Airport recently purchased. The \$3,000,000 transfer into this fund will be used to help fund a new aviation community center at the Airport. The projected starting balance on 5/1/26 is \$3,460,262. The projected ending balance on 4/30/27 is \$5,260,262.
- **Capital Repair/Demo Fund**- Budgeted for a \$184,089 annual transfer. The \$184,089 is 5% of long-term lease revenues and Hanagar5/6 permit fees revenues. Budgeted expenses from this fund are for potential reimbursement for a demolished building that was on the property the Airport recently purchased. The projected starting balance on 5/1/26 is \$878,965. The projected ending balance on 4/30/27 is \$363,055.
- **Capital Projects: Self-funded**, not grant funded, capital projects include updates to potential large hangar and building repairs, airfield security, pavement repairs, an aviation community center, shop equipment, capital vehicle repairs, and expenses for decommissioning Runway 6/24.
- **Capital "A" Projects**: The total cost of all the projects is estimated at \$11,840,000 with the Airport's local share expected to be \$310,000 with budgeted FY27 offsetting grant revenues of \$6,307,000. The major Capitol "A" projects include the phase 1 and phase 2 hot spot reconfiguration of taxiways.
- **Unrestricted Net Assets Available**: The Airport Business Plan requires that the airport maintains an unrestricted net asset balance equal to 3 months (25%) of the current year's budgeted operating expenses, which would be \$1,668,278 (\$6,673,111 x 25%). Our estimated April 30, 2027, operating fund balance of \$5,052,609 satisfies this requirement.
- **Debt Covenant Requirements**: The debt covenant requires the Airport maintains a cash balance worth 180 days of budgeted operating expenses. In FY27 that amount is \$3,290,849 (\$6,673,311 x 180/365). Our estimated April 30, 2027, operating fund balance of \$5,052,609 satisfies this requirement.

**Resolution No. R-26-09**

**A Resolution Approving the FY27 Budget for Chicago Executive Airport**

**Whereas**, the City of Prospect Heights and the Village of Wheeling have entered into an Intergovernmental Agreement dated July 1, 2005, for the organization, operation, and maintenance of Chicago Executive Airport; and,

**Whereas**, Section 4.G.3 of the said Agreement requires the Chicago Executive Airport Board to propose for approval by the municipalities an annual budget for the Chicago Executive Airport; and,

**Whereas**, the Airport staff have prepared and presented to the Board of Directors the proposed budget for the fiscal year ending April 30, 2027; and,

**Whereas**, the Board of Directors of Chicago Executive Airport have reviewed the budget document in its entirety; and,

**Whereas**, the adoption of said budget constitutes the appropriation of monies for Chicago Executive Airport in the fiscal year ending April 30, 2027; and,

**Whereas**, the Board of Directors deems it in the best interest of Chicago Executive Airport to recommend said budget as prepared for approval;

**Now, Therefore, Be It Resolved by the Mayor and City Council of the City of Prospect Heights, County Cook, State of Illinois**, that the Annual Budget for fiscal year ending April 30, 2027, totaling \$9,793,988 in revenues and \$6,673,311 in expenses, is hereby approved.

**Passed and Approved** this 13th day of April 2026

\_\_\_\_\_  
Patrick Ludvigsen, Mayor

**Attest:**

\_\_\_\_\_  
City Clerk

**Ayes:** \_\_\_\_\_

**Nays:** \_\_\_\_\_

**Absent:** \_\_\_\_\_

# **CHICAGO** EXECUTIVE AIRPORT

**FY 2027**

**PROPOSED Annual Budget**

**Fiscal Year Ending**

**4/30/2027**

**CHICAGO EXECUTIVE AIRPORT**



**1926 • PwK • 2026**

**An Intergovernmental Cooperative of  
The City of Prospect Heights, Illinois and  
The Village of Wheeling, Illinois**

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**Chicago Executive Airport Budget**

**Fiscal Year Ending**

**April 30, 2027**

**FY2027 Budget**

Workshop by the Chicago Executive Airport Board of Directors – February 18, 2026

FY27 Budget Draft 2 sent for Chicago Executive Airport Board of Directors Review- March 5, 2026

Proposed Budget sent to the Airport Board of Directors- March 13, 2026

Approved by the Chicago Executive Airport Board of Directors- March 18, 2026

Potentially to be Approved by the City of Prospect Heights City Council – April 2026

Potentially to be Approved by the Village of Wheeling Board of Trustees – April 2026

**An Intergovernmental Cooperative of  
The City of Prospect Heights, Illinois and  
The Village of Wheeling, Illinois**

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## **Profiles**

### **Chicago Executive Airport**

Chicago Executive Airport is located eighteen (18) miles northwest of Chicago, Illinois. The Airport is owned by the City of Prospect Heights and the Village of Wheeling as an intergovernmental cooperative through an intergovernmental agreement. Chicago Executive Airport is managed under the guidance of the Chicago Executive Airport Board of Directors - a board consisting of three members from each Municipality plus a chairman who consider both current and long-term plans for the Airport. Chicago Executive Airport is one of the few self-supporting airports in the United States. Chicago Executive is celebrating its one-hundredth (100) anniversary as an airport in 2026!.

Designated as a reliever airport by the Federal Aviation Administration, the Airport relieves general aviation traffic from O'Hare International Airport, eight miles south of Chicago Executive Airport. The Airport averages 100,000 annual operations and has over three hundred (300) based aircraft. Users of the Airport range from Fortune 500 companies and their executives to private pilots. Chicago Executive is also the busiest user fee airport in the Midwest for U.S. Border Protection international clearance operations with over five hundred (500) clearances in a fiscal year.

### **City of Prospect Heights**

The City of Prospect Heights, formed in 1936, has grown to a population of 16,000 consisting of a mix of single-family homes, condominiums, and apartment buildings. Prospect Heights was incorporated January 31, 1976, exactly 40 years after the first family moved in, the City of Prospect Heights was born. Prospect Heights boasts a library, excellent schools, and two Park Districts with two facilities, each with a swimming pool and something for all ages. Three shopping centers provide a variety of shopping experiences and numerous quality hotels and motels are near the Airport.

### **Village of Wheeling**

The Village of Wheeling was settled in 1833 and officially founded in 1894. Wheeling features a combination of homes, some more than 75 years old, existing among new construction. Wheeling is known for its many excellent restaurants including "Restaurant Row" situated along Milwaukee Avenue. The most recent census had Wheeling's population over 39,000 residents.

Both municipalities are bordered by almost 1,000 acres of Cook County Forest preserve. Train stations provide commuter transportation to both municipalities.

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March 18, 2026

The Citizens of the City of Prospect Heights, its Mayor, and City Council  
The Citizens of the Village of Wheeling, its President, and Village Board  
The Chairman and Members of the Chicago Executive Airport Board of Directors

The Amended and Restated Intergovernmental Agreement, dated December 23, 2013, between the Village of Wheeling and the City of Prospect Heights (hereinafter referred to as “the Municipalities”) acknowledges their responsibility “to operate, manage, maintain, and provide for the local portion of any future development of the Airport out of Airport revenues.” The Chicago Executive Airport Board of Directors (hereinafter referred to as “the Board”) is charged with the fiduciary responsibility of reviewing and recommending an annual budget to the Municipalities for subsequent approval.

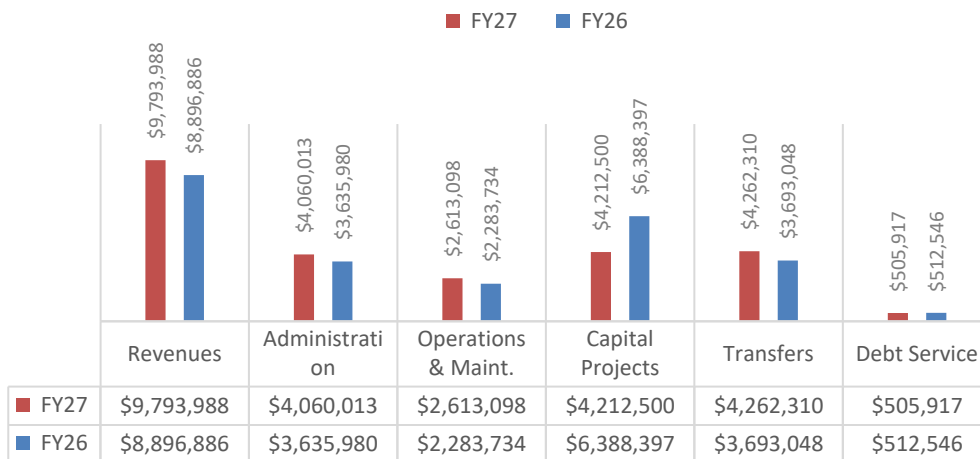
### **Budget Document**

Chicago Executive Airport (Airport) has one enterprise fund, the Joint Airport Fund. An enterprise fund is a governmental accounting fund that provides a good or service to the public and charges fees to make the entity self-sustaining. Enterprise funds operate in a similar manor to private business enterprises, with the intent that the costs (expenses, including depreciation) of providing goods or services to the public on a continuing basis be financed primarily through fees charged to the entity’s users. The budget was prepared using an accrual basis of accounting whereby revenues are recorded in the period in which they are earned and expenditures are recorded in the period in which they are incurred. This basis is the same as our financial statement reporting except for 1. depreciation and amortization are not included in the budget, and 2. capital outlays and the receipt of long-term debt proceeds are not included in operating expenses within the financial statements. While the Sewer Reserve, the Vehicle & Equipment Reserve, the Building & Land Reserve, and the Capital Repair and Demolition sub-funds are presented in the budget as separate funds, they are part of the Joint Airport Fund. These reserve funds are not legally required but were established by the Airport Board of Directors to plan for the Airport’s short- and long-term capital needs.

The budget is prepared considering historic expenses as well as anticipated expenses for the coming fiscal year. The budget is developed using a line-item form for each category that details and describes each revenue and expense item. During the fiscal year, any expense category overages are covered by either contingency amounts or budget surplus amounts in other departmental categories. The Airport Board of Directors and the Municipalities would need to approve any budget adjustment necessary to cover a departmental or capital budget section that exceeds the approved budgeted amounts. As part of its budgeting process for FY27 the Airport is continuing to use the Capital Improvement Plan (CIP) document. The CIP looks ahead five years using policies passed by the Board to better plan for all capital expenses and to ensure that sufficient funds are in place for the Airport’s extensive capital needs. The CIP is updated on a continuous basis and is a living document for planning purposes.

The budget document is divided into six components, **Budget Overview, Revenue Budget, Operating Budget, Non-Operating Budget, Capital Budget,** and **Supplemental Information.** The Operating Budget is divided into six sub parts: Revenues, Administration & Finance Expenses, Operations & Maintenance Expenses, Interest Income, Other Expense, and Debt Service. This division was done so the Airport can more accurately determine the expense of services in the future.

## BUDGET COMPARISON



### Executive Summary

Operating income is operating revenues less operating expenses. It does not include the purchase of capital items or the expense of depreciation and amortization. Revenues and expenses are detailed below.

**Revenues:** FY27 total budgeted revenues are \$9,793,988 an \$897,101 (10.08%) increase from FY26. A Consumer Price Index (CPI) increase of 3.08% was instituted on a majority of Airport fees. The average CPI in calendar year 2025 was 3.08%. The CPI for the first half of calendar 2025 was 3.62%. The second half of calendar year 2025 the CPI was 2.63%. The FY27 budget used an estimated 1.0% CPI increase for budgeting purposes for long-term lease revenues. Most long-term leases have a CPI rent adjustment using that individual lease’s anniversary date. The actual CPI percentage increase could be higher or lower depending upon that lease’s anniversary date.

**Expenses:** The operating budget is comprised of two departments, Administration & Finance (A&F) and Operations & Maintenance (O&M). The total budgeted FY27 operating expenses for both departments is \$6,673,111, a budgeted increase of \$753,397 (12.73%) from FY26.

**Interest Income:** Budgeted interest income is expected to decrease from \$504,450 to \$326,388, a decrease of \$178,062 (-35.30%). The annual percentage interest rate on the Airport’s MaxSafe account is currently around 3.92%. The interest rates on the Airport’s accounts have decreased this past year. With the lower interest rates this budget reflects decreased anticipated future interest returns. The MaxSafe account allows for unlimited sweeps which allows the Airport to maximize the interest return.

**Debt Service: Budgeted:** Debt service expense decreased by \$6,629 (-1.29%), to \$505,917. The U.S. Customs loan had a repricing event that significantly raised the interest rate from 3.05% to 5.225%. Staff is working with the debt issuer to lower the interest rate. The Southwest t-hangar loan was paid off in November 2025.

**Reserves:** The Sewer Reserve fund was established in FY12. In FY27 the sewer revenues generated from leases are included in operating revenues and then transferred into the Sewer Reserve sub-fund. This better reflects the totality of all revenues generated by the Airport. These funds are to be used for major sewer projects and sewer repairs. In FY13 the Capital Equipment Reserve Fund (CERF) was established. This fund was renamed in FY20 as the Vehicle and Equipment Reserve Fund (VERF). In FY27 the scheduled

VERF transfers and sale of old VERF items totals \$540,000. These funds are to be used for large and small vehicle and equipment purchases. The sale proceeds of any vehicles or capital equipment will go into the VERF. In FY16 the Building Reserve Fund was established. In FY20 this fund was renamed to the Building and Land Reserve Fund. In FY27 the scheduled Building and Land reserve fund transfers total \$3,000,000. These funds are to be used for the construction of buildings, hangar construction, or for land purchases. If the Airport sells any land the funds received will go into the Building and Land Reserve Fund. In FY21 the Airport established a Capital Repair and Demolition Fund (CRDF). As Airport buildings and hangars continue to age this fund will be used to either do capital improvements to buildings, capital improvements to hangars, or demolish the building or hangar. The FY27 budget is scheduled to transfer 5% of budgeted long-term lease revenues, hangar 5 revenues, and hangar 6 revenues totaling \$184,089 into the CRDF.

**Non-Operating Revenues and Expenses:** On the recommendation of the Airport’s auditors the Residential Sound Insulation Program (RSIP) was reclassified from a Capital Project to a non-operating expense project. The FY27 budget has \$4,100,000 in RSIP expenses that are offset by \$3,895,000 in anticipated RSIP grant reimbursement.

**Capital “A” Projects:** The total project expense of all Capital “A” projects is estimated at \$11,840,000, of which the Airport’s budgeted local share is \$310,000, vendor invoices that the Airport will pay once grant revenues are received of \$790,000, and estimated grant revenues of \$6,307,000.

**Unrestricted Net Assets Available:** The Airport Business Plan requires the Airport to maintain an unrestricted net asset balance equal to 3 months (25%) of the current fiscal year’s budgeted operating expenses, which would be \$1,668,278 ( $\$6,673,111 \times 25\%$ ) for the FY27 budgeted operating expenses. The Airport’s debt covenants require the Airport maintains a cash balance worth 180 days of budgeted operating expenses. For FY27 that amount is \$3,290,849 ( $\$6,673,111 \times 180 / 365$ ) for the FY27 budgeted operating expenses.

The operating reserves and the debt covenant are separate from each other and are not a combined total. The Airport’s projected operating and self-funded capital reserve funds, not including the Airport’s four capital reserve sub-funds, beginning balance on April 30, 2027, of \$5,052,609, are sufficient to cover both the Airport’s business plan and debt covenant requirements.

### **Staffing, Compensation, & Benefits**

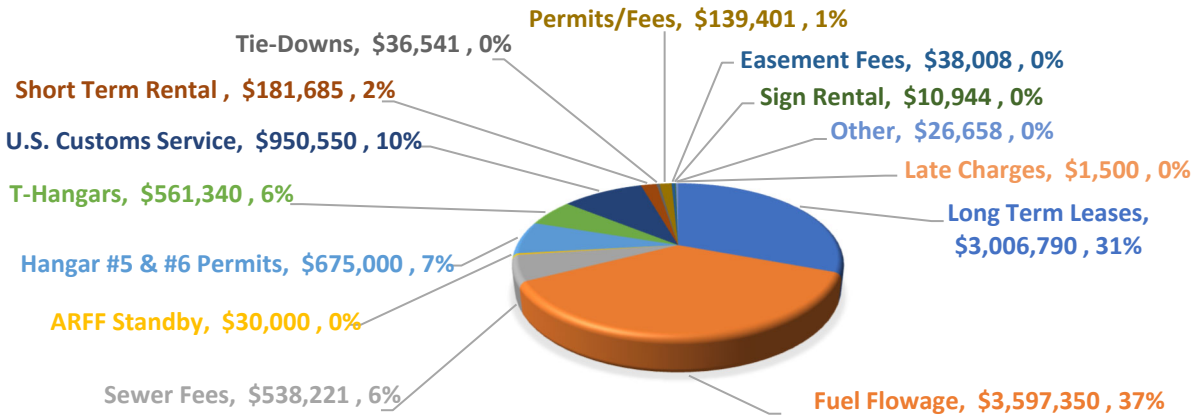
The number of Full-Time Equivalents (FTE) for Airport staff in FY27 is budgeted to reflect the change in FY26 to a full-time Administrative Assistant. The Airport plans on continuing to hire four maintenance interns and one administration intern during the summer months. Interns may be invited back to work for winter operations for further experience. All full-time and part-time Airport employees, excluding interns, are evaluated on an annual basis. Depending upon the individual employees’ evaluation an increase in compensation may occur. No compensation increases are guaranteed.

Full-time Airport staff will be comprised of one Executive Director, one Director of Economic Development and Administrative Services, one Director of Finance, one Director of Operations & Maintenance, one Administrative Coordinator, one Administrative Assistant, one Property Accountant, one Maintenance and Operations Supervisor, six Maintenance Technicians, and one Operations Coordinator/Junior Maintenance Technician. Part-time and seasonal staff will be comprised of four maintenance interns and one management intern. The Executive Director reports directly to the Airport’s Board of Directors. All other positions report to the Executive Director.

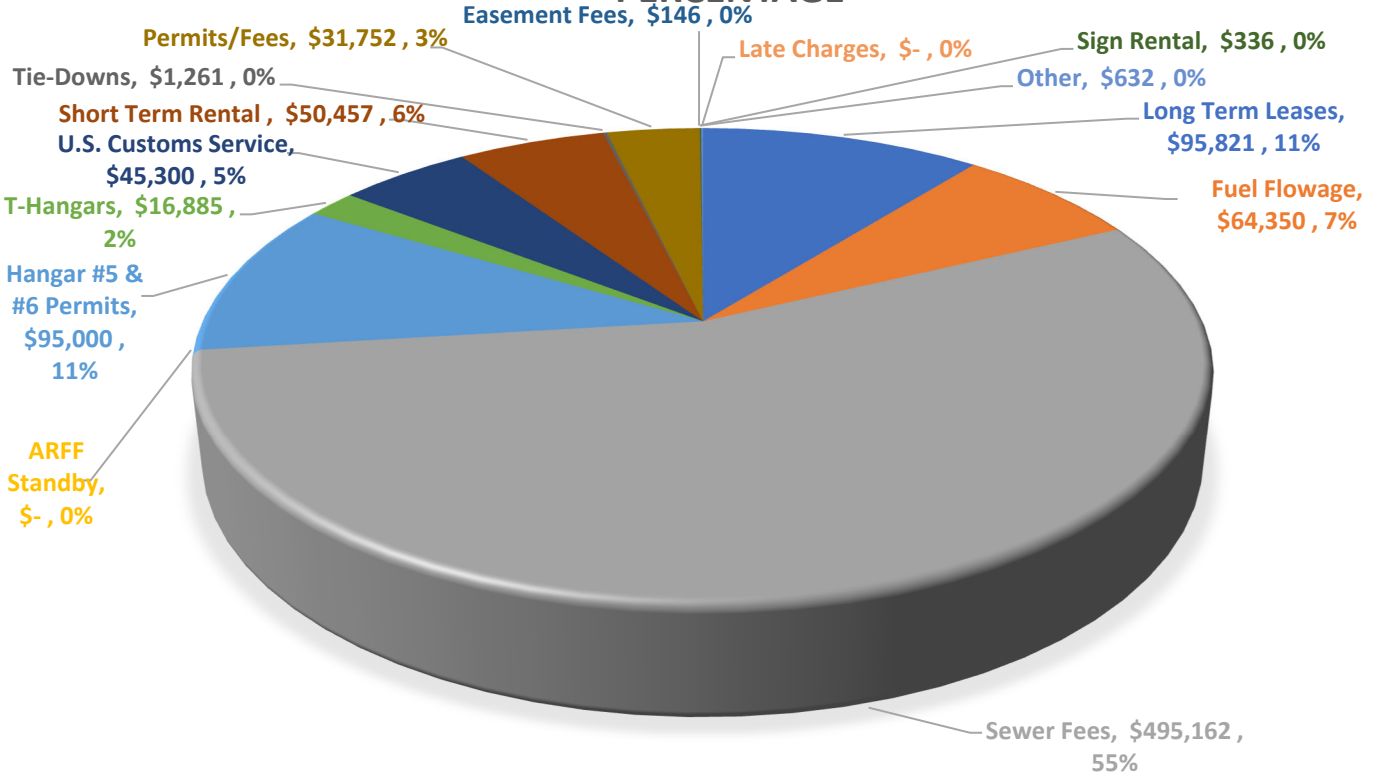
Employee Benefits consist of health insurance, optional dental insurance, life insurance, disability insurance, a 401A retirement plan, service time awards, and the Airport’s share of FICA and Medicare

taxes. Operations and Maintenance employees are also eligible for an annual boot stipend and tool allowance reimbursement.

### FY27 REVENUES BY SOURCE & PERCENTAGE OF FY27 REVENUE



### FY27 TO FY26 REVENUE CHANGES BY DOLLAR AMOUNT & PERCENTAGE



## Detailed Budget Analysis Revenues

FY27 revenues are budgeted to be \$9,793,988, an increase of \$897,101 from FY26. The Airport has historically used figures from the Bureau of Labor Statistics Table (CPI-U) Chicago-Gary-Kenosha, IL-IN-WI, all items 1982-84=100, CUURA207SA0, for its calculations. In January 2018, the Bureau of Labor Statistics changed the name of this region's table to Chicago-Naperville-Elgin, IL-IN-WI. The Airport will now be using Bureau of Labor Statistics Table (CPI-U) Chicago-Naperville-Elgin, IL-IN-WI, all items 1982-84=100, CUURS23ASA0 for calculations. All CPI numbers match the data from the previous table CUURA207SA0.

FY27 budgeted long-term lease revenues of \$3,006,790 are 30.70% of the total budgeted revenues. Long-term lease revenues are budgeted for a \$95,821 increase from FY26. All long-term leases have an annual rent escalator, usually these escalators utilize the local CPI. The timing of long-term lease increases varies and are dependent on the language in the long-term leases. The Airport used an estimated CPI adjustment of 1.0% for budgeting purposes. Depending on the lease's anniversary date the CPI percentage can be higher or lower. Calendar year 2025 averaged a CPI of 3.08%. However, January 2026, localized CPI was 1.345%.

Budgeted FY27 fuel flowage fees of \$3,597,350 are 36.73% of budgeted revenues. There is a budgeted increase for both the on and off-airport Jet-A Fuel Flowage rates for FY27. On airport Jet-A is budgeted for a \$0.01 per gallon increase. Jet-A fuel flowage gallons were increased to reflect the volume the Airport has experienced recently. The 100LL fuel flowage rate was budgeted to increase \$0.01 from FY26 and the number of gallons of 100LL has a budgeted decrease following the trends experienced in FY26. The combined changes resulted in an increase in total budgeted fuel flowage revenues of approximately \$64,350. Fuel flowage is a per gallon fee calculated on the number of gallons of aviation fuel purchased by the Airport's Fixed Based Operators (FBOs) and put into their fuel storage tanks. In FY27 the Jet-A fuel flowage rate is budgeted to be \$0.41 for on-airport fuel and \$0.82 for off-airport fuel. The FY27 100LL fuel flowage rate is budgeted to be \$0.21. Chicago Executive Airport does not charge landing fees and this variable revenue stream is the Airport's best opportunity to capture revenues from transient aircraft.

Hangar 5 and hangar 6 revenues continue to be their own line item in the FY27 budget. The Airport issues permits to tenants for both aircraft and office space. The service provider for hangar 5 and hangar 6 is a third party vendor paid to provide hangar services. The third party's employees handle and move aircraft. A fourth party, one of the FBOs, fuels the aircraft for these hangars. Airport staff per the Airport's insurance policies are not allowed to touch aircraft. Budgeted hangar 5 and hangar 6 revenues total \$675,000 and are 6.89% of the FY27 budget. The FY27 budget reflects the \$205 additional service fee charged to tenants to help offset the third-party vendor expenses. The additional service fee was added after the FY26 budget was passed and was used to directly offset the H5-H6 maintenance line expense item in FY26.

Total t-hangar revenues are budgeted to be \$561,340. Combined Southwest and Northeast t-hangar fees are 5.73% of budgeted revenues. All t-hangars are budgeted to be \$0.606 per square foot regardless of location. This is an increase of \$0.018 per square foot. A CPI increase of 3.08% was used for the Airport's per square footage fees. This is an average increase of \$24.89 per month for all t-hangars. The Airport did a rates and fees study in FY24 that recommended t-hangar fees. The FY27 budgeted t-hangar fees are an average of \$15 higher than in the FY24 study.

Budgeted tiedown fees of \$36,541 are 0.37% of budgeted revenues. The FY27 budget uses an average of 21 tiedown spaces permitted per month for the estimated revenue. Tiedown demand remains seasonal.

Tie-down fees were increased by a CPI of 3.08% and are budgeted at \$145 a month for a single engine aircraft and \$290 a month for a twin-engine aircraft in FY27.

Short-term lease revenues are budgeted to increase \$50,547 to \$181,685 in FY27. The change is mostly from the new lease for Hangar 11. Short-term lease revenues are 1.86% of this year's budget revenues.

Permits and Fees are budgeted to be \$139,401 and are 1.42% of the FY27 budgeted revenues. Airport staff continue to audit the airfield for commercial operating permits (COP) fees. COP fees were adjusted on the recommendations of the Airport's rates and fees study conducted in FY24. A flat rate on all airport COPs permits will remain in effect in FY27. Starting in FY25 COPs for when a through the fence operator is doing business, they are charged a COP fee three times what a based customer is charged per month. The Airport wants to ensure that the companies that have COPs and are based at the airport do not have to compete with off-site operators. The Airport hopes to encourage any company doing business on the airfield to have an established office or location on the airfield. Using the new access control system and better communications with the FBOs the Airport is monitoring an approved vendor list with the goal of capturing all commercial activities at the Airport.

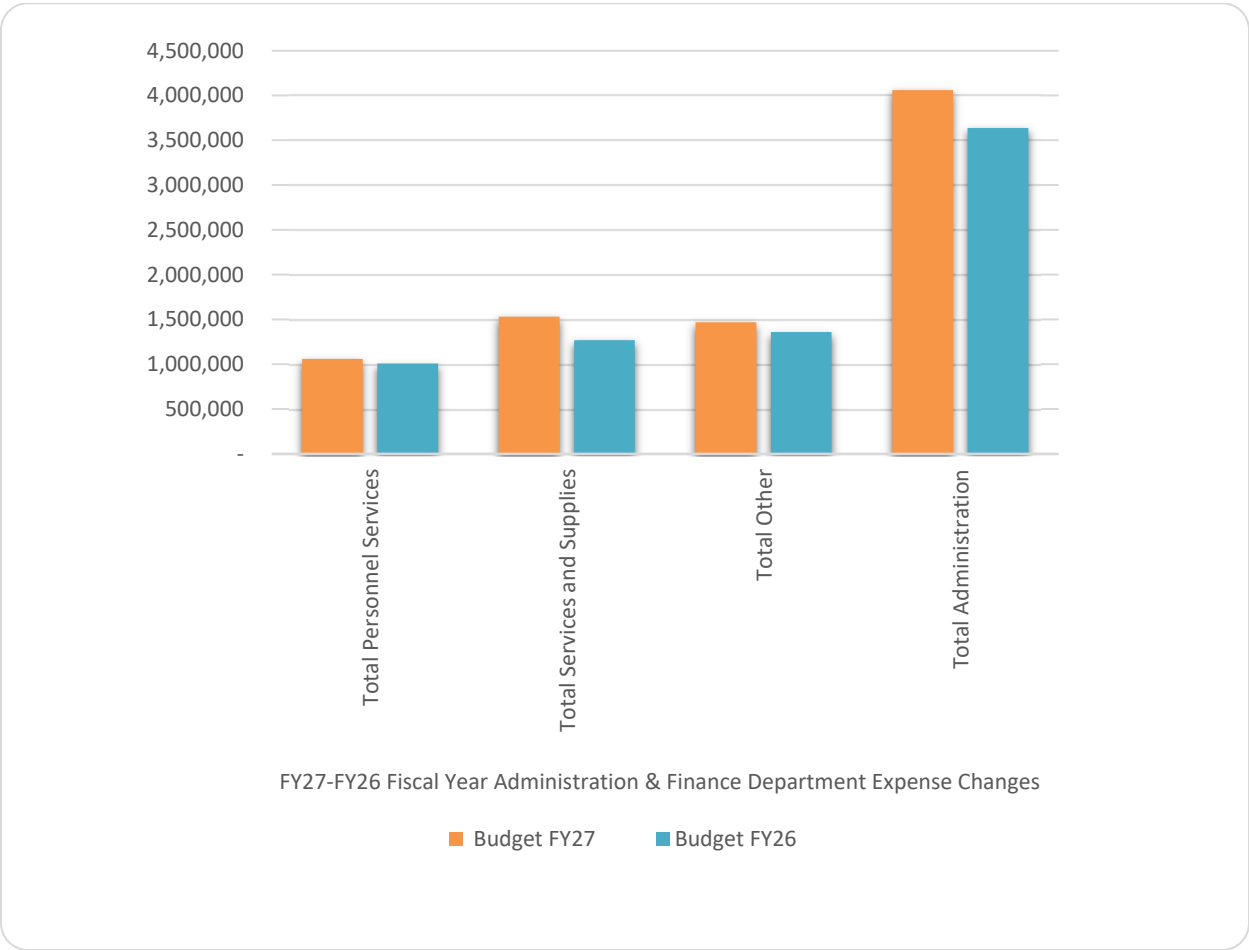
The FY27 budget proposes an increase of 3.08% for U.S. Customs fees. FY27 budgeted U.S. Customs fees total \$950,550 and are 9.71% of budgeted revenues. The FY27 budget uses 510 total operations with 245 overtime operations. The Airport remains the most used user fee airport in the region.

The Airport continues offering ARFF, through a partnership with the Village of Wheeling's fire department, on standby when a transient aircraft requests it. This will operate similarly to U.S. Customs where the FBOs charge the user to reimburse the Airport for the incurred expenses. Staff are continuing to explore this and final fee structure might be adjusted. The FY27 budget currently has ARFF revenues of \$30,000 and are 0.31% of the FY27 budgeted revenues. Staff will true up actual revenues in further fiscal years.

The largest change to the revenues in the FY27 budget is displaying the sewer fee revenues that were previously only shown in the sewer fund included with the rest of the revenues. Sewer fee revenues total \$538,221. Of this \$45,321 is for annual sewer fees and \$492,889 in one time connection fees if any Sky Harbour hangars are completed in late FY27.

### **Operating Budget**

The operating budget is departmentalized by function- Administration & Finance (A&F) and Operations & Maintenance (O&M). Budgeted expenses for both departments are budgeted to increase to \$6,673,111. A total budgeted increase of \$753,297, or 12.73% compared to FY26.



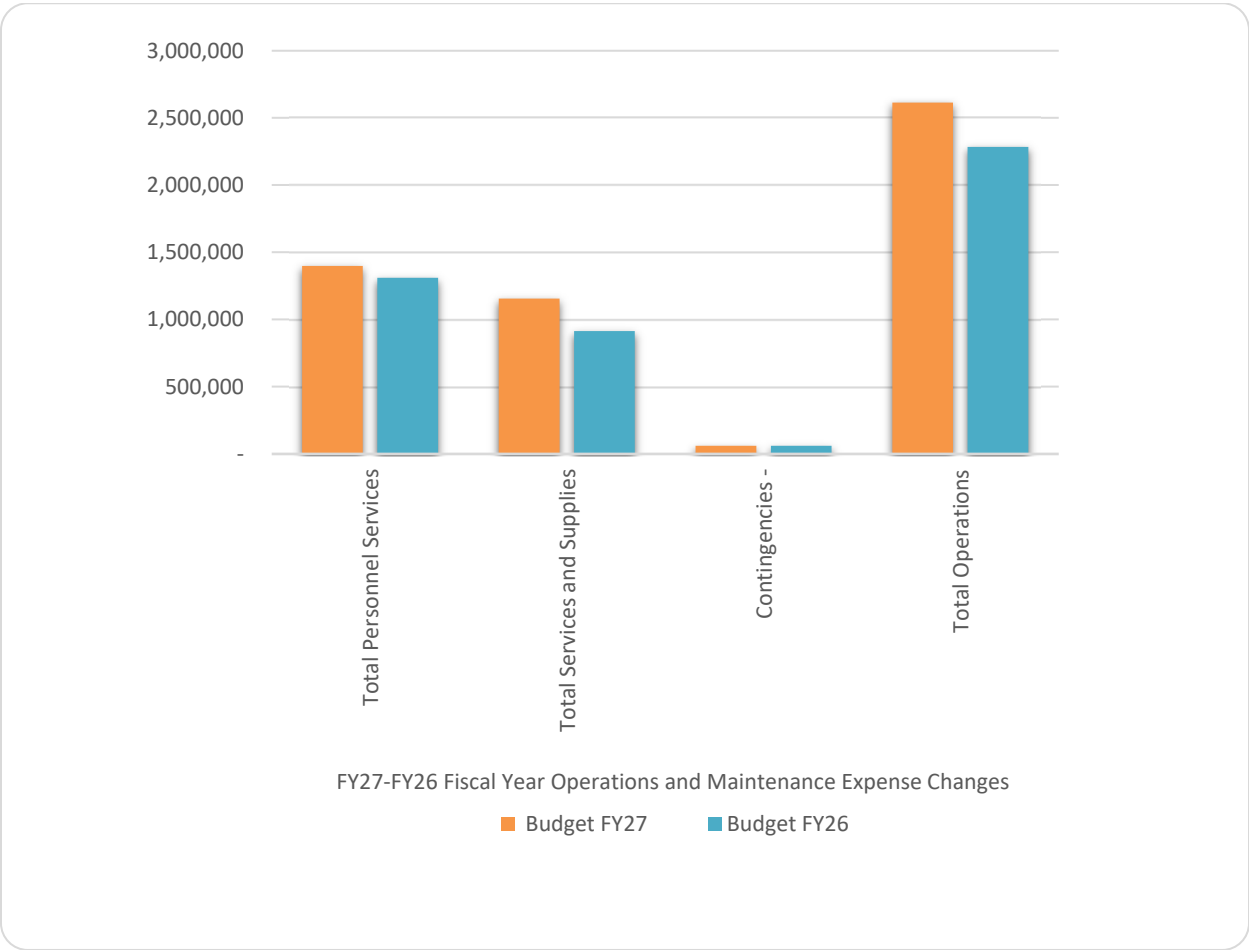
**Administration & Finance Department**

FY27 budgeted Administration & Finance expenses are \$4,060,013, which is an increase of \$424,033 or 11.66%, from FY26.

**Personnel:** The Personnel section’s is budgeted to increase by \$52,609, 5.22% increase, to \$1,060,041. In FY26 the administrative assistant position was changed to a full-time position with benefits that are reflected in the FY27 budget. Insurance expenses used an estimated 5.0% increase, which occurs in July. All non-Director level salaried wages include a 3.08% living wage adjustment and applicable taxes and benefits. As in the past few fiscal years there is no living wage adjustment for Director level staff.

**Services and Supplies:** This category in the budget is budgeted to increase by \$263,025 to \$1,531,112, a 20.74% increase. An estimated 7% increase for the Airport’s insurance renewal was used for the FY27 budget. There were significant increases in the software, engineering, lease development, and to the water and electric utilities.

**Other:** This category shows an expense increase of \$108,400, to \$1,468,850 for FY27. Budgeted expenses were increased for hosting the AAAE General Aviation Conference in August as part of Airport’s 100 Year Anniversary and the 5k run event. The Airport continues to budget to exhibit at the annual NBAA convention. This conference has led directly to Airport development leases and has increased relationships with current tenants that like to see exposure of the Airport. Representatives of the Airport will also be exhibiting and attending the NBAA Dispatcher’s conference in FY27. The FY27 budget also reflects an increase in expenses for the U.S. Customs facility and service costs.



**Operations and Maintenance Department**

FY27 budgeted Operations & Maintenance expenses are budgeted to be \$2,613,098, an increase of \$329,364, or 14.42%, from FY26.

**Personnel:** This section is budgeted to increase \$87,824 to \$1,398,256. This reflects a living wage adjustment of 3.08% for all hourly employees. The budget also reflects potentially promoting two maintenance employees to maintenance lead positions. As in the past few fiscal years there is no living wage adjustment for Director level staff. The Airport is also budgeting for a 5.0% increase to health insurance costs, which may increase in July.

**Services and Supplies:** In FY27 this section is budgeted to increase \$241,540 to \$1,154,841. The most significant driver for the expense increase is for the third-party vendor expenses for aircraft movements in Hangar 5 & Hangar 6. This expense and the additional service fee charged to tenants took place after the FY26 budget was passed. In FY26 the additional fee was charged to this line item but is separated into revenues and expenses in the FY27 budget. Other budgeted increases were to operations and maintenance software, third-party snow plowing outside the fence, and painting supplies.

**Non-Operating Budget Items**

**Interest Income**

The budget shows a decrease in interest income of \$178,062 to \$326,388. The Airport has been receiving an interest rate of 3.92% the past few months. Prior to FY26 that account was subject to a limited amount of activity but that no longer is in effect. The Airport accounts are now on a full sweep basis to maximize interest income.

### **Other Expense**

The Airport budgeted for a decrease in Bank Fees for FY27 of \$2,600 totaling \$11,400.

### **Debt Service**

The southwest t-hangars debt was retired in November 2025. The Airport's RSA debt will be retired in May 2030 with FY27 debt payments totaling \$69,675. The Airport's northeast t-hangar debt will be retired in May 2030 with FY27 debt payments totaling \$151,552. Entitlement monies of \$150,000 have not been included in the FY27 budget to reduce the northeast t-hangar debt. These funds have been used towards other projects in the past few fiscal years. The Airport continues to pursue these funds to lower its debt obligations. The U.S. Customs facility debt has a balloon payment due in November 2030. The debt had an interest rate adjustment in November 2025 from 3.05% to 5.2259%. Airport staff is working with the bank that issued the loan to lower the interest rate. The FY27 budget reflects the higher rate if staff is unsuccessful. The FY27 budgeted U.S. Customs facility debt payments total \$284,690.

### **RSIP Program**

The RSIP program continues in FY27 but has been reclassified as a non-operating expense and revenue. The program has an expense of \$4,100,000 with offsetting grant revenues of \$3,895,000 for a net expense of \$205,000. Ultimately the Airport is only responsible for the local share of the project.

### **Capital Budget**

In FY20 the Airport developed and implemented a Capital Improvement Plan (CIP). The CIP continues to be an invaluable tool in FY27 to help forecast and match projected revenues, transfers, interest, capital sales, and capital needs for the next five years on a continuous basis. It is an important planning tool that strengthens the link between the Airport's infrastructure needs and the Airport's financial capacity. The CIP plan is a living document and is a useful tool in all budget planning which allows the Airport to strategize and pivot as capital needs change in real-time.

The Capital Budget continues to utilize the CIP and the Airport's reserve funds. Outside of the Board established reserve funds the Capital Budget is comprised of four categories of Capital expenditures: Capital Improvements, Capital Construction, Capital Outlay, and Grant Service. In all categories, the expected expense is more than \$5,000 to be included. Except for Grant Service projects, the capital items are fully self-funded by the Airport's operating account or the appropriate reserve fund. A Capital Improvement is a cost for an improvement on an already existing asset of the Airport. In contrast, a Capital Outlay is for the purchase of a new asset or improvement that will increase the Airport's value, except for buildings. Capital Construction is for hangars, buildings, or significant building improvements. Grant Service projects are partially funded by the Airport with additional State and/or Federal funds providing the remainder of the funding. Projects in this category are taken directly from the Transportation Improvement Program (TIPs) submitted annually to the Illinois Department of Transportation, Division of Aeronautics (IDOT), for projects eligible for state and federal grant funding. Illinois is one of 10 states that participate in the State Block Grant Program. Under this program, the State assumes responsibility for administering the Airport Improvement Program (AIP) grants at general aviation and "other than primary" airports. Each State is responsible for determining which locations will receive funds for ongoing project administration.

The budget includes the following subcategories:

### **Capital Improvements**

Capital Improvements total \$505,000 and consists of \$115,000 for facilities improvements, \$15,000 for fence/gate/landscaping projects, \$75,000 for capital security upgrades, and \$300,000 for pavement repair projects. Capital sewer projects have been moved to utilize the Sewer Reserve sub-fund.

### **Capital Construction**

The FY27 budget has \$2,250,000 in exploring the design and construction of an Aviation Community Center so the public can further enjoy the world class resource that is Chicago Executive Airport.

### **Capital Outlay**

Capital Outlay expenses total \$357,500. Budgeted Office Equipment and IT projects total \$90,000. The vehicles sub-section, totaling \$36,000, includes potential rehabilitation of Airport snow equipment to extend their useful life. Purchases of Vehicles and large Snow Equipment utilize the VEF sub-fund and are not included here. Shop Equipment totals \$51,500. The Capital Outlay- Other of \$180,000 for new runway identifier lights and work to decommission runway 6/24.

### **Grant Service**

This information has been taken from the 12/15/2025 Final Submittal of the Transportation Improvement Program: Airports FFY2027-2031 approved by Resolution 25-044 and subsequent changes. Some years ago, Congress reduced federal funding levels for future projects from 95% to 90%. The State of Illinois increased their funding to 5% from 2.5% to make up half of the reduction. This changed the Airport's funding to 5% instead of the previous 2.5%. Congress in the latest FAA reauthorization switched the formula back to 95% Federal, 2.5% State, and 2.5% local.

The Airport has budgeted \$310,000 for the local share of Airport Improvement and \$790,000 in consultant invoices that will not be paid until grant funding is released to the Airport. Federal and State Grant "A" Projects have a total project cost of \$11,840,000. The Airport is uncertain if all of the Capital "A" projects will be funded by the state and federal government in FY27, but they are budgeted as being programmed in case these projects are selected. The construction resulting from these projects will continue to enhance the safety of this already safe Airport.

Continuing in this year's Grant "A" budget are Estimated FY27 Revenues. Some, but not all, of the projects require the State to pay the Airport and then the Airport, in turn, pays the vendor, whereas previously the State paid the vendors directly. The Airport will show these payments received as grant revenue. Although for most capital projects the Airport's final expense should be 5% or 2.5% depending on when the project was programmed of the total project cost, some of revenues listed for the projects are short of offsetting 95%-97.5% of the cost. The Airport cannot be certain that, for each listed project, the revenues will all be received in FY27, so the Airport has reduced our estimated grant revenue budget. The FAA directed the State to implement a 10% funds holdback program as an incentive and to encourage timely submittal of project closeout paperwork so grant revenues are withheld until the grant project is fully closed out. The holdback funds are supposed to be released upon finalization of the project, which will delay receipt of the Airport's reimbursement funds, and most likely will not be fully received in FY27.

The "B" projects are listed in the budget for informational purposes and are not included in the local share expense numbers. It is unlikely that any of these projects will be funded during our fiscal year. However, if the FAA or State of Illinois choose to do a "B" project the Airport will try to accommodate.

Capital "A" projects include the Phase 1 and Phase 2 of hot spot reconfigurations made possible with the decommissioning of runways 6/24. Phase 1 of the reconfiguration of an airfield hot spot had a local share

of \$100,735 paid in FY26. Other Capital “A” local shares and projects include Phase 2 of the reconfiguration of the taxiways to relieve a hotspot with a local share of \$310,000.

## **Reserve Funds**

### **Sewer Reserve Sub-Fund**

A Sewer Reserve sub-fund was established by the Airport Board in FY12 to allow for major sewer projects to be completed for both the sanitary sewer and storm water systems without the issuance of debt. FY27 has budgeted \$45,839 in annual fees generated from various sewer fees on the airfield. Also included is \$492,899 for the possibility Sky Harbour’s development connects to the Airport’s sewer system in FY27. These fees will be transferred to the sewer reserve fund. This is a change from FY26 where the sewer fees were directly entered into the sewer reserve fund. The FY27 budget has \$500,000 for sewer expenses. The largest portion of funds is to help alleviate stormwater needs for lease development.

It is expected the balance in the Sewer Reserve Fund at the end of FY27 will be approximately \$769,238 after income and expenses.

### **Vehicle and Equipment Replacement Sub-Fund**

The CERF was formally established by the Airport Board of Directors in FY13. The CERF was renamed to VERF in FY21. Utilizing the CIP, the Airport plans to replace vehicles and large equipment on a continuous basis. The Airport plans to have sufficient capital equipment reserves in place to cover the future purchase of all small vehicles, large vehicles, equipment, and their attachments. The Airport will utilize the VERF to purchase a new large snowplow with a sprayer attachment for liquid deicer, a new snowbroom, a new maintenance truck, a new operations vehicle, and a new forklift. With the long leads times on large equipment final purchases may take place in FY28. The FY27 budget is projecting a \$500,000 transfer to the VERF fund and \$40,000 in sales of the replaced equipment.

The Vehicle Equipment Reserve Fund is expected to have a balance of approximately \$180,691 at the end of FY27 after transfers, income, and expenses.

### **Building and Land Reserve Sub-Fund**

The Building and Land Reserve fund was established in FY16. This fund operates like our other sub-funds and allows the Airport to set aside monies for future improvements. This fund will be used for building construction, airport improvements, and land purchases at the Board’s discretion. The Airport would like to construct a new Airport office building. To limit any loan obligations the Airport is trying to grow this fund at a fast rate to reduce debt obligations and to utilize reserve funds. The FY27 budget is projecting a total transfer of \$3,000,000 into the fund. \$1,200,000 in funds are budgeted to be used towards an Aviation Community Center. If buildings or land are sold the funds received will go back into this fund.

The Building and Land Reserve Fund is expected to have a balance of \$5,260,262 at the end of FY27.

### **Capital Repair and Demolition Reserve Sub-Fund**

The Capital Repair and Demolition Fund (CRDF) was created in FY21 for either capital repairs to Airport facilities or to demolish them. The FY27 budget uses a 5% transfer of long-term revenues, hangar 5 permit revenues, and hangar 6 permit revenues totaling \$184,089. There is a proposed \$700,000 expense in FY27.

The Capital Repair or Demolition Fund is expected to have a balance of \$363,055 at the end of FY27.

### **Operating and Operating Reserve Funds Available**

The Airport uses the enterprise Joint Airport Fund for its operating activities. Revenues are deposited into this fund and operating expenses are drawn from it. Projected working capital on April 30, 2026, plus those amounts to be realized during FY27, will fund the budgeted operating and capital expenses, and will allow the Airport to continue to operate as a premier general aviation airport.

The Airport's Business Plan requires that the Airport maintain an unrestricted net asset balance equal to 25% of the current year's budgeted operating expenses, which would be \$1,668,278 (\$6,673,111 x 25%). The Business Plan also requires that operating expenses not exceed 90% of revenues. With budgeted revenues of \$9,818,422 and total budgeted operating expenses of \$6,673,111 operating expenses are 68.13% of budgeted revenues.

The Airport's debt covenants require the Airport to maintain a cash balance worth 180 days of budgeted operating expenses. For FY27 that would be \$3,290,849 (\$6,673,111 x 180 / 365).

The operating reserves and the debt covenant are separate from each other and are not a combined total. The Airport's projected beginning balance on May 1, 2026, of \$4,804,470 and projected ending balance of \$5,052,609 on April 30, 2027, are sufficient to cover both these requirements.

### **Debt Obligations**

In January 2004, the Airport, through its owning municipalities, entered a loan arrangement with a local branch of a national bank for a loan totaling \$1,237,000 for the purpose of constructing two buildings containing 10 t-hangars each in the southwest quadrant of the Airport. Repayment of the loan began in January 2005 and was paid off in November 2025. This debt will not be mentioned in next year's budget.

A revenue anticipation note for \$4,700,000 was issued in December 2006 by Northbrook Bank and Trust for the Village of Wheeling, one of the owning municipalities, to fund a portion of the purchase price of land designated as a runway safety area (RSA) for the Airport. The note was reduced by \$1,500,000 in November 2008 and refinanced in April 2010 for 10 years with a balloon payment upon maturity. This revenue note was amended and modified for an additional 10 years and is scheduled to be paid off in May 2030. There is no prepayment penalty. The RSA note property is mostly vacant land. A portion of the property is being rented for truck trailer storage. This currently generates approximately \$33,649 per year to help offset the approximately \$69,675 annual debt service payments. Airport staff are working with the FAA to obtain additional reimbursement that would be applied to the outstanding debt. At the end of FY27 the remaining balance will be \$188,648.

Also, in April 2010, a construction loan from Northbrook Bank and Trust of \$2,300,000 was negotiated for the construction of six buildings containing 48 t-hangars in the northeast quadrant. This note was interest only until June 1, 2011, when payment of both monthly principal and interest was required. Through staff efforts, the interest rate on this note was repriced from 4.17% to 3.25% in May 2015. This revenue note was amended and modified for an additional 10 years and is scheduled to be paid off in May 2030. There is no prepayment penalty. FY27 budgeted debt service for this loan is \$151,552. At the end of FY27 the remaining balance will be \$399,339.

FY21 saw the groundbreaking for the new U.S. Customs and Border Protection facility. This revenue note was a construction loan up to \$3,000,000. This loan was interest only until December 1, 2022. With the principal payments beginning in FY24. FY27 budgeted debt service for this loan is \$284,690. The interest on this loan went through a five-year repricing in November 2025. The rate increased from 3.05% to 5.2259%. Staff are working with the bank to lower the interest rate for this loan. This debt contains a balloon payment on December 1, 2030. At the end of FY27 the remaining balance will be \$2,168,146.

**Chicago Executive Airport**  
**Total FY27 PROPOSED Budget**

	<u>FY26 Est Actual</u>	<u>FY26 Budget</u>	<u>FY27 Budget</u>	<u>FY27 vs FY26 Budget Change</u>	<u>FY27 vs FY26 Budget % Change</u>
<b>OPERATING BUDGET:</b>					
Revenues	\$ 8,166,492	\$ 8,896,886	\$ 9,793,988	\$ 897,101	10.08%
Expenses:					
Administration Department	(3,276,154)	(3,635,980)	<b>(4,060,013)</b>	424,033	11.66%
Operations and Maintenance Department	(2,049,681)	(2,283,734)	<b>(2,613,098)</b>	329,364	14.42%
Net Operating Expenses	(5,325,835)	(5,919,714)	<b>(6,673,111)</b>	753,397	12.73%
Operating Income:	2,840,657	2,977,172	<b>3,120,876</b>	143,704	4.83%
Other:					
Other Interest Income	459,491	504,450	<b>326,388</b>	(178,062)	-35.30%
Other Income and Expense	(12,354)	(13,000)	<b>(10,400)</b>	(2,600)	-20.00%
Debt Service	(512,804)	(512,546)	<b>(505,917)</b>	(6,629)	-1.29%
Residential Sound Insulation Program (RSIP)	(114,055)	(250,000)	<b>(205,000)</b>	(45,000)	-18.00%
Total Other	(179,722)	(271,096)	<b>(394,929)</b>	(232,291)	-85.69%
Revenues less Net Expense	2,660,935	2,706,076	<b>2,725,948</b>	(88,587)	-3.27%
Sewer Fees to Reserves-Sewer	-	-	<b>(538,221)</b>	(538,221)	#DIV/0!
Transfers to Reserves-VERF	(513,201)	(516,000)	<b>(540,000)</b>	(24,000)	4.65%
Transfers to Reserves-Building & Land	(3,000,000)	(3,000,000)	<b>(3,000,000)</b>	-	0.00%
Transfers to Reserves-Facility Repair-Demo	(208,678)	(177,048)	<b>(184,089)</b>	(7,041)	3.98%
Net	(1,060,944)	(986,972)	<b>(1,536,362)</b>	(657,849)	66.65%
<b>CAPITAL BUDGET:</b>					
Sewer Reserve Fund Projects	(15,000)	(60,000)	<b>(500,000)</b>	(440,000)	733.33%
Vehicle & Equipment Fund Projects	-	(793,000)	<b>(1,682,000)</b>	(889,000)	112.11%
Building & Land Fund Projects	(2,000,000)	(2,000,000)	<b>(1,200,000)</b>	800,000	-40.00%
Capital Repair or Demolition Fund Projects	-	(36,750)	<b>(700,000)</b>	(663,250)	1804.76%
Capital Improvement	(124,152)	(590,000)	<b>(505,000)</b>	85,000	-14.41%
Capital Outlay	(32,531)	(154,573)	<b>(177,500)</b>	(22,927)	14.83%
Capital Construction	-	(5,000,000)	<b>(2,250,000)</b>	2,750,000	0.00%
Capital A Projects (Local Share)	(100,735)	(560,833)	<b>(1,100,000)</b>	(539,167)	96.14%
Capital Other	(12,000)	(82,991)	<b>(180,000)</b>	(97,010)	116.89%
Total Capital Expenses	(2,284,417)	(9,278,147)	<b>(8,294,500)</b>	983,647	-10.60%
Less: Grant Revenue	634,596	5,870,466	<b>5,997,000</b>	126,534	2.16%
Less: Sewer Reserve Funds	44,032	60,000	<b>538,221</b>	478,221	797.03%
Less: VERF Reserve Funds	513,201	793,000	<b>540,000</b>	(253,000)	-31.90%
Less: Building & Land Reserve Funds	2,000,000	2,000,000	<b>3,000,000</b>	1,000,000	0.00%
Less: Facility Repair-Demo Reserve Funds	-	36,750	<b>184,089</b>	147,339	400.92%
Less: Sewer Revenues-Reserve Fund Transfers	-	846,358	-	(846,358)	-100.00%
Net Capital Budget	907,412	328,428	<b>1,964,810</b>	2,482,741	755.95%
Funding (from)/to Capital Reserves	(153,532)	(658,545)	<b>428,448</b>	1,086,993	-165.06%
<b>NET</b>	<b>\$0</b>	<b>\$0</b>	<b>\$0</b>	<b>\$0</b>	<b>\$0</b>

**Operating Revenues**  
**FY27 Budget**  
**Line Item Detail within Category**

	FY27 Budget	Projected FY26 Actual	FY26 Budget	Budget Change
40010-000 <b>Long Term Leases -</b>	<b>\$ 3,006,790</b>	3,023,073	<b>\$ 2,910,969</b>	95,821

Long term revenue is derived from leases with a term of more than one (1) year. These leases are comprised of hangar, building, and ground leases. Lease rents increase annually by their respective anniversary date CPI or the CPI month stated in the lease. Following are the leases presently in effect and proposed to be in effect during FY27. We are using an estimated CPI increase of 3.2% for FY2026.

Property	FY27	Projected	FY26
Hangar #8	297,462	293,679	282,097
Hangar #9	440,801	446,866	437,737
Hangar #10	343,604	346,127	341,216
Hangar #13-No active lease	-	5,898	11,796
Ground Lease - ACCO	9,864 1	7,994	8,249
Ground Lease - Hangar 15	91,729 2	94,117	90,895
Ground Lease - Hangar 16	48,489 2	49,498	48,048
Ground Lease - Hangar 18	59,382	58,177	56,460
Ground Lease - Hangar 19	227,684 3	223,916	223,916
Ground Lease - Hangar 20	49,941	50,102	49,250
Ground Lease - Hangar 40	130,478	127,669	128,145
Ground Lease - Hangar 41	106,440	104,149	104,537
Ground Lease - Hangar 42	115,067	112,590	113,010
Ground Lease - Hangar 43	136,241	133,308	133,805
Ground Lease - H41 Parking Lot	25,220	25,220	-
Ground Lease - SFS Ramp	102,793	98,496	98,205
Ground Lease - SFS Terminal (24)	248,385	286,647	281,352
Ground Lease - Hawthorne FBO	304,018	294,615	290,902
Ground Lease - Hawthorne Charlie H21	91,874	89,911	87,584
Ground Lease - Hawthorne Charlie H22	70,736	70,467	69,625
Ground Lease - Hawthorne Charlie Ramp	60,923	60,786	59,966
Ground Lease - Hawthorne Charlie Ramp	12,010	12,338	11,821
Ground Lease - Stery Trucking	33,649 4	30,500	32,354
	3,006,790		2,960,969
Less: Rent Reserve	-		(50,000)
	3,006,790	3,023,073	2,910,969

- 1) CPI increase only done every five years. Adjusted for FY26 next adjustment this fiscal year FY31.
- 2) Leases on Hangars 15 & 16 were sold to the tenant. The leases above are ground leases only.
- 3) Hangar 19 building and fuel farm became one lease on November 1, 2022.
- 4) Stery Trucking now has an annual 4% escalator clause for the next 10 years

**Fuel Flowage Fees****\$ 3,597,350**

2,710,893

**\$ 3,533,000**

64,350

Fees received from fuel flowage were adjusted for FY27. The estimates are based on the past several years of Fuel Flowage. JetA Fuel Flowage rates are \$0.40 for on Airport fuel and \$0.80 for off Airport fuel. 100LL Fuel Flowage rate increases \$0.01 to \$0.20 for on Airport fuel.

Fuel flowage is paid based on fuel gallons put into the FBO fuel tanks, not into the aircraft.

40120-000 JetA-On Airport,7.30 MM gal @ \$.41	2,993,000	2,181,065	2,880,000
40140-000 JetA-Off Airport, 430,000 gal @ \$.82	352,600	255,288	400,000
40130-000 100LL, 175,000 gal @ \$.21	36,750	37,350	38,000
40150-000 State of Illinois Aviation Fuel Program	215,000	237,190	215,000

**Hangar #5 & #6 Permit Fees**

Permit Fees for both Hangar 5 and Hangar 6

40060-000 Hangar #5 & #6	<b>675,000</b>	546,544	<b>580,000</b>	95,000
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**T-Hangars -****\$ 561,340**

534,648

**\$ 544,456**

16,885

SW-Bldng 50 fees per month \$7,213, bldng 51 = \$8,872, possible total \$16,085, annual \$193,020.

NE-40 small, 6 medium, and 2 large units; possible monthly fees of \$31,520, annual of \$378,240.

Subtracting a vacancy rate of for SW (\$3,899.50) and NE (\$5,733).

40070-000 SW T-hangars	189,010	180,845	183,277
40050-000 NE T-hangars	372,330	353,802	361,179

**U.S. Customs Service -****\$ 950,550**

922,953

**\$ 905,250**

45,300

U.S. Customs inspection services - Budgeted at 510 total operations 245 Overtime operations

40210-000 U.S. Customs Base Fees	798,780	785,775	761,250
40220-000 U.S. Customs Overtime Fees	151,770	137,178	144,000

**Sewer Fees -****\$ 538,221**

44,032

**\$ 43,059**

495,162

40310-000 Sewer/Stormwater Annual Fees	45,321	44,032	43,059
40320-000 Sewer/Storm One-Time Fees	492,899	-	-

**40040-000 Short Term Rental -****\$ 181,685**

154,952

**\$ 131,228**

50,457

Hangar #11	92,568	71,948	43,868
RSIP Office	30,360	30,360	30,360
Jerry's Auto Body	28,203	25,310	27,360
Suburban Auto Care	30,554	27,335	29,640

**Tie-Downs -****\$ 36,541**

34,377

**\$ 35,281**

1,261

Area 2 expected permit fees for FY27, Average 21 monthly spots @\$145

We do not anticipate an increase in the number of tie-down tenants at this time.

40080-000 North East Tiedowns	36,541	-	-
40080-000 Area #2	-	34,377	35,281

**40660-015 ARFF Standby Requests -****\$ 30,000**

-

**\$ 30,000**

-

<b>Permits/Fees -</b>	<b>\$ 139,401</b>	118,856	<b>\$ 107,649</b>	31,752
Revenue derived from monthly Commercial Operating Permits (COP).				
40420-000 COP 42 @ \$267	134,569	114,221	102,565	
40410-000 FBO Airport Vehicle Inspections 6 Vehicles @\$145, 14 Fuelers @\$283	4,832	4,635	5,084	
<b>40030-000 Easement Fees</b>	<b>\$ 38,008</b>	36,629	<b>\$ 37,862</b>	146
Waste Management-stormwater, drainage & detention easement fee, adjusted for CPI increase.				
<b>40520-000 Sign Rental</b>	<b>\$ 10,944</b>	10,608	<b>\$ 10,608</b>	336
Monument sign rental-SFS @ \$456				
	5,472	5,304	5,304	
Monument sign rental-Hawth @ \$456				
	5,472	5,304	5,304	
<b>Other -</b>	<b>\$ 26,658</b>	28,011	<b>\$ 26,026</b>	632
Revenue from other miscellaneous sources (parking decals, plan fees, flag sales, etc.)				
The fuel management fee is for the use of the Airport's vehicle fueling station.				
40450-000 Fuel management \$359 mthly	4,308	4,032	4,176	
40500-110 Diesel Fuel usage	18,000	21,204	18,000	
40470-000 Other Miscellaneous (ex: filming)	2,250	435	2,250	
40480-000 Waiting List Fees (cancellations)	100	-	100	
40430-000 Airfield Access Control Credentials	2,000	2,340	1,500	
40660-000 Insurance Reimbursements	-	-	-	
<b>40440-000 Late Charges -</b>	<b>\$ 1,500</b>	918	<b>\$ 1,500</b>	-
Late charges are generally assessed at 10% per month for all T-hangar and most larger tenant leases.				

<b>Total Revenues</b>	<b>\$ 9,793,988</b>	<b>\$ 8,166,492</b>	<b>\$ 8,896,886</b>	<b>\$ 897,101</b>
<b>% Change from FY26 Budget</b>	<b>10.08%</b>			

**Administration Department**  
**FY27 Budget**  
**Line Item Detail within Category**

	<u>FY27 Budget</u>	<u>Projected FY26 Actual</u>	<u>FY26 Budget</u>	<u>Budget Change</u>
<b>Personnel Services</b>				
50400-100 <b>Salaries - Full-time -</b>	<b>736,677</b>	687,893	685,534	51,143
Salaries for six department personnel.				
50300-050 <b>Salaries - Part-time -</b>	<b>16,000</b>	39,372	<b>46,000</b>	(30,000)
Salary for one management intern.				
50200-050 <b>Overtime -</b>	<b>1,000</b>	3,432	<b>4,500</b>	(3,500)
Overtime costs as required for non-exempt employees of department.				
<b>Service Awards/Recognition -</b>	<b>31,414</b>	42,527	25,098	6,316
50700-100 Airport Appreciation Functions	21,000	31,166	15,000	
50700-100 Appreciation lunches - Staff in-house	1,900	1,200	1,800	
50700-150 Other-flowers, plaques, retirement	1,500	1,790	1,500	
50700-170 Staff recognition	3,144	4,646	3,048	
50700-170 Incentive program	3,120	2,975	3,000	
50700-200 Service Awards	750	750	750	
Pay for 1 employee with greater than ten (10) years of service and 1 employee of over 5 years.				
<b>Payroll taxes -</b>	<b>59,000</b>	53,815	59,000	-
Payroll taxes as follows:				
50500-050 FICA, 6.20%, Medicare 1.45%	58,000	52,855	58,000	
50500-150 Unemployment, Rate 0.85%	1,000	960	1,000	
<b>Insurance -</b>	<b>158,000</b>	139,131	132,300	25,700
Premiums for employee insurance, provided by the Airport through the Village of Wheeling. Budgeting a 5.0% insurance increase; renewal date is July 1st.				
50100-030 Dental	-	-	-	
50100-050 Disability	8,000	7,274	7,300	
50100-070 Pet-Employee paid	-	-	-	
50100-150 Health	150,000	131,857	125,000	
<b>Retirement Contribution -</b>	<b>34,150</b>	30,060	31,200	2,950
Full time employee Retirement Contributions @ 4.5% of pay.				
50600-050 Employer Contributions	33,150	29,060	30,200	
50600-150 Annual fees (\$250/qtr.)	1,000	1,000	1,000	

<b>Training -</b>	<b>1,000</b>	-	1,000	-
50800-100 Training-Other	1,000	-	1,000	
50800-110 Education reimbursement	-	-	-	
<b>Board/Municipality Reimbursement -</b>	<b>22,800</b>	22,200	22,800	-
Stipends for six Airport Board of Directors at \$250 each for 12 meetings. The Chairman receives \$400 per meeting for 12 meetings.				
50400-050 Municipalities Reimbursement	-	-	-	
50400-050 Board stipends	22,800	22,200	22,800	
<b>Total Personnel Services</b>	<b>1,060,041</b>	<b>1,018,430</b>	<b>1,007,432</b>	<b>52,609</b>

**SERVICES AND SUPPLIES**

<b>Airport Meetings -</b>	<b>31,500</b>	24,120	31,500	-
Provisions and costs incurred for in-house, BOD meetings, and staff purposes. One joint meeting tentatively scheduled for the fall with the municipalities.				
54060-150 Airport Meetings	20,000	19,451	20,000	
52120-200 Joint Meetings (dinner)	11,500	4,669	11,500	
<b>Audit Services -</b>	<b>25,555</b>	23,807	25,505	50
52060-050 Cost to perform the annual audit	20,005	18,102	20,005	
52060-050 Single audit cost (if necessary)	5,000	5,200	5,000	
52060-100 GFOA annual financial report award applica	550	505	500	
52090-050 <b>Building Repairs -</b>	<b>7,200</b>	953	7,200	-
Cost for minor repairs or modifications of the administration office.				
<b>Computer &amp; Software -</b>	<b>244,373</b>	197,963	110,424	133,950
54050-010 Computer Hardware & Supplies	40,000	1,157	10,000	
54420-050 Computer Software & maintenance	170,123	167,999	67,123	
Property & Accounting software and implementation, Zoom, Dropbox		-		
52210-050 Office network maintenance	23,000	18,351	23,000	
Backup service and monthly managed IT		-		
52540-050 Web hosting/internet service- Office	7,750	7,006	7,750	
52540-060 Internet service- Hangar 11	3,500	3,449	2,550	
<b>Conf and Meeting Registration -</b>	<b>26,255</b>	17,121	26,505	(250)
Registration fees for conferences, seminars				
52120-050 All Admin Conferences	21,255	15,479	21,255	
52120-250 Meetings & Business Lunches	5,000	1,641	5,250	
<b>Consultants -</b>	<b>164,652</b>	156,735	164,652	-
52510-080 Storm water consultant	9,652	1,890	9,652	
52540-200 Consultants - special projects	155,000	154,845	155,000	

Administration Department Budget

52180-100	<b>Engineering Services -</b>	<b>150,000</b>	178,835	125,000	25,000
	Costs for professional engineering services rendered by an out:				
54090-050	<b>Equipment -</b>	<b>30,000</b>	3,247	30,000	-
	Administrative equipment and furniture purchased that cost less than \$2,000, individually.				
	<b>Equipment Rental and Maintenance -</b>	<b>6,000</b>	5,542	6,000	-
	Office equipment rental and maintenance cost-meter rent. Konica-Machine lease and copy charges				
52210-200	Other repairs	500	1,253	500	
52210-250	Copier (includes use charges)	5,500	4,289	5,500	
54150-050	<b>Fuel -</b>	<b>3,500</b>	1,936	3,500	-
	Unleaded fuel cost for three department vehicles.				
	<b>Insurance -</b>	<b>281,675</b>	277,854	210,175	71,500
	The environmental policy renewed Dec 1, 2023 for a 3 year term. All other policies run Dec 1st through Nov 30th. J. Krug is the Airport's current insurance broker.				
52300-050	Commercial Automobile	14,000	13,171	14,000	
52300-090	Broker fee	-	4,602	8,500	
52300-100	Commercial Crime	2,700	2,162	2,700	
52300-150	Airport Liability (incl. excess liability)	45,000	43,861	45,000	
52300-200	Commercial Property	78,000	69,923	90,000	
52300-035	EMAS Insurance	92,000	98,076	-	
52300-250	Public Officials Liability	25,000	22,365	25,000	
52300-260	Environmental	17,000	19,355	17,000	
52300-300	Worker's Comp	475	375	475	
52300-031	Cybersecurity Insurance	7,500	3,962	7,500	
56200-050	<b>Lease Development -</b>	<b>100,000</b>	81,633	100,000	-
	Expenses incurred for new leases, i.e. survey, site selection, legal including reimbursable items.				
52360-050	<b>Legal Services -</b>	<b>90,000</b>	16,130	90,000	-
	Costs for the professional legal services provided by outside counsel.				
52450-050	<b>Membership Dues -</b>	<b>16,705</b>	14,729	16,705	-
	Department employee and Airport membership dues				
52480-100	<b>Office Maintenance -</b>	<b>30,601</b>	27,886	26,601	4,000
	Cost for routine office janitorial service.				
52480-100	Janitorial serv and supplies	16,000	15,533	12,000	
52480-100	RSIP Office Janitorial service	6,300	5,286	6,300	
52480-100	H5-H6 Janitorial service	4,948	4,209	4,948	
52480-150	Rug runners	1,753	1,535	1,753	
52480-200	Insect/Rodent control	1,600	1,323	1,600	

Administration Department Budget

<b>Other Services -</b>	<b>33,093</b>	15,726	39,643	(6,550)
Costs for other services not specifically listed any other categories.				
52420-150 Preemployment Physicals and drug, hearing, visual testings	500	303	500	
52510-020 Records disposal and storage	100	-	100	
52510-050 Credit card, GovDeal, background ck fees	1,000	114	1,750	
52510-060 Casualty loss deductibles, 1 @\$5,000	5,000	-	5,000	
52510-090 Contracted Labor - Office Temp	-	-	-	
52510-100 Payroll service - Paychex	7,200	7,052	7,000	
52510-110 Employee Hiring Exp	500	953	500	
52510-120 Office Security-Sentry	-	-	-	
52510-130 RSIP Office Alarm	793	-	793	
52720-200 Fire Alarm-Office & Shop	5,000	6,113	5,000	
52510-150 Appraisals	12,000	-	18,000	
52540-230 TV programming	1,000	1,494	1,000	
<b>52600-150 Postage -</b>	<b>2,000</b>	1,253	2,000	-
Cost for letter, parcel delivery, overnight delivery, and newsletter mailings.				
<b>Printing -</b>	<b>3,900</b>	3,559	4,400	(500)
52630-050 Aerial photography	1,900	1,649	1,900	
52630-150 Duplication/enlarging/binding	2,000	1,910	2,500	
<b>52660-050 Public Notices -</b>	<b>3,500</b>	3,985	3,500	-
Publication costs for public notices, bid documents, personnel ads, etc.				
<b>Subscriptions -</b>	<b>1,212</b>	2,003	1,212	-
Subscriptions by department personnel				
54450-400 Subscriptions-misc.	1,212	2,003	1,212	
<b>54480-150 Supplies -</b>	<b>9,000</b>	9,427	9,000	-
Purchase of stationary and office, computer, and copier supplies.				
<b>Telephone/Data -</b>	<b>13,000</b>	12,482	11,700	1,300
52720-050 Cellular-Verizon (5)	7,000	7,029	7,000	
52720-100 Local, long distance, fax	2,000	1,674	2,000	
52720-110 RSIP Office Phone-Internet	4,000	3,779	2,700	
<b>52750-050 Travel Expenses -</b>	<b>35,000</b>	31,457	33,900	1,100
Travel costs commercial transportation, \$500; ground transportation, \$50/day; hotel, \$175/night; and max meals per diem \$65, per travel policy, associated with attendance at trainings and conferences for department employees.				

Administration Department Budget

<b>Utilities -</b>	<b>216,400</b>	208,285	182,975	33,425
Monthly electric, natural gas, and water cost as follows:				
52150-020 Electricity:	115,000	110,037	96,375	
52150-025 Gas:	51,400	44,217	51,400	
52150-030 Water:	50,000	46,586	35,200	

<b>Vehicle Maintenance -</b>	<b>6,000</b>	682	6,000	-
Vehicle maintenance service costs for three				
54510-040 Airport #36 Ford Expedition	2,000	557	2,000	
54510-050 Airport #37 Ford Expedition	2,000	126	2,000	
54510-070 Airport #38, 2017 Ford Transit Van	2,000	-	2,000	

<b>Total Services and Supplies</b>	<b>1,531,122</b>	<b>1,317,348</b>	<b>1,268,098</b>	<b>263,025</b>
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**OTHER**

<b>NBAA Convention -</b>	<b>90,000</b>	81,036	90,000	-
Village Officials, CEA Board members, and/or staff attending the NBAA Convention in Las Vegas				
56300-150 Exhibitor fees & expenses	40,000	33,639	40,000	
56300-190 Travel Exp-staff-public relations	20,000	18,937	20,000	
56300-200 Travel Exp-CEA board members	20,000	21,849	20,000	
56300-220 Travel-Municipalities	10,000	6,611	10,000	

52151-000 <b>Property Taxes -</b>	<b>400,000</b>	347,436	400,000	-
Hangar 5 and Hangar 6 Property taxes				
	280,000	251,717	280,000	
Hangar 11 Property taxes				
	70,000	59,186	70,000	
201 Industrial Property taxes				
	50,000	36,534	50,000	

56200.20 <b>ARFF Standby Requests -</b>	<b>25,000</b>	1,145	25,000	-
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<b>Public Relations/Marketing -</b>	<b>414,750</b>	270,272	344,750	70,000
52405-050 Communications specialists	63,000	76,725	63,000	
Includes Marketing Consultant Services				
52405-100 Projects, videos, photos	20,000	1,325	20,000	
54255-050 Promo material-	25,000	27,135	25,000	
Materials include various promotional items				
54255-100 100 Year celebration	210,000	72,036	150,000	
54255-200 5K Run-the-Runway + evening event	40,000	50,786	30,000	
54255-220 Promo clothing	30,000	17,603	30,000	
54255-260 July 4th parade float	750	375	750	
54255-270 Chamber events & golf	2,000	2,186	2,000	
54255-280 CABAA events & sponsorship	8,000	4,837	8,000	
54270-050 Other-Municipality events	9,000	11,266	9,000	
Other also includes Taste of the Town, official airport golf sponsorships, breakfasts, Scholarship Assistance Fund event, and misc. Municipality events.				
54255-600 NBAA Dispatch Conf - (exhibit)	7,000	6,000	7,000	

Administration Department Budget

**U.S. Customs Service -**

**479,100**

424,401

440,700

38,400

Operating costs to provide inspection service to CEA users.

The service cost is the total cost of providing an agent, which is calculated annually and billed to us quarterly.

We receive the annual connectivity fee invoice in November, the telecom number is an estimate.

56550-010 U.S. Customs service cost	256,800	232,361	236,900
56550-020 U.S. Customs overtime charges	117,000	113,808	97,000
56550-030 Telecom (USCS network, cellphone)	30,000	23,659	30,000
56550-060 Other forms, supplies & services	3,000	2,357	1,500
56550-070 Collection fees	40,000	39,738	40,000
56550-080 U.S. Customs-Alarm Monitoring	10,000	2,124	13,000
52150-020 U.S. Customs-Electric	5,000	8,098	5,000
56550-110 U.S. Customs-Gas	5,000	1,208	5,000
56550-120 U.S. Customs-Water 26 East Palatine	6,000	1,049	6,000
56550-140 U.S. Customs-Refuse Serv	-	-	-
56550-140 U.S. Customs-Janitorial Serv	6,300	5,352	6,300

56600-010 **Contingencies -**

Account for unanticipated and underestima

**60,000**

-

60,000

-

<b>Total Other</b>	<b>1,468,850</b>	<b>940,376</b>	<b>1,360,450</b>	<b>108,400</b>
<b>Total Administration</b>	<b>4,060,013</b>	<b>3,276,154</b>	<b>3,635,980</b>	<b>424,033</b>
<b>% Change from FY26 Budget</b>	<b>11.66%</b>			

**Operations & Maintenance Department**

**FY27 Budget**

**Line Item Detail Within Category**

	<u>FY27 Budget</u>	<u>Projected FY26 Actual</u>	<u>FY26 Budget</u>	<u>Budget Change</u>
<b>Personnel Services</b>				
60400-100 <b>Salaries - Full-time -</b>	<b>\$ 788,510</b>	740,318	\$ 744,250	44,260
Salaries for nine department personnel.				
60300-050 <b>Salaries - Seasonal -</b>	<b>\$ 40,960</b>	47,520	\$ 40,960	-
Four summer positions- Select interns are invited back during winter months to help with snow ops				
60200-050 <b>Overtime -</b>	<b>\$ 105,400</b>	100,733	\$ 90,000	15,400
Overtime costs as required, mainly for snow removal. Approx seventeen hundred hours are budgeted at a 1½ hourly rate of \$62.00.				
<b>Service Awards/Recognition -</b>	<b>\$ 12,146</b>	12,345	\$ 11,250	896
60700-170 Staff Recognition	4,716	6,360	4,500	
60700-170 Incentive program	4,680	3,735	4,500	
60700-200 Service Awards	2,750	2,250	2,250	
Pay for 1 employee with 15-20 years of service at \$750, 3 employee with 10-14 years of service at \$500, and 2 with 5-9 years of service at \$250.				
<b>Payroll taxes -</b>	<b>\$ 73,249</b>	69,503	\$ 69,756	3,493
60500-050 FICA, 6.20%, Medicare, 1.45%	72,049	68,665	67,715	
60500-150 Unemployment, 2024 Rate 0.85%	1,200	838	2,041	
<b>Insurance -</b>	<b>\$ 294,910</b>	279,608	\$ 273,661	21,249
Premiums for employee insurance, provided by the Airport through the Village of Wheeling. Budgeting a 5.0% insurance increase; renewal date is July 1st.				
60100-030 Dental	-	-	-	
60100-050 Disability (9)	12,335	11,141	11,421	
60100-150 Health (9)	282,575	268,467	262,240	
60600-050 <b>Retirement Contribution -</b>	<b>\$ 40,226</b>	35,864	\$ 37,700	2,526
Full time employee Retirement Contributions @ 4.5% of pay.				
<b>Training -</b>	<b>\$ 27,355</b>	18,047	\$ 27,355	0
SAE certifications, Harper certifications. ANTN web based training from AAAE.				
60800-070 Disaster drill	21,000	16,563	21,000	
60800-080 Training	6,355	1,484	5,000	
60800-090 ANTN training system	-	-	1,355	
60800-110 Education reimbursement	-	-	-	

<b>Uniforms -</b>	<b>\$ 15,500</b>	13,911	\$ 15,500	-
Uniform cleaning and replacement for 7 full-time employees & 4 seasonal employees. Pants for 2 full-time employees plus \$150 boot allowance per full-time employee.				
60900-030 Safety Equip	3,000	629	3,000	
60900-050 Uniforms (safety shoes, gloves, caps)	11,000	11,948	11,000	
60900-100 Uniforms part-time	1,500	1,334	1,500	

<b>Total Personnel Services</b>	<b>\$ 1,398,256</b>	<b>\$ 1,317,848</b>	<b>\$ 1,310,432</b>	<b>\$ 87,824</b>
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**SERVICES AND SUPPLIES**

<b>Building Repairs and Supplies -</b>	<b>\$ 264,740</b>	131,443	\$ 81,300	183,440
62090-040 Painting- Building Hangar exteriors - 5,000				
62090-050 General Hangar Repairs 11,300 6,710 11,300				
62090-060 Hangar 5 & 6 Repair-Supplies 35,000 118,705 40,000				
62090-061 Hangar 5 & 6 Movement Services 193,440				
62090-070 NE T-Hangar Repair-Supplies 15,000 3,553 15,000				
62090-080 SW T-Hangar Repair-Supplies 10,000 2,475 10,000				

Cost for the repair and supplies of Airport buildings and hangars.

62120-180 <b>Training and Conf Registration -</b>	<b>\$ 11,000</b>	5,340	\$ 11,000	-
Registration fees for trainings, conferences, seminars, and lunch meetings.				

<b>Equipment/Tools -</b>	<b>\$ 57,705</b>	13,556	\$ 46,205	11,500
Equipment purchased that cost less than \$2,000, individually.				

62210-050 Equipment maintenance cost 7,500 3,572 7,500				
64090-050 Communication equipment 7,000 920 7,000				
64090-100 Shop equipment 14,705 9,064 14,705				
Additional non-capital shop equipment				
64420-050 Operations & Maintenance Software 28,500 20,837 17,000				
Airport Operations Inspection Software, access control, & aircraft tracking software plus implementation.				

62240-050 <b>Equipment Rental -</b>	<b>\$ 10,000</b>	5,326	\$ 10,000	-
Temporary replacement of non-operative equipment, special equipment and tools.				

62270-050 <b>Fence/Gate Supplies &amp; Maint -</b>	<b>\$ 8,000</b>	21,645	\$ 8,000	-
Fencing and gate repairs.				

<b>Fuel -</b>	<b>\$ 65,000</b>	40,203	\$ 65,000	-
64150-050 Diesel 50,000 28,824 50,000				
64150-100 Unleaded gasoline 15,000 11,379 15,000				

Operations and Maintenance Department Budget

<b>Insurance -</b>	<b>\$ 74,000</b>	59,070	\$ 76,600	(2,600)
Department vehicle and workers compensation insurance.				
Insurance is on a December to November annual renewal				
62300-050 Vehicles	29,000	30,373	29,000	
62300-090 Broker fee	-	1,976	2,600	
62300-300 Workers compensation	45,000	26,721	45,000	
<b>Landscaping Service &amp; Supplies -</b>	<b>\$ 52,500</b>	47,067	\$ 52,500	-
Application of growth inhibitor, tree trimming and perimeter landscape services. Purchase of flowers, fertilizer, grass seed, holiday decorations.				
62330-050 Growth inhibitor, weed control	3,500	2,784	3,500	
62330-070 Landscaping-Other	2,000	1,248	2,000	
62330-100 Tree trimming/removal	22,000	21,300	22,000	
62330-110 Perimeter landscaping services	22,000	21,469	22,000	
64210-050 Landscaping materials	3,000	266	3,000	
64240-050 <b>Lighting Service &amp; Supplies -</b>	<b>\$ 40,000</b>	24,833	\$ 40,000	-
Maintenance of and supplies for the Airport lighting system (runways, taxiways & street lights).				
<b>Membership Dues -</b>	<b>\$ 825</b>	550	\$ 825	-
Membership dues for Director and Maintenance & Operations supervisor positions.				
62450-050 AAAE (3)	825	550	825	
<b>Other -</b>	<b>\$ 4,600</b>	3,402	\$ 4,600	-
Costs not defined by another account plus US flags, windsocks, construction safety flags, hotel for snow events				
64270-100 Other-	2,500	-	2,500	
64270-050 Staff meals during snowplowing	2,100	3,402	2,100	
<b>Other Services -</b>	<b>\$ 110,510</b>	81,151	\$ 73,710	36,800
Costs for other contractual services not specifically listed in this category.				
62420-150 Medical Exams plus annual hearing and vision exams.	800	488	1,000	
62510-050 Other-Permits, stormwater, MWRD	1,500	117	1,500	
62510-110 Employee Hiring Fees	500	343	500	
62540-050 Vehicle Towing-tenants	150	-	150	
62540-210 Other-Backflow Inspections (7)	3,500	3,408	3,500	
Hgr 50 Hgr 51 TH 52 TH 54 TH56 Monument sprinkler Admin/Shop U.S. Customs				
62540-220 Fuel Tank inspection - repairs	15,000	9,746	15,000	
62540-250 Monitor-Light Vault (\$250/qtr TYCO)	1,060	1,431	1,060	
62540-280 Imperial Security-Cameras	24,000	23,651	24,000	
62540-290 Imperial Security-Gate Access	14,000	7,821	14,000	
62540-310 Snow plowing & hauling	50,000	34,148	13,000	
62570-100 <b>Pavement Marking -</b>	<b>\$ 70,000</b>	65,031	\$ 65,000	5,000

<b>Materials -</b>	<b>\$ 94,650</b>	<b>36,102</b>	<b>\$ 94,650</b>	<b>-</b>
Materials used for Airport operations are as follows:				
64330-050 Asphalt	1,500	841	1,500	
64330-100 E36 - liquid runway/taxiway deicer	60,000	24,492	60,000	
64330-110 NAAC - solid runway deicer	-	-	-	
IL EPA requires we do not use Urea. NAAC is an approved substitute deicer but has been ineffective.				
64330-120 New Deal Deicer	25,000	8,219	25,000	
IL EPA requires we do not use Urea. New Deal is an approved substitute deicer.				
64330-150 Salt	3,500	458	3,500	
64330-200 Stone	250	-	250	
64330-250 Propane	1,900	970	1,900	
64330-300 Welding	2,500	1,122	2,500	
<b>Sewer Maintenance &amp; Supplies -</b>	<b>\$ 2,000</b>	<b>642</b>	<b>\$ 2,000</b>	<b>-</b>
64360-100 Rodding, pipe, and supplies for minor repairs.				
<b>Signage Supplies -</b>	<b>\$ 7,500</b>	<b>5,974</b>	<b>\$ 7,500</b>	<b>-</b>
64390-050 Safety, information, airfield guidance signs and replacement of damaged signs.				
<b>Supplies-Misc.-</b>	<b>\$ 55,600</b>	<b>45,469</b>	<b>\$ 35,200</b>	<b>20,400</b>
64480-050 Aircraft tiedown	100	841	100	
64480-100 Environmental spill control	1,500	-	1,500	
64480-150 Shop supplies	12,000	16,830	12,000	
64480-160 Paint supplies	25,000	24,404	9,000	
64480-200 Visual aids-taxiway markers-cones	17,000	-	12,600	
64480-300 Hangar Supplies (fire ext, locks, s)	-	3,394	-	
<b>Telephone -</b>	<b>\$ 9,800</b>	<b>9,417</b>	<b>\$ 9,800</b>	<b>-</b>
62720-050 Cellular-Verizon (9 + 2 iPads )	8,300	8,592	8,300	
62720-100 Telephone	1,500	825	1,500	
<b>Travel Expenses -</b>	<b>\$ 16,000</b>	<b>11,851</b>	<b>\$ 16,000</b>	<b>-</b>
62750-040 Travel costs commercial transportation, \$500; ground transportation, \$50/day; hotel, \$175/night; and max meals per diem \$65, per travel policy, associated with attendance at conferences for department employees.				
<b>Waste Removal -</b>	<b>\$ 11,250</b>	<b>18,066</b>	<b>\$ 11,250</b>	<b>-</b>
Waste removal costs for Airport debris, used oil, and solvents.				
62810-050 Debris from airfield	8,000	4,470	8,000	
62810-100 Oil & Other Removal	3,000	1,854	3,000	
62810-150 Waste Removal-Regulatory (solvent)	250	11,743	250	
<b>Wildlife Control -</b>	<b>\$ 4,000</b>	<b>3,929</b>	<b>\$ 4,000</b>	<b>-</b>
64480-250 Bird bangers, screamers, misc. supplies				

<b>Vehicle Maintenance -</b>	<b>\$ 185,162</b>	<b>101,767</b>	<b>\$ 198,162</b>	<b>(13,000)</b>
64510-050 General supplies	16,200	12,249	16,200	
Includes grease, oil, hydraulic fittings, filters etc....				
64510-010 Airport #1, 2019 Ford Interceptor	1,840	264	1,840	
64510-020 Airport #2, 2020 Ford Escape	1,270	66	1,270	
64510-030 Airport #3, 2011 Ford F250 Pickup	2,160	-	2,160	
64510-041 Airport #4, 2024 Kubota 4x4	400	-	400	
64510-070 Airport #5, 2020 Ford F450	900	562	900	
64510-060 Airport #6, 2013 Ford F250 Pickup	2,260	1,895	2,260	
64510-240 Airport #7, 1997 Oshkosh Broom*	-	-	13,000	
64510-080 Airport #8, 2021 Ford Pickup	250	1,679	250	
64510-090 Airport #9, 2015 Ford F350 Pickup w/b	2,650	2,964	2,650	
64510-100 Airport #10, 2008 Bobcat	2,700	271	2,700	
64510-110 Airport #11, 1990 Snow blower-sold	-	-	-	
64510-120 Airport #12, 2024 CAT 950 Wheel Load	3,000	1,130	3,000	
64510-130 Airport #35, 2004 Yale forklift	500	7,982	500	
64510-140 Airport #14, Plow with Sprayer	2,500	335	2,500	
64510-150 Airport #13, Case Front-end Loader	750	6,425	750	
64510-160 Airport #16, 2007 CASE 590 Backhoe	3,000	2,479	3,000	
64510-170 Airport #17, 2023 MB Broom*	26,000	5,012	26,000	
64510-180 Airport #18, 2003 Oshkosh Broom*	28,800	1,733	28,800	
64510-190 Airport #19, 2007 Oshkosh Broom*	27,500	10,045	27,500	
64510-200 Airport #20, 2017 Oshkosh Broom*	35,000	36,262	35,000	
64510-210 Airport #21, New Holland Tractor	1,500	-	1,500	
64510-220 Airport #22, Deere mower	4,916	3,171	4,916	
64510-230 Airport #31, Deere mower was #23	4,916	2,054	4,916	
64510-250 Airport #25 Deere Tractor Mower	1,500	785	1,500	
64510-330 Airport #33, 2016 Ford Dump Truck	1,000	-	1,000	
64510-280 Bobcat Mowers	500	-	500	
64510-015 Airport#15, 2021 MB Snowblower	13,000	4,403	13,000	
64510-400 Terrain King mower	150	-	150	

\* Includes wafers and spacer rings for broom cores.

<b>Total Services and Supplies</b>	<b>\$ 1,154,841</b>	<b>\$ 731,833</b>	<b>\$ 913,302</b>	<b>\$ 241,540</b>
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**Other**

66600-010 <b>Contingencies -</b>	<b>\$ 60,000</b>	<b>-</b>	<b>\$ 60,000</b>	<b>-</b>
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Account for unanticipated and underestimated department expenditures.

<b>Total Operations</b>	<b>\$ 2,613,098</b>	<b>\$ 2,049,681</b>	<b>\$ 2,283,734</b>	<b>\$ 329,364</b>
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<b>% Change from FY26 Budget</b>	<b>14.42%</b>			
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**Other Income and Expenses**

**FY27 Budget**

	<u>FY27 Budget</u>	<u>Projected FY26 Actual</u>	<u>FY26 Budget</u>	<u>Budget Change</u>
<b>Interest Income (Operating funds)</b>				
90100-010 <b>Checking Account Interest</b>	<b>\$ 325,980</b>	459,055	504,000	(178,020)
This interest is for the Northbrook Bank and Trust accounts.				
90100-060 <b>IMET Interest</b>	<b>\$ 408</b>	436	450	(42)
Illinois Metropolitan Investment Pool. Enhanced money market rate.				
<b>Total Interest Income</b>	<b>\$ 326,388</b>	<b>\$ 459,491</b>	<b>\$ 504,450</b>	<b>\$ (178,062)</b>
<b>% Change from FY26 Budget</b>	<b>-35.30%</b>			

**Other Income and Expenses**

91050-030 <b>Bank Fees</b>	<b>\$ 11,400</b>	12,354	14,000	(2,600)
Fees to maintain the Northbrook checking account and Old National Bank loan account.				
93000-100 <b>Gain or Loss of sale of fixed asset</b>	<b>\$ (1,000)</b>	-	(1,000)	-
Misc. income, expenses, plus gain/loss on sale of assets.				
<b>Total Other Expense / (Income)</b>	<b>\$ 10,400</b>	<b>\$ 12,354</b>	<b>\$ 13,000</b>	<b>\$ (2,600)</b>
<b>% Change from FY26 Budget</b>	<b>-20.00%</b>			

	<u>FY27 Budget</u>	<u>Projected FY26 Actual</u>	<u>FY26 Budget</u>	<u>Budget Change</u>
<b>Debt Service</b>				
<b>Loan/Note Interest</b>	<b>\$ 143,255</b>	114,997	107,675	35,580
Interest on three bank loans/notes.				
91000-030 Old National Bank-SW T-Hgrs	-	442	582	
91000-040 Northbrook Bk #1-NE T-Hgrs	18,439	23,532	22,499	
91000-050 Northbrook Bk #3-RSA Land	6,793	11,113	10,629	
91000-060 Northbrook Bk #4-US Customs building	118,023	79,910	73,965	

<b>Loan/Note Principal</b>	<b>\$ 362,662</b>	397,806	404,871	(42,209)
Principal on four bank loans/notes.				
91010-030 Old National Bank-SW T-Hgrs *	-	35,142	42,209	
91010-040 Northbrook Bk #1-NE T-Hgrs +	133,113	133,113	133,113	
91010-050 Northbrook Bk #3-RSA Land ^	62,883	62,884	62,883	
91010-060 Northbrook Bk #4-US Customs**	166,667	166,667	166,667	

\* Debt was paid off in November 2025.

+ Fixed monthly principal payments of \$11,157

^ Fixed monthly principal payments of \$5,351.34

\*\* Fixed monthly principal payments of \$13,888.89- Balloon payment or refinance in November 2030

<b>Total Principal and Interest</b>	<b>\$ 505,917</b>	<b>\$ 512,804</b>	<b>\$ 512,546</b>	<b>(6,629.22)</b>
Old National Bank-SW T-Hgrs	-	35,585	42,791	
Northbrook Bk #1-NE T-Hgrs	151,552	156,645	155,612	
Northbrook Bk #3-RSA Land	69,675	73,997	73,511	
Northbrook Bk #4-US Customs building	284,690	246,577	240,632	

<u>Loan/Note Balances as of:</u>	<u>4/30/2025</u>	<u>4/30/2026</u>	<u>4/30/2027</u>	<u>Maturity</u>
Old National Bank*-SW T-Hgrs	\$ 42,209	\$ -	\$ -	November 2025
Northbrook Bk #1-NE T-Hgrs	665,566	532,452	399,339	May 2030
Northbrook Bk #3-RSA Land	314,414	251,531	188,648	May 2030
Northbrook Bk #4-US Customs building	2,597,222	2,334,812	2,168,146	Nov 2030

\*Formerly First Midwest Bank

<b>Total Debt Service</b>	<b>\$ 505,917</b>	<b>\$ 512,804</b>	<b>\$ 512,546</b>	<b>\$ (6,629)</b>
<b>% Change from FY26 Budget</b>	<b>-1.29%</b>			

**RSIP Fund**  
**FY27 Budget**  
**Line Item Detail within Category**

The Residential Sound Insulation Program is a unique FAA grant funded program. This program allows for sound insulation like new windows and doors into qualifying neighboring residences. The RSIP program is further unique that it is different from the Airport's typical grants because the Airport will never directly have ownership or usage of what the grant provided. However the RSIP program is also not an operating revenue or expense necessary to keep the Airport open and operational. The RSIP program is a non-operating revenue and non-operating expense.

	<u>FY27 Budget</u>	<u>Projected FY26 Actual</u>	<u>FY26 Budget</u>	<u>Budget Change</u>
<b>RSIP Non-Operating Revenues:</b>				
91800-010	<b>\$ 3,895,000</b>	2,167,053	<b>\$ 2,250,000</b>	1,645,000
	3,895,000	2,167,053	-	
<b>Total revenue</b>	<b>\$ 3,895,000</b>	<b>\$ 2,167,053</b>	<b>\$ 2,250,000</b>	<b>\$ 1,645,000</b>
<b>RSIP Non-Operating Expenses:</b>				
	<b>\$ 4,100,000</b>	<b>\$ 2,281,108</b>	<b>\$ 2,500,000</b>	1,600,000
91800-020	\$ 1,400,000	845,666		
91800-030	\$ 2,700,000	1,435,442	-	
<b>Total expenses:</b>	<b>\$ 4,100,000</b>	<b>\$ 2,281,108</b>	<b>\$ 2,500,000</b>	<b>\$ 1,600,000</b>
<b>Net Income:</b>	<b>\$ (205,000)</b>	<b>\$ (114,055)</b>	<b>\$ (250,000)</b>	<b>\$ 45,000</b>

**Sewer Reserve Fund**  
**FY27 Budget**  
**Line Item Detail within Category**

		Projected FY26 Actual	FY26 Budget	Budget Change	
<b>Revenues:</b>					
80100-040	<b>Sewer/Stormwater Annual Fees</b>	44,032	\$ 43,059	2,262	
	Fees for annual sanitary maintenance or stormwater assessment fees. Most rates are subject to an annual CPI increase. Square Foot rates vary by service type and location on the Airport.				
	Hangar 11-sanitary sewer maint fee*	488	400		
	Hangar 11-stormwater sewer maint fee*	1,461	-		
	Hangar 16-sanitary sewer maint fee	376	361		
	Hangar 16-stormwater fee	608	584		
	Hangar 18-sanitary sewer maint fee*	447	447		
	Hangar 18-annual stormwater fee*	1,342	1,342		
	Hangar 19-sanitary sewer maint fee	-	-		
	Hangar 19-stormwater fee	-	791		
	Hangar 20-annual stormwater fee	1,537	1,466		
	Hangar 20-sanitary sewer maint fee	515	491		
	Hawthorne FBO-annual stormwater fee	9,248	8,961		
	Hawthorne FBO-sanitary sewer fee	3,067	2,971		
	Hawthorne Charlie H21-storm fee	1,204	1,162		
	Hawthorne Charlie H21-sanitary fee	263	254		
	Hawthorne Charlie H22-storm fee	2,462	2,430		
	Hawthorne Charlie H22-sanitary fee	823	812		
	WM-200 Sumac-sanitary sewer maint	376	368		
	WM-various Sumac-sanitary sewer maint	3,175	3,003		
	Atlantic Sanitary	4,488	4,310		
	Atlantic Stormwater	13,440	12,906		
	* No CPI Increase				
	** Includes storm sewer from rented parking parcel				
80100-040	<b>Sewer/Storm One-Time Fees</b>	-	-	492,899.28	
	Fees for one-time connection or stormwater assessment fees. All the rates are subject to an annual CPI increase. Square Foot rates vary by service type and location on the Airport.				
	Sky Harbour-storm fee	368,873	-		
	Sky Harbour-sanitary fee	124,027	-		
80100-030	<b>Interest</b>	-	-	-	
	Interest earned				
<b>Total revenue</b>		<b>\$ 538,221</b>	<b>\$ 44,032</b>	<b>\$ 43,059</b>	<b>\$ 495,162</b>
<b>Capital Outlay:</b>					
82000-010		15,000	\$ 60,000	440,000	
	Sewer Repairs	\$ 20,000	15,000	60,000	
	Stormwater Expenses	\$ 480,000	-	-	
<b>Total expenses:</b>		<b>\$ 500,000</b>	<b>\$ 15,000</b>	<b>\$ 60,000</b>	<b>\$ 440,000</b>
<b>Net Income:</b>		<b>\$ 38,221</b>	<b>\$ 59,032</b>	<b>\$ (16,941)</b>	<b>\$ 55,162</b>

Sewer Reserve Fund Projections through FY31					
Balance of Reserves:	Starting Balances	Revenues	Interest	Expense	Ending Balances
FY26 Projected:	\$ 702,441	\$ 43,059	\$ -	\$ (15,000)	\$ 730,500
FY27 Projected:	\$ 730,500	\$ 538,739	\$ -	\$ (500,000)	\$ 769,238
FY28 Projected:	\$ 769,238	\$ 318,049	\$ -	\$ (500,000)	\$ 587,287
FY29 Projected:	\$ 587,287	\$ 71,822	\$ -	\$ (250,000)	\$ 409,109
FY30 Projected:	\$ 409,109	\$ 72,867	\$ -	\$ (25,000)	\$ 456,976
FY31 Projected:	\$ 456,976	\$ 73,928	\$ -	\$ (25,000)	\$ 505,904

**Vehicle and Equipment Reserve Fund (VERF)**

**FY27 Budget**

This fund was established in FY13 to provide money for the future purchase of vehicles and equipment. In FY20 this fund was renamed to the vehicle and equipment reserve fund.

	<u>FY27 Budget</u>	<u>Projected FY26 Actual</u>	<u>FY26 Budget</u>	<u>Budget Change</u>
<b>Revenues:</b>				
<b>85100.02</b>	<b>\$ 40,000</b>	\$ 13,201	\$ 16,000	24,000
<b>Sale of Vehicle or Equipment</b>				
Old Vehicle sales	40,000	13,201	16,000	
<b>85100-010</b>	<b>\$ 500,000</b>	500,000	\$ 500,000	-
<b>Transfers In:</b>				
Annual Transfer	500,000	500,000	500,000	
<b>85100-300</b>	<b>\$ -</b>	-	\$ -	-
<b>Interest</b>				
Interest earned				
<b>Total revenue</b>	<b>\$ 540,000</b>	\$ 513,201	\$ 516,000	\$ 24,000

<b>Capital Outlay:</b>				
<b>85100-500</b>	<b>\$ 1,682,000</b>	-	\$ 793,000	889,000
Airport 3 2011 Pickup	72,000	-	68,000	
Airport 14 1990 Large Plow with	725,000	-	725,000	
Airport 20 2017 Snowbroom	770,000	-	-	
Airport 1 2018 Ops Explorer	65,000	-	-	
Airport 35 1998 Forklift	50,000			
<b>Total expenses:</b>	<b>1,682,000</b>	-	793,000	889,000
<b>Net income:</b>	<b>\$ (1,142,000)</b>	\$ 513,201	\$ (277,000)	

VERF Fund Balance Projections through FY31						
Balance of Reserves:	Starting Balances	Transfer	Interest	Expense	Vehicle Sales	Ending Balances
FY26 Projected:	\$ 809,490	\$ 500,000		\$ -	\$ 13,201	\$ 1,322,691
FY27 Projected:	\$ 1,322,691	\$ 500,000		\$ (1,682,000)	\$ 40,000	\$ 180,691
FY28 Projected:	\$ 180,691	\$ 500,000		\$ (209,400)	\$ 4,000	\$ 475,291
FY29 Projected:	\$ 475,291	\$ 500,000		\$ (770,000)	\$ 13,000	\$ 218,291
FY30 Projected:	\$ 218,291	\$ 500,000		\$ (60,000)	\$ 4,000	\$ 662,291
FY31 Projected:	\$ 662,291	\$ 500,000		\$ (770,000)	\$ 13,000	\$ 405,291

**Building and Land Reserve Fund**  
**FY27 Budget**

This fund, established in FY16, is to provide funds for the future construction of airport improvements; including new administration and maintenance buildings, facility improvements, and land purchases.

	<u>FY27 Budget</u>	<u>Projected FY26 Actual</u>	<u>FY26 Budget</u>	<u>Budget Change</u>
<b>Revenues:</b>				
85200-010 <b>Transfers In:</b>	<b>\$ 3,000,000</b>	3,000,000	\$ 3,000,000	-
Transfer In	3,000,000	3,000,000	3,000,000	
Transfer Out	-	-	-	
85200-300 <b>Interest</b>	<b>\$ -</b>	-	\$ -	-
Interest earned on money market funds				
<b>Total revenue</b>	<b>\$ 3,000,000</b>	\$ 3,000,000	\$ 3,000,000	\$ -
85200-350 <b>Capital Outlay:</b>				
<b>Fund Expenses</b>	<b>\$ 1,200,000</b>	2,000,000	\$ 2,000,000	(800,000)
Fund Expenses	1,200,000	2,000,000	2,000,000	
<b>Total expenses:</b>	<b>\$ 1,200,000</b>	2,000,000.00	2,000,000.00	(800,000.00)
<b>Net Income:</b>	<b>\$ 1,800,000</b>	\$ 1,000,000	\$ 1,000,000	

Building & Land Fund Balance Projections through FY31							
Balance of Reserves:	Starting Balances	Transfer In	Transfer Out	Interest	Expense	Fund Sales	Ending Balances
FY26 Projected:	\$ 2,460,262	\$ 3,000,000	\$ -	\$ -	\$ (2,000,000)	\$ -	\$ 3,460,262
FY27 Projected:	\$ 3,460,262	\$ 3,000,000	\$ -	\$ -	\$ (1,200,000)	\$ -	\$ 5,260,262
FY28 Projected:	\$ 5,260,262	\$ 2,000,000	\$ -	\$ -	\$ (7,000,000)	\$ -	\$ 260,262
FY29 Projected:	\$ 260,262	\$ 2,000,000	\$ -	\$ -	\$ -	\$ -	\$ 2,260,262
FY30 Projected:	\$ 2,260,262	\$ 2,000,000	\$ -	\$ -	\$ -	\$ -	\$ 4,260,262
FY31 Projected:	\$ 4,260,262	\$ 2,000,000	\$ -	\$ -	\$ -	\$ -	\$ 6,260,262

**Capital Repair or Demolition Reserve Fund  
FY27 Budget**

This fund was created in FY21. This fund will be used for capital repairs or demolition to airport hangars and buildings depending on their condition and capital repair needs.

	<u>FY27 Budget</u>	<u>Projected FY26 Actual</u>	<u>FY26 Budget</u>	<u>Budget Change</u>
<b>Revenues:</b>				
85300-010 <b>Transfers In:</b>	<b>\$ 184,089</b>	196,476	<b>\$ 177,048</b>	7,041
Transfer In	\$ 184,089		\$ 177,048	
Transfer Out	\$ -			
85300-030 <b>Interest</b>	<b>\$ -</b>	12,203	\$ -	-
Interest earned on money market funds				
<b>Total revenue</b>	<b>\$ 184,089</b>	\$ 208,678	\$ 177,048	\$ 7,041
85300-300 <b>Capital Expense:</b>				
R&D Fund Expense	<b>\$ 700,000</b>	-	<b>\$ 36,750</b>	663,250
	\$ 700,000	-	\$ 36,750	
<b>Total expenses:</b>	<b>\$ 700,000</b>	-	36,750	663,250.00
<b>Net Income:</b>	<b>\$ (515,911)</b>	<b>\$ 208,678</b>	<b>\$ 140,298</b>	<b>\$ (656,209)</b>

Facility Capital Repair and Demolition Reserve Fund Balance Projections through FY31							
Balance of Reserves:	Starting Balances	Transfer In	Transfer Out	Interest	Expense	Ending Balances	
FY26 Projected:	\$ 701,916	\$ 177,049	\$ -	\$ -	\$ -	\$ 878,965	
FY27 Projected:	\$ 878,965	\$ 184,089	\$ -	\$ -	\$ (700,000)	\$ 363,055	
FY28 Projected:	\$ 363,055	\$ 187,771	\$ -	\$ -	\$ -	\$ 550,826	
FY29 Projected:	\$ 550,826	\$ 191,527	\$ -	\$ -	\$ (250,000)	\$ 492,353	
FY30 Projected:	\$ 492,353	\$ 195,357	\$ -	\$ -	\$ (525,000)	\$ 162,710	
FY31 Projected:	\$ 162,710	\$ 199,264	\$ -	\$ -	\$ (275,000)	\$ 86,974	

**Capital Summary**

	FY27	Projected	FY26
Does not include Sub Reserve Funds	Budget	Actual	Budget
<b>Revenue</b>			
Grant-GA Entitlement & CARES	-	-	-
Grant-Aviation Community Center	(5,000,000)		(5,000,000)
Grant-Airport Master Plan (Phase 2)	(350,000)	(128,305)	(350,000)
Grant-Hot Spot- Reconfigure Taxiways Phase 1	(640,000)	-	(160,000)
Grant-NE Quadrant Apron and Taxiway Access	(5,000)	(278,416)	(87,750)
Grant-Expand East Quadrant	(2,000)	(609)	(36,400)
Grant-Rehab Airfield Lighting - Phase 1		(4,774)	(40,000)
Grant-Master Drainage Study		(193,959)	(165,000)
Grant-Update Exhibit A Property Map		(28,533)	(31,316)
<b>Total</b>	<b>(5,997,000)</b>	<b>(634,596)</b>	<b>(5,870,466)</b>
<b>Capital Improvements</b>			
Building replacement/repair	2,365,000	-	5,110,000
Fence/Gate repair	15,000	-	15,000
Security	75,000	10,764	115,000
Pavement Repair	300,000	124,152	350,000
<b>Total</b>	<b>2,755,000</b>	<b>134,916</b>	<b>5,590,000</b>
<b>Capital Outlay</b>			
Office Equipment	90,000	6,629	30,000
Vehicles	36,000	12,000	36,000
Shop Equipment	51,500	13,902	88,573
Capital Outlay- Other	180,000	-	82,991
<b>Total</b>	<b>357,500</b>	<b>32,531</b>	<b>237,564</b>
<b>"A" Projects</b>			
Hot Spot- Reconfigure Taxiways Phase 1	480,000	100,735	100,000
Hot Spot- Reconfigure Taxiways Phase 2	620,000		97,500
NE Quadrant Apron and Taxiway Access	-	-	130,000
South Parallel Taxiway Rwy 12/30 Phase 1	-	-	-
NE Quadrant Auto Parking Lot & Entrance Road	-	-	-
Master Drainage Study			225,000
Update To Exhibit A Property Map			8,333
<b>Total</b>	<b>1,100,000</b>	<b>100,735</b>	<b>560,833</b>
<b>Other</b>			
Debt Service-from GA entitlement grant	-	-	-
<b>Total</b>	<b>-</b>	<b>-</b>	<b>-</b>
<b>Total</b>	<b>(1,784,500)</b>	<b>(366,414)</b>	<b>517,931</b>

**Capital Projects-Internally Funded  
FY27 Budget  
Line Item Detail within Category**

	<b>FY27 Budget</b>	
<b>CAPITAL IMPROVEMENTS</b>		
Non-Reserve Funds		
72000-010 <b><u>Facilities</u></b>	<b>\$ 115,000</b>	
Capital Improvements budgeted for Airport facilities are as follows:		
Lighting Vault back up generator		35,000
Misc. building repairs		80,000
72100-010 <b><u>Fencing, Gates, Landscaping -</u></b>	<b>\$ 15,000</b>	
Repair/improvement of fencing and gates.		15,000
72100-020 <b><u>Security Improvements -</u></b>	<b>\$ 75,000</b>	
Upgrades to airfield security		75,000
72200-010 <b><u>Pavement Repairs</u></b>	<b>\$ 300,000</b>	
Pavement replacement, crack sealing and lot repairs.		300,000
<b>Total Capital Improvements</b>	<b>\$ 505,000</b>	
 <b>CAPITAL CONSTRUCTION</b>		
73000-030 <b><u>Capital Facility Design-Construction</u></b>	<b>\$ 2,250,000</b>	
Future Aviation Community Center Building Design-Construction		2,250,000
<b>Total Capital Construction</b>	<b>\$ 2,250,000</b>	
 <b>CAPITAL OUTLAY</b>		
74000-010 <b><u>Office Equipment -</u></b>	<b>\$ 90,000</b>	
Office computer equipment		30,000
PACE IT projects updates		60,000
74100-010 <b><u>Vehicles- Capital Repairs Purchases are now from VERF</u></b>	<b>\$ 36,000</b>	
Airport 12-14-17-18-19-20 or Snow Equipment Rehab		18,000
Airport 12-14-17-18-19-20 or Snow Equipment Rehab		18,000
74200-010 <b><u>Shop Equipment</u></b>	<b>\$ 51,500</b>	
Undesignated shop equipment		10,000
TYCO Fire Alarm Panel		41,500
74300-010 <b><u>Capital Outlay- Other</u></b>	<b>\$ 180,000</b>	
Runway End Identifier Lights for Runway 12/30		30,000
Decommissioning of Runway 6/24		150,000
<b>Total Capital Outlay</b>	<b>\$ 357,500</b>	
<b>Total-Internally Funded Capital</b>	<b>\$ 3,112,500</b>	

**"A" Projects  
FY27 Budget**

**Grant Service**

The "A" and "B" projects listed are taken directly from the IL Dept of Transportation, Division of Aeronautics, Transportation Improvement Program: Airports FFY2026-2029, Final Submittal 12/15/2023. The Airport Board of Resolution 23-039 was passed by the BOD on December 13, 2023. Federal Fiscal Year (FFY) runs from October 1, 2024 to September 30, 2026.

	<b>Est FY27 Revenue</b>	<b>Local Share</b>	<b>Engineering Invoices flow through CEA</b>	<b>Total Project Expense</b>
<b><u>PWK-5128 Quadrant Apron and Taxiway Access</u></b>	<u>5,000</u>	-	-	<u>2,600,000</u>
Construct Northeast Quadrant Apron and Taxiway Access for New Tie Down Area Current funding program is Federal 90%, State 5%, Local 5%.				
<b><u>Expand East Quadrant GA Apron-construction/local share (est)</u></b>	<u>2,000</u>	-	-	<u>1,040,000</u>
Expand Airport East Quadrant General Aviation Aircraft Parking Apron. Current funding program is federal 0%, state 90%, and local 10%.				
<b><u>Hot Spot- Reconfigure Taxiways Phase 1</u></b>	<u>640,000</u>	-	480,000	<u>2,000,000</u>
Remove hot spot location 1 on east side of Airport Current funding program is Federal 90%, State 5%, Local 5%.				
<b><u>Hot Spot- Reconfigure Taxiways Phase 2</u></b>	<u>310,000</u>	310,000	310,000	<u>6,200,000</u>
Remove hot spot location 2 on east side of Airport Current funding program is Federal 90%, State 5%, Local 5%.				
<b><u>South Parallel Taxiway Rwy 12/30 Phase 1</u></b>	<u>-</u>	-	-	<u>-</u>
South Parallel Taxiway Rwy 12/30 Phase 1 Current funding program is Federal 90%, State 5%, Local 5%.				
<b>Subtotal Airport Development</b>	<b><u>957,000</u></b>	<b><u>310,000</u></b>	<b><u>790,000</u></b>	<b><u>11,840,000</u></b>
	<b>Est FY27 Revenue</b>	<b>Local Share</b>	<b>Engineering Invoices flow through CEA</b>	<b>Total Project Expense</b>
<b><u>Aviation Community Center</u></b>	<u>5,000,000</u>	-	-	<u>-</u>
Facilitate planning and construction of an Aviation Community Center				
<b><u>Airport Master Plan (Phase 2)</u></b>	<u>350,000</u>	-	-	<u>-</u>
Secondary project work on the Master Plan update. This amount is for reimbursement of CMT expenses. IDOT Division of Aeronautics agreed to reimburse 50%. Current funding program is Federal 50% & Local 50%. IDA is considering a switch to Federal 90%, State 5%, and Local 5%.				
<b>Total Grant Service "A" projects</b>	<b>6,307,000</b>	<b>310,000</b>	<b>790,000</b>	<b>11,840,000</b>

**"B" Projects  
FY27 Budget**

The following grant-supported projects, while important to the development of the Airport, are not expected to be funded during the fiscal year due to the funding level being provided by the FAA & IDOT for other projects carrying higher funding priorities. There is a high probability these amounts will not be required, so they are not included in our FY26 grant budget funding requirements.

	<u>Local Share</u>	<u>Total Project Cost</u>
<b><u>Rehab Airfield Lighting-Phase 2</u></b> Includes Vault, circuits, and regulators	<u>75,000</u>	<u>1,500,000</u>
<b><u>Rehab Airfield Lighting-Phase 2</u></b> Includes signs	<u>25,000</u>	<u>50,000</u>
<b><u>Widen Runway 12/30</u></b> Widen runway 12/30 to 100'. Current funding program is Federal 90%, State 5%, Local 5%.	<u>197,500</u>	<u>3,950,000</u>
<b><u>RSA Study (per FAA) &amp; Land Reimburse. Rwy 34 End</u></b> RSA Study & Reimbursement for the acquisition a Portion of Runway 34 End RSA - Clearing and Fencing No Board resolution yet.	<u>12,500</u>	<u>250,000</u>
<b><u>Construct Wildlife Perimeter Fence</u></b> Install Airport Perimeter Security/Wildlife 10' Fencing South side of crick only Current funding program is federal 90%, state 5%, local 5%.	<u>100,000</u>	<u>2,000,000</u>
<b>Total Grant Service "B" projects-not included in proposed budget</b>	<b>\$ 410,000</b>	<b>\$ 7,750,000</b>

**Unrestricted Net Position (Reserves) Available:**

	<u>Operating and Capital Reserve Fund</u>	<u>Sewer Reserve</u>	<u>(VERF) Capital Reserve</u>	<u>Building &amp; Land Reserve</u>	<u>Repair or Demo Reserve</u>	<u>Total Cash and Equivalents</u>
<b>Projected Starting Cash Balances @ 4/30/2026</b>	4,804,470	730,500	1,254,691	3,460,262	878,965	11,128,888
<b>FY27 Budget:</b>						
Revenue Budget	9,793,988	-	40,000	-	-	9,833,988
Operating Expenses*^	(6,673,111)	-	-	-	-	(6,673,111)
Other Income & Expense	315,988	-	-	-	-	315,988
Debt Service	(505,917)	-	-	-	-	(505,917)
RSIP Revenues & Expenses	(205,000)	-	-	-	-	(205,000)
Transfer to Sewer Reserves	(538,221)	538,221	-	-	-	-
Transfer to VERF	(540,000)	-	500,000	-	-	(40,000)
Transfer to Building & Land Reserve	(3,000,000)	-	-	3,000,000	-	-
Transfer to Capital Repair-Demo Fund	(184,089)	-	-	-	184,089	-
Sewer Reserve Fund Projects	-	(500,000)	-	-	-	(500,000)
Vehicle & Equipment Fund Projects	-	-	(1,682,000)	-	-	(1,682,000)
Building & Land Fund Projects	-	-	-	(1,200,000)	-	(1,200,000)
Capital Improve (Facilities/Paving)	(505,000)	-	-	-	-	(505,000)
Capital Outlay (Vehicles/Equip/Land)	(177,500)	-	-	-	-	(177,500)
Capital Construction	(2,250,000)	-	-	-	-	(2,250,000)
Grant Service "A" Projects	(1,100,000)	-	-	-	-	(1,100,000)
Capital Outlay Other	(180,000)	-	-	-	(700,000)	(880,000)
Grant revenue	5,997,000	-	-	-	-	5,997,000
Capital Other	-	-	-	-	-	-
<b>Projected results for FY27</b>	<b>248,138</b>	<b>38,221</b>	<b>(1,142,000)</b>	<b>1,800,000</b>	<b>(515,911)</b>	<b>428,447</b>
<b>Projected Running Cash Balances @ 4/30/2027</b>	<b>5,052,609</b>	<b>768,720</b>	<b>112,691</b>	<b>5,260,262</b>	<b>363,054</b>	<b>11,557,335</b>

Airport Business Plan and Debt Covenant Requirements are separate from each other

Airport Business Plan operating reserves:

**Less 3 month operating reserves\* (1,668,278)**

**Over/(short) 3,384,331**

\* FY26 budgeted operating expenses times 25% as required by the Airport's business plan.

**Airport Debt Covenant reserves^ (3,290,849)**

**Over/(short) 1,761,759**

^ Operating expenses x 180 days / 365 days

LOCATION MAPS  
FOR POTENTIAL  
CAPITAL PROJECTS

**LEGEND**

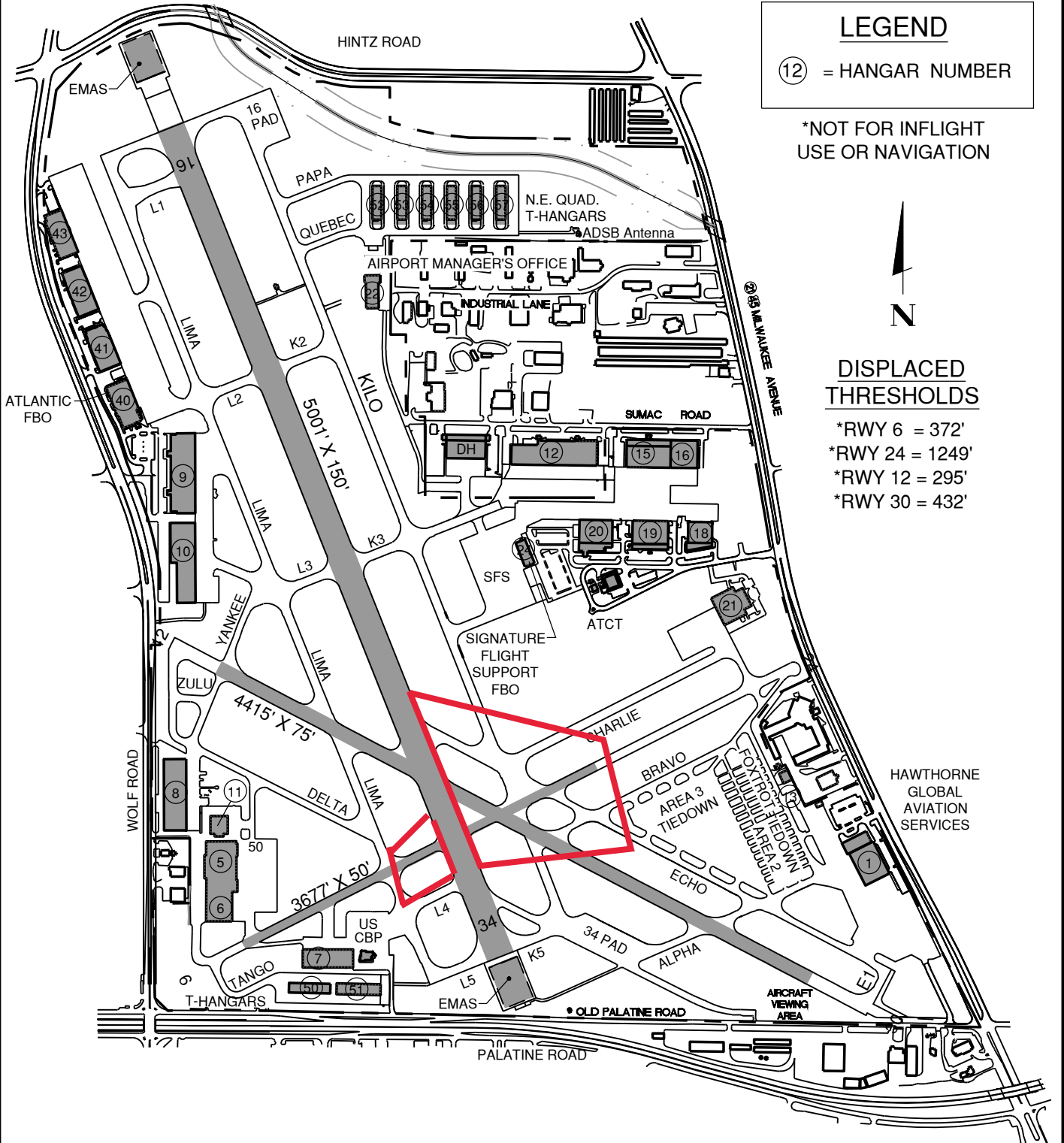
⑫ = HANGAR NUMBER

\*NOT FOR INFLIGHT USE OR NAVIGATION



**DISPLACED THRESHOLDS**

- \*RWY 6 = 372'
- \*RWY 24 = 1249'
- \*RWY 12 = 295'
- \*RWY 30 = 432'



**Hot Spot Taxiway Reconfigure Phase 1  
Hot Spot Taxiway Reconfigure Phase 2**

TOWER - 119.90  
 GROUND - 121.7  
 CLEARANCE DELIVERY/CHICAGO APPROACH - 124.7  
 TOWER CAB NUMBER 847-229-6003  
 TOWER HOURS M-F 0600L-2200L, SA-SU 0700-2200L

## GLOSSARY OF TERMS

<b>TERM</b>	<b>DESCRIPTION</b>
AAAE	American Association of Airport Executives
Accrual Basis	The accounting term that reflects the method of recording revenue when earned and expenses when incurred. The Airport uses this method.
Capital Budget	Budgeted-for expenditures of Capital Improvement, Construction and Outlays, Grant Service and Allocations of Reserves for Replacements
ACFR	Annual Comprehensive Financial Report
CPI	Consumer Price Index
EMAS	Engineered Materials Arrestor System
Enterprise Fund	A fund used in governmental accounting to account for activities that provide goods or services to the public for a fee that is meant to make the entity self-sustaining. It operates in a manner similar to private business enterprises, with the intent that the costs (expenses, including depreciation) of providing goods or services to the general public on a continuing basis be financed primarily through user charges.
FAA	Federal Aviation Administration
Fund	An amount set aside for a specified purpose
GFOA	Government Finance Officer's Association
Infrastructure	Airport runways, taxiways and aprons
Modified Accrual Basis	The accounting term that reflects a mixture of the cash basis and accrual basis methods. The Airport does not use this method.
Operating Budget	Expenditures for Finance/Administration, Operations/Maintenance, Interest Income, and Interest Expense for daily operations of the Airport.
Operation	A landing or takeoff.
Part 139	Federal Regulation governing air taxi operations.
Rwy	Runway
SWPPP	Storm water Pollution Prevention Program
TIPs	Transportation Improvement Program presented to the State of Illinois, Department of Transportation, Division of Aeronautic

**B U R N E Y**

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December 12, 2025

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April 3, 2026

Patrick Ludvigsen  
Mayor of Prospect Heights  
8 N. Elmhurst Road  
Prospect Heights, IL. 60070

Re: Request for continuance of April 13, 2026 City Council consideration of Neder Request for Reinstatement of Planned Unit Development to April 27, 2026

Dear Mayor Ludvigsen

I represent Neder Capital. This is to request a continuation of the City Council's second consideration of Neder's Request for reinstatement of the Planned Unit Development for Muir Park until the next regularly scheduled meeting on April 27, 2026.

The entire Park Board considered a proposed amendment to the Purchase and Sale Agreement on March 30. A few questions and requests for clarification came out of that meeting which we are in the process of addressing. As a result we will not have a final agreement on the terms in time for the packets to go out on April 8.

Thank you for considering our request,

//ss Tom Burney

Tom Burney

Cc Peter Falcone [pfalcone@prospect-heights.org](mailto:pfalcone@prospect-heights.org)

Dan Peterson [dpeterson@prospectheights.org](mailto:dpeterson@prospectheights.org)



# City of Prospect Heights

Department of Building & Zoning  
 8 North Elmhurst Road, Prospect Heights Illinois, 60070-6070  
 Office: 847/398-6070 x 211-FAX: 847/590-1854  
[www.prospect-heights.il.us](http://www.prospect-heights.il.us)

## MEMORANDUM

Date: March 13, 2026

To: Mayor Ludvigsen & City Council

Cc: Peter Falcone, City Administrator  
 James Hess, City Attorney

From: Daniel A. Peterson, Director of Building & Development

Subject: Plan/Zoning Board of Appeal Recommendation  
 PZBA Application #26-03 SU: Special Use & PUD 69-Unit Townhome  
 Ordinance #O-26-04 – Approving a Special Use & PUD  
 Neder Capital Services - applicant  
 1001 Oak Ave. and 999 Oak Ave, Prospect Heights, IL

**Issue:** PZBA voted 6-1 to recommend to the City Council approval of Special Use for a PUD with conditions to re-establish the approved redevelopment plan for the 69-unit townhome subdivision, approval ordinance #O-20-37, as the period of validity expired per section 5-10-9 J of the zoning code.

### Background:

The property at 1001 Oak Ave., Prospect Heights, is 5.23 acres and is privately owned and is currently vacant. Adjoining the vacant property to the south is John Muir Park, a 4.50-acre park, owned by the Prospect Heights Park District. The two properties comprise the development area.

Lexington Homes entered into a purchase agreement with the owner of 1001 Oak Ave. in 2019. After 5 presentations to the City Council, Lexington Homes subsequently applied. PZBA Case #20-08, for Map Amendment to rezone the property to R-2, special use for a planned unit development, preliminary plat of subdivision and preliminary engineering approval for the development of a 69-unit Row Home community. The 69-unit plan involves a land swap with the Prospect Heights Park District and redevelopment of Muir Park. The PZBA recommended approval of the application after a public hearing that required four meetings and extensive public involvement and testimony. On November 9, 2020, city council approved Ordinance #O-20-37 granting the requested approvals. All exhibits, documents and records are available on the city web page.

Following the approval of the development plan the City established a Tax Increment Finance District, entering into numerous intergovernmental agreements in 2022. During that time Lexington requested and received extension of the approvals per section 5-10-9J: Period of Validity. After all the approvals were recorded, Lexington and the property owner did not complete the sale of the property. The authorized special use expired due to being discontinued for a period of twelve months.

**Current Application:**

Neder Capital Services LLC is the contract purchaser for the 5.23-acre 1001 Oak Ave. property. Neder Capital is proposing to accept the current development plan, approvals and agreements to complete project as approved by Ord. O-20-37. Neder Capital Services has applied for Special Use for the Planned Unit Development (PUD). Staff reviewed the request with legal and determined this was the proper application to move the approved development plan forward. Neder Capital Services requires entitlement approval as a requirement and the special use to be valid to close on the property. Once closed the applicant will prepare final engineering, IEPA permitting for the community well and final development plans.

The applicant's attorney requested that all exhibits, documents and records presented for PZBA Case #20-08 for the approved 69-unit townhome project be submitted and accepted as Group Exhibit 1. Dennis Stratievsky, Neder Capital Services, and Nate Wynsma, Lexington Homes provided testimony that they are cooperating and committed to the assignment of the project from Lexington Homes to Neder Capital Services.

During the hearing 12 residents provided testimony about the case. Eleven spoke against the project and 1 resident spoke in favor of project.

Comments and issues raised in opposition to the application included: project density, traffic impacts including pedestrian usage in the neighboring subdivision, building height, construction traffic, loss of existing trees, negative impacts to the existing Drake Terrace subdivision. Comments were also made related to integrity of the applicant based upon BBB ratings and did city staff vet the applicant.

The applicant's attorney along with Nate Wynsma, Lexington Homes commented that these issues were already addressed and deliberated by the PZBA and City Council with the previous approvals. Director Peterson responded that he contacted his counterparts in Wheeling, Des Plaines and Downers Grove that applicants project status in their communities. He also verified the applicant's financial commitment letter prior to accepting the application.

The resident that spoke in favor of the project, stated that the existing property is an eyesore and dilapidated and the proposed residential development would be an improvement to the community.

Upon closure of the public hearing the PZBA deliberated and discussed the issue of the traffic study prepared by KLOA and should be updated. Attorney Hess advised that the updated study is not required for approval by city council, but as a requirement of the approved special use. If the updated traffic study is not produced or not acceptable to the city, then the special use will not be

valid. An updated traffic study will be required prior to acceptance of the final development plan and approval by the city council prior to any building permits being issued.

Upon conclusion of deliberation and discussion the commissioners voted 6 yes and 1 no to recommend approval of PZBA Case #26-03 the petition for Special Use for a Planned Unit Development in the R-2 General Residential District with the following conditions:

- 1) Acceptance of Group Exhibit 1 – PZBA Case #20-08 all exhibits, documents and testimony for the 69 Unit Townhome Redevelopment zoning application.
- 2) Updated Traffic Study prior to final development plan approval

Staff concur with the recommendation.

**Recommendation: (*First Reading, No Action Required*) Ordinance #O-26-04 Granting a Special Use for a Planned Unit Development to Neder Capital Services, LLC 1001 and 999 Oak Avenue**

**CITY OF PROSPECT HEIGHTS  
ORDINANCE O-26-04**

**GRANTING A SPECIAL USE, AND PLANNED UNIT DEVELOPMENT TO NEDER  
CAPITAL SERVICES, LLC AT 1001 AND 999 OAK AVENUE**

(PZBA Case #26-03 SU)

**WHEREAS**, Neder Capital Services (Applicant) has filed an application for a special use and planned unit development for the purpose of redeveloping the property to construct a 69 unit row home subdivision; and

**WHEREAS**, The City of Prospect Height Plan Commission-Zoning Board of Appeals (PZBA) held a public hearing regarding the application on February 25, 2026; and

**WHEREAS**, the PZBA found the application meets the standards for the map amendment, special use, planned unit development, preliminary engineering and preliminary subdivision; and

**WHEREAS**, this City Council has received Findings of Fact and Recommendations from the Plan Commission - Zoning Board of Appeals, dated March 11, 2026 recommending that the following, set forth below, be granted to Neder Capital for the construction and operation of a residential attached single-family planned unit development upon the real estate commonly known as 1001 and 999 Oak Avenue, Prospect Heights, Illinois:

1. Special Use for a Planned Unit Development in the R-2 General Residential District.
2. Planned Unit Development with certain conditions; and

**WHEREAS** said findings and recommendations are subject to certain conditions and restrictions;

**NOW THEREFORE, BE IT ORDAINED**, by the City Council of the City of Prospect Heights, Cook County, Illinois, as follows:

**SECTION 1:** That the Findings of Fact and Recommendations of the City of Prospect Heights Plan Commission - Zoning Board of Appeals, dated March 11, 2026, a copy of which is attached hereto as Exhibit “A”, are hereby concurred with by this City Council by reference, as though the same were fully set forth herein.

**SECTION 2:** That the Special Use for a Planned Unit Development in the R-2 General Residential District and Planned Unit Development with certain conditions are hereby granted to Neder Capital for the construction and operation of an residential multi-family planned unit development upon the real estate commonly known as 1001 and 999 Oak Avenue, Prospect Heights, Illinois and legally described as follows:

**LEGAL DESCRIPTION**

See the attached Exhibit “B”

**SECTION 3:** That said requests are granted solely for the purposes, and subject to all conditions and restrictions, set forth in said Findings of Fact and Recommendations of the Plan Commission - Zoning Board of Appeals attached hereto as Exhibit A, and is further subject to the condition that said use be commenced within 12 months from the effective date of this ordinance, or the same shall become null and void in accordance with the Zoning Ordinance of the City of Prospect Heights.

**SECTION 4:** The granting of said requests shall not alleviate or negate the requirement of compliance with all applicable city codes and ordinances, except that portion of the City Zoning Ordinance which would otherwise prohibit the land use permitted hereby.

**SECTION 5:** This Ordinance shall not be held to repeal a former ordinance as to any offense committed against the former ordinance or as to any act done, any penalty, forfeiture or punishment so incurred, or any right accrued or claim arising under the former ordinance, or in any way whatsoever affect any such offense or act so committed or so done, or any penalty, forfeiture or punishment so incurred to any right accrued to claims arising before this Ordinance takes effect, save only that the proceedings thereafter shall conform to the ordinance in force at the time of such proceedings, as far as practicable.

**SECTION 6:** That if any part or parts of this Ordinance shall be held to be invalid or unconstitutional by a court of competent jurisdiction, such invalidity or unconstitutionality shall not affect the validity of the remaining parts of this Ordinance. The City Council declare hereby that they would have passed the remaining parts of this Ordinance if they had known that such part or parts thereof would be declared unconstitutional.

**SECTION 7:** The City Clerk of the City of Prospect Heights is directed hereby to publish this Ordinance in pamphlet form.

**SECTION 8:** This Ordinance shall be in full force and effect from and after its passage, approval, and publication in pamphlet form.

**PASSED and APPROVED** this 13th day of April, 2026.

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Patrick Ludvigsen, Mayor

ATTEST:

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Joanna Prisiajniouk, City Clerk

AYES: \_\_\_\_\_

NAYS: \_\_\_\_\_

ABSENT: \_\_\_\_\_

Published in pamphlet form:

**EXHIBIT “A”**

**Memorandum**

**To:** Prospect Heights Mayor and City Council

**From:** Maciej Kempa – Chairman  
Plan / Zoning Board of Appeals

**Date:** March 11, 2026

**Subject:** Recommendation  
Case No. PZBA -26-03 Special Use, PUD  
Applicant: Dennis Stratievsky, Neder Capital Services, LLC  
Property Address: 1001 and 999 Oak Ave., Prospect Heights, IL  
Hearing Dates: February 25, 2026

**I. Purpose**

Conduct a public hearing regarding an application to reestablish the Special Use and Planned Unit Development (PUD) for the redevelopment of the 1001 & 999 Oak Avenue properties as approved by Ordinance #O-20-37. The period of validity expired in 2024. The applicant is proposing to redevelop the property in accordance with the approved PUD, map amendment, preliminary development and engineering plans in conformance with the plan as approved with the approved development plan. Approving the special use and PUD will allow Neder Capital LLC to purchase the property and move forward with the approved plans. There are no proposed changes to the previously approved development plan.

**II. Comments and Testimonies**

The city received a complete application prior to the public hearing. The PZBA accepted all documents provided by the applicant. Additionally, the applicant requested that the previously submitted exhibits, documents and testimony provided for the original Lexington Homes public hearing for PZBA Case #20-08 as group exhibit 1, staff reports and written objections as part of the public record. All exhibits, documents and records for PZBA Case #20-08 and Ord. O-20-37 are available on the city web site.

Director Peterson stated the redevelopment plan approvals were granted to Lexington Homes. Lexington Homes had requested and received extensions for the period of validity during the creation of the TIF District. During the extension period, various approved ordinance documents and agreements were recorded establishing the development plan, and TIF District. At some point after all approvals, Lexington and the Property owner failed to close on the property. The period of validity expires after 12 months per section 5-10-9 J of the zoning code. Approving the special use that would allow Neder Capital to move forward to purchase the property from the owner. Additionally, Lexington Homes had the right to assign the project to a new developer.

Mr. Tom Burney, Attorney for Neder Capital Services, summarized the existing approved development plan and introduced the presenters for the applicant. Dennis Stratievsky, Neder Capital Services LLC, Carolyn Schofield, Zoning & Development, and Nate Wynsma, Lexington Homes, who will provide testimony of conformance to the City Standards for approval of the application. Mr. Nate Wynsma, Lexington Homes, presented testimony concurring that he was working with the applicant cooperatively to transition the project to the applicant.

Dennis Stratievsky provided testimony and a PowerPoint presentation describing Neder Capital Services and the various projects in development and their ability to complete the project. These include two active projects in Wheeling, a project in Des Plaines and one in the entitlement phase in Downers Grove.

Carolyn Schofeild testified scope of the approved development plan and the benefits to the area.

Nate Wynsma, Lexington Homes, testified to the scope of the project. The approvals previously granted. He also affirmed his cooperation with Neder Services in the assignment of the project.

There were 16 residents who provided testimony. Fifteen residents stated their opposition to the project. One resident spoke in favor of the project. The opposition comments ranged from street width, no sidewalks, removal of green space, traffic congestion and detention/stormwater issues. Specifically, the residents did not believe the 2020 Traffic Study addressed pedestrian use of the existing subdivision roads properly.

The resident who supported the project believed that the use was appropriate. The current building and grounds are an eyesore.

### **III. Board and Staff Comments**

Director Peterson provided comments that the project is in conformance with the City's 2014 Comprehensive plan. Land Use Goals & Objectives Section 1.2 and Land Use Recommended Strategies Section 3.1

Staff provided comments showing that the proposed use has not changed from the previous approval and would be harmonious to the adjoining properties. The surrounding properties include multi-family high density to the west (Wheeling 20 u/a), mid density single-family lots to the south and east (Wheeling 6.22 u/a, 7.26 u/a) and low density single-family to the north (Prospect Heights 2 u/a). The applicant is proposing 13.2 u/a, which complies with the City ordinance.

Director Peterson summarized the improvements to storm water conditions, public benefits of the TIF including improvements to Muir Park, sidewalks to Wheeling High School and stormwater drainage in the TIF area.

Commissioner Simmons and Saewert were concerned about the traffic study that conditions may have changed in the neighborhood since 2020 and wanted a verification that pedestrian impacts were addressed in the KLOA report.

### **IV. Decisions and Findings**

After closing the public hearing and board deliberation, the Plan Zoning Board of Appeals took the following actions.

#### **A. Staff Report of Compliance**

Commissioner Saewert made a Motion to receive into the public record the staff review of the zoning compliance for the application and accept into the public record exhibits #1 – 12, 26-03 SU, PUD with the zoning standards as presented by staff and to make these standards a part of the official record of this application. Seconded by Commissioner DeGraf, By a vote of seven (7) ayes, zero (0) nays,

#### **B. Acceptance of Additional Exhibits**

During the public hearing for PZBA Case #26-03, Chairman Kempa, accepted the request for Attorney Burney to accept the exhibits, documents and testimony presented for the 69-unit townhome application from PZBA Case #20-08 as Group Exhibit #1,

#### **C. The Plan/Zoning Board of Appeals find that the requested Special Use conforms to the standards in Section 5-10-9 E, 1-7**

1. That the establishment, maintenance or operation of the special use will not be unreasonably detrimental to or endanger the public health, safety, morals, comfort or general welfare.

2. That the special use will not be injurious to the use and enjoyment of other property in the community for the purposes already permitted, nor diminish and impair property values within the community.
3. That the establishment of the special use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.
4. That adequate utilities, access roads, drainage and/or other necessary facilities have been or are being provided.
5. That adequate measures have been or will be taken to provide ingress or egress so designed to minimize traffic congestion in the public streets.
6. That the special use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may in each instance be modified by the city council pursuant to the recommendations of the plan/zoning board of appeals.
7. That the area described in the petition does not lie wholly or partly in floodplain, as defined by the flood control ordinances of the city; or, if it does lie wholly or partly within the floodplain, that adequate provisions for storage, runoff control and floodwater retention, as appropriate, have been made.

**D. The Plan/Zoning Board of Appeals finds that the requested Planned Unit Development conforms to the Standard in Section 5-11-3**

In addition to the standards generally applicable to special uses, as provided in section [5-10-9](#) of this title, no planned unit development shall be approved unless the plan/zoning board of appeals shall also find:

- A. Conformance: That said planned unit development conforms with the purpose of this chapter.
- B. Size Of Development: That any residential development is located on a tract of land of three (3) or more contiguous acres and any commercial development is located on a tract of land of one or more contiguous acres.
- C. Common Ownership: That the planned unit development will be on a tract of land under common ownership or control.
  1. Such common ownership or control shall extend to all common open space, landscaping, exterior maintenance and all other exterior common area aspects of the development for a period of not less than twenty (20) years.
  2. Said common ownership or control shall extend to all portions of the planned unit development for a period of not less than twenty four (24) months following the completion of all public improvements, common area improvements, and the developer's relinquishing its control of any and all owners' associations.
  3. Common ownership or control as required herein shall mean unity of ownership or legal authority to act on behalf of all owners which shall be evidenced by deed, contract, management agreement or other written guarantee.
- D. Compatible Uses: That the uses permitted in the planned unit development shall be compatible to each other and with existing land use in the surrounding area. Uses shall be deemed compatible if they comply with

the underlying zoning district and they are so designed, located, and proposed to be operated so that the public health, safety and welfare will be protected and such uses will not cause appreciable injury or damage to other property in the area in which it is located.

E. Necessity: That the planned unit development will be responsive to a demonstrated need within the community.

F. Height Provisions: That the maximum height permitted in the planned unit development, exclusive of steeples, belfries, spires, chimneys, smoke stacks, cooling towers, elevator bulkheads, parapet walls, and building equipment penthouses shall not exceed the maximum height permitted for the zoning district in which the development is located.

1. Provided such buildings do not exceed thirty feet (30') in height the minimum horizontal distance between buildings (including their appurtenances) of one story, two (2) stories, three (3) stories, or combinations thereof, shall not be less than thirty feet (30').

2. In the case of buildings exceeding thirty feet (30') in height, the space between buildings shall be equal to the height of the tallest building from which the measurement is taken.

G. Yards: That the required yards along the periphery of the planned unit development shall be at least equal in width or depth to the greater of the required yard for real property adjacent to the planned unit development or a distance not less than the height of the closest building to such yard, unless such planned unit development is located adjacent to real estate owned by the Illinois toll highway authority, in which event the yard adjacent to such real estate shall be fifty feet (50').

H. Density: That residential density of the planned unit development shall not exceed in number of dwelling units the maximum number of lots that could be achieved through a conventional subdivision of the site as demonstrated by the subdivision sketch plan. It is understood that whenever the development is located in more than one zoning district, the number of allowable dwelling units must be separately calculated for each portion of the development that is in a separate zoning district. Thereafter the combined total of all dwelling units so calculated as allowable may be constructed and distributed within the entire planned unit development without concern for the respective zoning districts within which the planned unit development is located, provided there is compliance with building locations shown upon the site plan approved for such planned unit development.

I. Traffic Circulation: That the planned unit development shall include a traffic plan which will provide ingress and egress which is designed to minimize traffic congestion in the public streets outside the planned unit development and facilitate the free flow of traffic, both vehicular and pedestrian, within the planned unit development. The streets and other traffic thoroughfares, public or private, provided in such planned unit development shall conform with at least the minimum requirements for streets and public ways of the ordinances of the city of Prospect Heights.

J. Preservation Of Landscape: The landscape shall be preserved in its natural state, insofar as practicable, by minimizing tree and soil removal, and any grade changes shall be in keeping with the general appearance of neighboring developed areas.

K. Relationship Of Proposed Structures: Proposed structures shall be related harmoniously to the terrain and to existing structures in the vicinity and have a visual relationship to the existing nearby structures. The achievement of such relationship may include the creative enclosure of space in conjunction with other existing buildings or other proposed buildings and the creation of focal points with respect to avenues of approach, terrain features or other buildings.

L. Functional And Mechanical Features: Exposed storage areas, trash, and garbage retainers, exposed machinery installations, service areas, truck loading areas, utility buildings and structures, and similar accessory areas and structures shall be accounted for in the design of the project and made as unobtrusive as possible. They shall be subject to such setbacks, special planting or other screening methods as shall reasonably be required to prevent their being incongruous with the existing or contemplated environment and the surrounding properties.

M. Visual And Acoustical Privacy: The development shall provide reasonable visual and acoustical privacy for each building and dwelling unit. Fences, insulation, walls, barriers and landscaping shall be used as appropriate, for the protection and aesthetic enhancement of property and the privacy of its occupants, screening of objectionable views or uses, and reduction of noise.

N. Common Open Space: Each residential planned unit development permit shall have a site plan which contains at least twenty percent (20%) usable common open space, except as it may be modified by the plan/zoning board of appeals in accord with this chapter.

1. Ineligible Area: Such usable common open space shall not include:

- a. Areas reserved for the exclusive use or benefit of an individual occupant;
- b. Dedicated streets and other public rights of way;
- c. Vehicular drives, private streets, and parking, loading and storage areas; nor
- d. Strips of land less than ten feet (10') wide.

2. Access: Primary (abutting) access from such common open space to each building site need not be provided; however, convenient access through permanent easement must be provided and perpetually guaranteed to all residents not granted primary access.

3. Recreational Facilities: The only recreational facilities permitted within any common open space tract are those which are graphically shown on the face of the development plan at the time of approval by the mayor and city council; provided however, that any development plan may be amended through the procedures specified in this chapter.

4. Character And Quality: No proposed area on a site plan may be accepted as usable common open space unless its character and quality have been reviewed by the plan/zoning board of appeals and approved by the mayor and city council. When making its determination, the plan/zoning board of appeals and mayor and city council shall give consideration to the following variables:

- a. The size and character of the structures to be constructed within the planned unit development;
- b. The character of surrounding development;
- c. The topography and existing amenities of the proposed area, including trees, ground cover and other natural features;
- d. The manner in which the proposed area is to be improved and maintained for recreational or amenity purposes; and
- e. The existence of public parks or other public recreational facilities in the vicinity and the relationship thereto.

5. Ownership And Maintenance: All land shown on the final development plan as common open space must be conveyed and maintained under one of the following options:
- a. Public Agency: It may be conveyed to a public agency acceptable to the mayor and city council, which agency will agree to maintain the common open space and any authorized improvements placed upon it according to enumerated criteria.
  - b. Private Association: It may be conveyed to a private association or similar organization formed by a condominium agreement, townhouse declaration, indenture, restrictive covenant or other binding agreement acceptable to the mayor and city council. The legal instrument(s) creating such association or organization must specify that the common open space and related authorized improvements will be maintained according to the enumerated criteria and shall include a provision granting the city a right to enforce the same.
- O. Surface Water Drainage: In conformance with the applicable storm water management regulations contained in this code, special attention shall be given to proper site surface drainage so that removal of surface waters will not adversely affect neighboring properties or the public storm drainage system. (Ord. 0-05-01, 1-18-2005, eff. 1-28-2005)

Chairman Kempa requested a motion to recommend approval of PZBA Case #26-03 the petition for a Special Use for a Planned Unit Development in the R-2 General Residential District with the following conditions:

- 1) Acceptance of Group Exhibit 1 – PZBA Case #20-08 all exhibits, documents and testimony for the 69 Unit Townhome application.
- 2) Updated Traffic Study prior to final development plan approval

Motion to approve recommend approval by Commission Saewert, Second by Commissioner Patel. Motion approved by a vote 6 ayes, 1 nay.

## EXHIBIT "B"

### Legal Description

PARCEL 1: THAT PART OF THE WEST HALF OF THE SOUTH HALF OF THE SOUTH HALF OF THE NORTHEAST QUARTER AND THAT PART OF THE WEST HALF OF THE NORTH HALF OF THE NORTH HALF OF THE NORTH HALF OF THE SOUTHEAST QUARTER TAKEN AS A TRACT (EXCEPT THE WEST 710 FEET AND EXCEPT THE EAST 201 FEET OF THE WEST 911 FEET OF THE SOUTH 900 FEET AND EXCEPT THE SOUTH 480 FEET), ALL IN SECTION 15, TOWNSHIP 42 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

PARCEL 2: THE SOUTH 480 FEET OF THAT PART OF THE WEST HALF OF THE SOUTH HALF OF THE SOUTH HALF OF THE NORTHEAST QUARTER AND THAT PART OF THE WEST HALF OF THE NORTH HALF OF THE NORTH HALF OF THE NORTH HALF OF THE SOUTHEAST QUARTER TAKEN AS A TRACT (EXCEPT THE WEST 710 FEET AND EXCEPT THE EAST 201 FEET OF THE WEST 911 FEET OF THE SOUTH 900 FEET) ALL IN SECTION 15, TOWNSHIP 42 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.



# City of Prospect Heights

Department of Building & Zoning  
8 North Elmhurst Road, Prospect Heights Illinois, 60070-6070  
Office: 847/398-6070 x 211-FAX: 847/590-1854  
[www.prospect-heights.il.us](http://www.prospect-heights.il.us)

## MEMORANDUM

Date: February 17, 2026

To: Maciej Kempa – Chairman  
Plan/Zoning Board Commissioners

From: Daniel A. Peterson, Director of Building & Development

Subject: ZBA Case No. 26-03 SU, PUD Subdivision  
Neder Capital Services LLC., Reserve at Muir Park Residential Development  
Staff Review and Proposed Conditional for Approval

**Issue:** Neder Capital Services LLC is the contract purchaser of 1001 Oak Ave., ± 5.2-acre parcel and desire to seek approval and reinstatement of the Special Use/PUD for to develop a 69-unit townhome subdivision and redevelopment of 999 Oak Ave., Muir Park approved by Ordinance #O-20-37.

**Background:** In 2020, Lexington Homes applied for a Map Amendment to rezone the property to R-2 General Residential District, Special Use for a Planned Unit Development to construct a 69-unit townhome subdivision. The project included a land swap with the Prospect Heights Park District and the creation of a TIF District to assist with the costs to install a neighborhood well and water system, storm water management and fire protection and the redevelopment of Muir Park.

The PZBA held a public hearing that spanned four meetings, contained over 50 exhibits, hours of public comments and testimony. After the closure of the public hearing, the Planning Zoning Board of Appeals (PZBA) members voted to recommend approval of the 69-unit version to the City Council for approval. All the previous exhibits, testimony presented during the public hearing were considered are contained in the public record of the case.

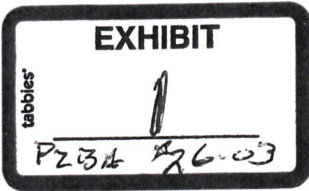
The city council approved ordinance #0-20-37 granting the map amendment, special use, planned unit development and preliminary subdivision approvals. Subsequently, the Tax Increment Finance District was created. Intergovernmental agreements were executed based upon the approved based upon the development plans.

However, Lexington Homes and the property owner could not finalize the sale of the property and the project stalled.

Neder Capital has a contract to purchase the property. Reinstatement of the special use will allow the applicants to close on the property and begin work to secure the necessary permits to begin development.

**Conclusion**

Staff concur with the request of Neder Capital Services LLC to reinstate the special use/PUD for the 69-unit townhome project and recommend that the PZBA forward a positive recommendation of PZBA Case #26-03 to the city council for consideration and action.



FOR OFFICE USE ONLY:  
FEE PAID 2400 + 500  
RECEIPT # 1/23/26  
DATE  
REC'D BY  
CASE # 211-03  
MEETING DATE 2.25.26

PLAN/ZONING BOARD OF APPEALS  
APPLICATION

Special use (\$400)  
Variation (\$150)  
Text Amendment (\$300)

Map Amendment (Refer to Ord. 0-03-18)  
Subdivision/PUD (Refer to Ord. 0-03-18)  
Lot Consolidation (Refer to Ord. 0-03-18)  
Appearance Review

APPLICANT: Neder Capital Services LLC  
ADDRESS: 370 W Dundee road  
Wheeling, IL, 60090  
PHONE: 847-630-0479  
E-MAIL: info@forestrywheeling.com

ADDRESS OF SUBJECT PROPERTY: Reserve at Muir Park, 1001 Oak Ave., Prospect Heights, IL  
and 999 Oak Ave., Prospect Heights, IL (Muir Park)

PROPERTY IS LOCATED IN THE R-1\* ZONING DISTRICT. (\*R-1 Single-Family)

#1a  
See Owners and Legal  
Descriptions Attached  
Page 2

APPLICABLE SECTION OF ORDINANCE: #1b See Attached Page 2

DESCRIPTION OF REQUEST: #1c See Attached Page 2

Are there any covenants, conditions, restrictions or floodplain issues concerning type of improvements, setbacks, area or height requirements, occupancy or use limitations, etc. placed on the property and now of record: YES  NO   
If yes, please describe:

#2 See attached Title Commitment on the 1001 Oak Avenue property

Has the property been the subject of previous or pending administrative legislative or court action:  
YES  NO  If yes, give details: \_\_\_\_\_

The follow items MUST be submitted at time of filing: #3 See Applicant's Project Narrative and Exhibits, attached.

1. Application (12 copies)
2. Plat of Survey (12 copies) – must be drawn to scale and indicate the location of the proposed addition or construction and must contain the legal description of the property, along with additional information to support the application. (12 copies) \*Note - please include one copy for file no longer than 11x17.
3. Proof of Ownership (1 copy)
4. Letter indicating Hardship (for variations only 12 copies)
5. Notice to Property Owners (1 copy)
6. List of Property Owners (1 copy) obtained from the Wheeling Township Office, 1616 N. Arlington Heights Rd. Arlington Heights, IL 60004 – Tel.847-259-1515 of all properties lying within 350ft. of property line/subject's property once approved confirmation letter from the City of Prospect Heights is received.
7. Application Fee (cash or check made payable to: City of Prospect Heights)

1.23.26  
Date:

Signature of Applicant

**Reserve at Muir Park**

**1001 Oak Avenue, Prospect Heights, Illinois (PIN: 03-15-200-016)**

**999 Oak Avenue / Muir Park, Prospect Heights, Illinois (PIN: 03-15-200-017)**

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**Attachment to Neder Capital Services LLC Plan / Zoning Board of Appeals Application**

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**#1a Owners and Legal Description**

**Property: 1001 Oak Avenue, Prospect Heights, Illinois 60070**

**PIN: 03-15-200-016**

**Owner:**

Robert L. Bowie, as Trustee of the Robert L. Bowie Revocable Trust dated September 8, 1995, as to an undivided one-half interest, and Georgia G. Bowie, as Trustee of the Georgia G. Bowie Revocable Trust dated September 8, 1995, as to an undivided one-half interest.

**Legal Description:**

That part of the West ½ of the South ½ of the South ½ of the Northeast ¼ and that part of the West ½ of the North ½ of the North ½ of the North ½ of the Southeast ¼ taken as a tract (except the West 710.00 feet and except the East 201.00 feet of the West 911.00 feet of the South 900.00 feet and except the South 480.00 feet thereof) all in Section 15, Township 42 North, Range 11, East of the Third Principal Meridian, in Cook County, Illinois.

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**#1b Applicable Sections of the Ordinance**

5-6-1: R-1 Single Family  
5-6-3: R-2 General Residential District  
5-10-10: Amendments  
Chapter 11: Planned Unit Development

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**#1c Description of Request**

1. Subdivision and Special Use for a Planned Unit Development

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## Attachment to Application #2

### Proposal to Develop 69 Rowhomes and Improve Muir Park

1001 Oak Avenue and 999 Oak Avenue (Muir Park)  
Prospect Heights, Illinois

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## PROJECT NARRATIVE

### The Property

The property is comprised of two (2) distinct parcels, which are differentiated as follows:

1. **School Property – 1001 Oak Avenue (PIN: 03-15-200-016)**

The northern ±5.2-acre parcel is improved with a vacant, abandoned school building. The School Property is owned by Robert L. Bowie, as Trustee of the Robert L. Bowie Revocable Trust dated September 8, 1995, as to an undivided one-half interest, and Georgia G. Bowie, as Trustee of the Georgia G. Bowie Revocable Trust dated September 8, 1995, as to an undivided one-half interest. The legal description of the School Property is attached in **Exhibits 2 and 3**.

2. **Park District Property – Muir Park (PIN: 03-15-200-017)**

The southern ±0.64-acre parcel is part of Muir Park, a ±4.5-acre parcel owned by the Prospect Heights Park District. The legal description of Muir Park and the proposed swap parcel are attached as **Exhibits 2, 3, and 4**, respectively (the “Park Property”).

Collectively, the School Property and the Park Property are referred to herein as the “**Property**.” A depiction of the proposed swap parcel is attached in **Exhibit 5**.

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### The Petitioner — Neder Capital Services LLC

Neder Capital Services LLC, or an owned subsidiary, serves as the Petitioner and developer for the proposed Reserve at Muir Park development. Neder Capital Services LLC brings extensive experience in residential development, land entitlement, public-private coordination, and complex infill redevelopment projects throughout the Chicagoland area. The development team has substantial experience delivering high-quality townhome and multi-family residential

projects that integrate architectural excellence, efficient land use, and community-oriented design.

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## I. The Proposed Development

The Petitioner proposes to develop the properties at 1001 Oak Avenue (School Property) and 999 Oak Avenue (the swap portion of Muir Park, Park District Property) in the City of Prospect Heights for residential use. The proposed development consists of twelve (12) residential buildings containing sixty-nine (69) rowhome units and a twenty-six (26) space parking lot to serve both the development and Muir Park. A copy of the development plan identifying these improvements and others is attached as **Exhibit 6**. The development shall be known as **Reserve at Muir Park**.

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## II. Planned Unit Development Standards

In addition to the standards generally applicable to special uses, as provided in Section 5-10-9 of this title, no planned unit development shall be approved unless the Plan/Zoning Board of Appeals shall also find pursuant to Section 5-11-3:

**A. Conformance:** That said planned unit development conforms with the purpose of this chapter.

The property is challenging to develop. The School Property is a relatively narrow parcel of land (408' wide) wedged between residential developments to the north, south, east and west. In addition, the School Property is impressed with easements of access and a shared parking easement running to the benefit of its neighbor to the south - the Park District. Neder Capital Services LLC or an owned subsidiary and its engineering and architectural teams have brought their considerable talents to developing a viable plan that incorporates excellence in design, and, in partnership with the Park District, affords a usable open space available to all of the residents of the City, Reserve at Muir Park and the surrounding residential developments both within the City and in Wheeling.

The proposed plan is in keeping with the overall land use intensity and open space objectives found in the City's Comprehensive Plan. The proposed development plan fosters creative design, efficient use of land, enhances appearance; encourages creation of open space; and provides compatibility with surrounding areas as further described herein.

**B. Size of Development:** That any residential development is located on a tract of land of three (3) or more contiguous acres and any commercial development is located on a tract of land of one or more contiguous acres.

Altogether the School Property and the Park District Property comprise 9.6 +/- acres.

**C. Common Ownership:** That the planned unit development will be on a tract of land under common ownership or control.

1. Such common ownership or control shall extend to all common open space, landscaping, exterior maintenance and all other exterior common area aspects of the development for a period of not less than twenty (20) years.
2. Said common ownership or control shall extend to all portions of the planned unit development for a period of not less than twenty four (24) months following the completion of all public improvements, common area improvements, and the developer's relinquishing its control of any and all owners' associations.
3. Common ownership or control as required herein shall mean unity of ownership or legal authority to act on behalf of all owners which shall be evidenced by deed, contract, management agreement or other written guarantee.

Reserve at Muir Park shall be owned and controlled by Neder Capital Services LLC or an owned subsidiary and its assigns and successors. The common areas shall be subject to a declaration of covenants and restrictions establishing the controls and authorities vested in the homeowners association. Neder Capital Services LLC or an owned subsidiary accepts the conditions and stipulations set forth in subparagraph 1-3 above.

**D. Compatible Uses:** That the uses permitted in the planned unit development shall be compatible to each other and with existing land use in the surrounding area. Uses shall be deemed compatible if they comply with the underlying zoning district and they are so designed, located, and proposed to be operated so that the public health, safety and welfare will be protected and such uses will not cause appreciable injury or damage to other property in the area in which it is located.

The development plan is for an entirely residential development consisting of 69 rowhomes. Such a residential use is compatible with the existing residential land uses in the immediate surrounding area as described herein. Due to the inherent compatibility of the proposed use with surrounding land uses the proposed development will not cause any appreciable injury or damage to the surrounding land uses.

**E. Necessity:** That the planned unit development will be responsive to a demonstrated need within the community.

Residential development in the City has been stunted by a combination of an absence of vacant developable land in the City and the absence of a public water supply.

a. The Last Single Family Subdivision: "The Orchards of Ann" subdivision was approved by ordinance #O-05-22 on June 22, 2005.

b. The Last attached Single Family product approved by ordinance #O-81-10, constructed in 1995 and 1996 (Villas of Rob Roy).

In that period of time the Villages of Wheeling, Glenview and Arlington Heights have enjoyed considerable growth and development.

**F. Height Provisions:** That the maximum height permitted in the planned unit development, exclusive of steeples, belfries, spires, chimneys, smokestacks, cooling towers, elevator bulkheads, parapet walls, and building equipment penthouses shall not exceed the maximum height permitted for the zoning district in which the development is located.

1. Provided such buildings do not exceed thirty feet (30') in height the minimum horizontal distance between buildings (including their appurtenances) of one story, two (2) stories, three (3) stories, or combinations thereof, shall not be less than thirty feet (30').
2. In the case of buildings exceeding thirty feet (30') in height, the space between buildings shall be equal to the height of the tallest building from which the measurement is taken.

The front elevations are two and one-half (2½) stories, 25 feet from grade to the eave, 33'-6" to the roof ridge, 29'-6" to the average roof mean. The rear elevations are three (3) stories in height, 28'-6" feet from grade to the eave, 36'-6" to the roof ridge, 32'-6" to the average roof mean.

To the extent these elevations are inconsistent with the City's standards, Neder Capital Services LLC or an owned subsidiary requests the City to grant them a departure to permit the building elevations as proposed.

**G. Yards:** That the required yards along the periphery of the planned unit development shall be at least equal in width or depth to the greater of the required yard for real property adjacent to the planned unit development or a distance not less than the height of the closest building to such yard, unless such planned unit development is located adjacent to real estate owned by the Illinois toll highway authority, in which event the yard adjacent to such real estate shall be fifty feet (50').

Neder Capital Services LLC or an owned subsidiary requests a departure from the strict application of this standard wherein it requests approval of the Development Plan subject to the design standards described in subparagraph K below and the elevations attached as attached as **Exhibits 7 A, B, and C**.

**H. Density:** That residential density of the planned unit development shall not exceed in number of dwelling units the maximum number of lots that could be achieved through a conventional subdivision of the site as demonstrated by the subdivision sketch plan. It is understood that whenever the development is located in more than one zoning district, the number of allowable dwelling units must be separately calculated for each portion of the development that is in a

separate zoning district. Thereafter the combined total of all dwelling units so calculated as allowable may be constructed and distributed within the entire planned unit development without concern for the respective zoning districts within which the planned unit development is located, provided there is compliance with building locations shown upon the site plan approved for such planned unit development.

Neder Capital Services LLC or an owned subsidiary requests any departures from this requirement to the extent that the City's application of this standard yields less than 69 rowhomes). The R-2 Residential Zoning District stipulates 3,000 sf/ unit (assuming all 3-Bedroom units). Applying this standard to the School Site the density is 3,732 sf/ unit.

**I. Traffic Circulation:** That the planned unit development shall include a traffic plan which will provide ingress and egress which is designed to minimize traffic congestion in the public streets outside the planned unit development and facilitate the free flow of traffic, both vehicular and pedestrian, within the planned unit development. The streets and other traffic thoroughfares, public or private, provided in such planned unit development shall conform with at least the minimum requirements for streets and public ways of the ordinances of the city of Prospect Heights.

Neder Capital Services LLC or an owned subsidiary has commissioned a traffic study to assess the traffic conditions in the area, the expected traffic circulation patterns for the proposed development and to identify planned improvements to minimize traffic congestion in the public streets outside the planned unit development and facilitate the free flow of traffic, both vehicular and pedestrian, within the planned unit development. The internal street system will be designed and maintained as private roads consistent with the City's standards. The maintenance and repair of said streets shall be the responsibility of the homeowner's association. The traffic engineer is recommending the elimination of the existing left turn restriction at Oak Avenue and Drake Terrace.

**J. Preservation of Landscape:** The landscape shall be preserved in its natural state, insofar as practicable, by minimizing tree and soil removal, and any grade changes shall be in keeping with the general appearance of neighboring developed areas.

Due to the previous and current development of the School Property there exists little if any significant natural landscaping on the School Property worthy of preservation. The natural landscaping that does exist is low quality consisting primarily of common buckthorn, eastern cottonwood and white mulberry. The proposed development which includes significant improvements to Muir Park and a creative landscaping plan prepared by Dickson Design Studio addresses this standard. A narrative of the proposed landscape design is attached as **Exhibits 8 and 9**.

**K. Relationship of Proposed Structures:** Proposed structures shall be related harmoniously to the terrain and to existing structures in the vicinity and have a visual relationship to the existing nearby structures. The achievement of such relationship may include the creative enclosure of space in conjunction with other existing buildings or other proposed buildings and

the creation of focal points with respect to avenues of approach, terrain features or other buildings.

Because of the site constraints on the School Property, there are not many alternative arrangements of the buildings. Neder Capital Services LLC or an owned subsidiary' architects, BSB Design, have incorporated the following elements into the design to address the standards above.

The proposed rowhomes are comprised of multiple unit types ranging in size from 1,751 sq. ft. to 1,913 sq. ft. and consisting of 48 2-bedroom units and 21-3 bedroom units. The floor plans can be intertwined and arranged to create multiple building configurations of varying number of units adjusting to the site's characteristics. The individual homes' floor plans are contemporary in design with open living spaces featuring spacious kitchens, bedrooms, bathrooms and closets. Each residence has a two-car internal garage as well as individual front entrances and private rear yard deck terraces.

The exterior facades are designed in a classical colonial style and incorporate a variety of durable exterior materials, colors, details and features. Each residence has a private front entrance on the two and a half story front facade. The first and second floors feature masonry, porch roofs, varying fenestration patterns from home to home as well as an undulating roof scape with multiple gables adding to the streetscape articulation. The side elevations may feature optional bay windows while the rear elevation incorporates cantilevered bay windows and cantilevered private decks for the homeowners.

**L. Functional And Mechanical Features:** Exposed storage areas, trash, and garbage retainers, exposed machinery installations, service areas, truck loading areas, utility buildings and structures, and similar accessory areas and structures shall be accounted for in the design of the project and made as unobtrusive as possible. They shall be subject to such setbacks, special planting or other screening methods as shall reasonably be required to prevent their being incongruous with the existing or contemplated environment and the surrounding properties.

Neder Capital Services LLC or an owned subsidiary accepts the conditions and stipulations set forth above.

**M. Visual and Acoustical Privacy:** The development shall provide reasonable visual and acoustical privacy for each building and dwelling unit. Fences, insulation, walls, barriers and landscaping shall be used as appropriate, for the protection and aesthetic enhancement of property and the privacy of its occupants, screening of objectionable views or uses, and reduction of noise.

Neder Capital Services LLC or an owned subsidiary accepts the conditions and stipulations set forth above. Proposed plant material will enhance the overall development and the building architecture. It will be carefully and purposely sited to screen views and take into consideration window locations and pedestrian and vehicular visibility (both for aesthetics and safety).

**N. Common Open Space:** Each residential planned unit development permit shall have a site plan which contains at least twenty percent (20%) usable common open space, except as it may be modified by the plan/zoning board of appeals in accord with this chapter.

1. **Ineligible Area:** Such usable common open space shall not include:
  - a. Areas reserved for the exclusive use or benefit of an individual occupant;
  - b. Dedicated streets and other public rights of way;
  - c. Vehicular drives, private streets, and parking, loading and storage areas; nor
  - d. Strips of land less than ten feet (10') wide.

Neder Capital Services LLC or an owned subsidiary requests a small departure from this standard if only the School Site is included in the calculation.

2. **Access:** Primary (abutting) access from such common open space to each building site need not be provided; however, convenient access through permanent easement must be provided and perpetually guaranteed to all residents not granted primary access.

Neder Capital Services LLC or an owned subsidiary accepts the conditions and stipulations set forth above.

3. **Recreational Facilities:** The only recreational facilities permitted within any common open space tract are those which are graphically shown on the face of the development plan at the time of approval by the mayor and city council; provided however, that any development plan may be amended through the procedures specified in this chapter.

Neder Capital Services LLC or an owned subsidiary accepts the conditions and stipulations set forth above.

4. **Character and Quality:** No proposed area on a site plan may be accepted as usable common open space unless its character and quality have been reviewed by the plan/zoning board of appeals and approved by the mayor and city council. When making its determination, the plan/zoning board of appeals and mayor and city council shall give consideration to the following variables:
  - a. The size and character of the structures to be constructed within the planned unit development;
  - b. The character of surrounding development;
  - c. The topography and existing amenities of the proposed area, including trees, ground cover and other natural features;
  - d. The manner in which the proposed area is to be improved and maintained for recreational or amenity purposes; and
  - e. The existence of public parks or other public recreational facilities in the vicinity and the relationship thereto.

Neder Capital Services LLC or an owned subsidiary accepts the conditions and stipulations set forth above.

5. **Ownership and Maintenance:** All land shown on the final development plan as common open space must be conveyed and maintained under one of the following options:
- a. **Public Agency:** It may be conveyed to a public agency acceptable to the mayor and city council, which agency will agree to maintain the common open space and any authorized improvements placed upon it according to enumerated criteria.
  - b. **Private Association:** It may be conveyed to a private association or similar organization formed by a condominium agreement, townhouse declaration, indenture, restrictive covenant or other binding agreement acceptable to the mayor and city council. The legal instrument(s) creating such association or organization must specify that the common open space and related authorized improvements will be maintained according to the enumerated criteria, and shall include a provision granting the city a right to enforce the same.

Neder Capital Services LLC or an owned subsidiary accepts the conditions and stipulations set forth above in subparagraph 5(b) above.

**O. Surface Water Drainage:** In conformance with the applicable storm water management regulations contained in this code, special attention shall be given to proper site surface drainage so that removal of surface waters will not adversely affect neighboring properties or the public storm drainage system. (Ord. 0-05-01, 1-18-2005, eff. 1-28-2005)

Neder Capital Services LLC or an owned subsidiary accepts the conditions and stipulations set forth above.

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### **III. Map Amendments Standards for Map and Text Amendments**

By virtue of the City Council's adoption of a map amendment on this Property it has necessarily found that: i) the proposed amendment is beneficial to the entire community and will not be harmful to the local area in particular; a need exists for the general type of use proposed and that the specific proposal will indeed satisfy it more closely than the other possible uses; the use proposed is compatible with the current comprehensive land use plan of the city of Prospect Heights, in effect on the date of the application; the proposed use is compatible and harmonious with uses in the surrounding; and that the area described in the petition does not lie wholly or partly in the floodplain as defined by the Illinois department of transportation, division of water resources.

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### **IV. Special Use Standards**

**Standards:** No special use shall be recommended by the plan/zoning board of appeals unless said board shall find:

1. That the establishment, maintenance or operation of the special use will not be unreasonably detrimental to or endanger the public health, safety, morals, comfort or general welfare.
2. That the special use will not be injurious to the use and enjoyment of other property in the community for the purposes already permitted, nor diminish and impair property values within the community.
3. That the establishment of the special use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.

By virtue of the narrative above addressing consistency with the standards for a Planned Unit Development the requested special use for a residential planned unit development for either development plan is consistent with Special Use Standards 1-3 above are satisfied. In addition, the Property as well as the residential subdivision to the north is located within the City. The Property is currently zoned R-1 Residential Single Family. The properties to the east, south and west are all located in the Village of Wheeling ("Wheeling"). The property to the west in the Village of Wheeling is zoned R-4 Multi-Family Residential, the densest residential zoning classification in Wheeling. The entirety of the western property line of the Property is developed with two story multi-family buildings. Along the eastern border, that property in Wheeling is zoned R- 3A Single-Family-6,000 Sq Ft and developed with single family homes on a minimum lot size of 6,000 Sq Ft. To the east of Muir Park that property located in Wheeling is zoned R-3 Single-Family-7,000 Sq Ft and developed with the Pleasant Run Park. To the south of Muir Park the land is zoned R-3 Single-Family-7,000 Sq Ft and developed with single family homes on a minimum lot size of 7,000 Sq Ft.

4. That adequate utilities, access roads, drainage and/or other necessary facilities have been or are being provided.

a. **Sanitary Sewer.** Reserve at Muir Park will utilize existing sanitary sewer along the northern portion of the site and existing storm sewer.

b. **Potable Water.** Water will be provided utilizing a community well and pump house to be constructed by Neder Capital Services LLC or an owned subsidiary. (See below for explanation of the "Water Problem").

5. That adequate measures have been or will be taken to provide ingress or egress so designed to minimize traffic congestion in the public streets.

Neder Capital Services LLC or an owned subsidiary will utilized the previously commissioned traffic study to assess the traffic conditions in the area, the expected traffic circulation patterns for the proposed development and identify planned improvements to minimize traffic congestion

in the public streets outside the planned unit development and facilitate the free flow of traffic, both vehicular and pedestrian, within the planned unit development.

6. That the special use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may in each instance be modified by the city council pursuant to the recommendations of the plan/zoning board of appeals.

Neder Capital Services LLC or an owned subsidiary has requested as companion relief a planned unit development which authorizes the City to permit departures from the strict application of the requirements in the underlying requested R-2 district and the Subdivision code. 26' Front to front private streets in Ingress-Egress Easements has been included in the design.

7. That the area described in the petition does not lie wholly or partly in floodplain, as defined by the flood control ordinances of the city; or, if it does lie wholly or partly within the floodplain, that adequate provisions for storage, runoff control and floodwater retention, as appropriate, have been made.

All regulatory requirements pertaining to flood plains will be adhered to. There is an existing FEMA Zone A floodplain located on the Property that will be impacted by the proposed development. The impacted floodplain will be incorporated into the overall stormwater management design of the Property in accordance with the requirements of the various Jurisdictional Agencies.

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## **V. The Water Supply Problem**

Neder Capital Services LLC or an owned subsidiary spent countless months seeking to obtain a water supply for this development. Wheeling has refused Neder Capital Services LLC or an owned subsidiary' request for water service and Neder Capital Services LLC or an owned subsidiary has determined that the private water company alternative is neither feasible nor viable.

Without a viable water supply, any future tax generating development is an impossibility. The only choices available for developing the School Property are either disconnection from the City and annexation into Wheeling or leaving the School Property undeveloped or under-developed with a church or other non-tax generating use.

The City Council has indicated that it does not embrace and support the disconnection alternative but is willing to consider a public-private financing mechanism through the use of tax increment financing to fund Neder Capital Services LLC or an owned subsidiary' eligible expenses to make its substantial up-front expenditures viable financially.

In addition, Neder Capital Services LLC or an owned subsidiary, and the previous petitioner, entered into discussions and appeared before the Prospect Heights Park District on several occasions to discuss the possibility of a swap of land with the Park District ("Park District").

Neder Capital Services LLC or an owned subsidiary proposes to affect a land swap of two equal-sized parcels each with an area of approximately 0.64 acres. (See **Exhibit 4**). Neder Capital Services LLC or an owned subsidiary has proposed to the Park District that each affect a swap; that Neder Capital Services LLC or an owned subsidiary redesign and redevelop the existing baseball field for either a little league baseball field, or another organized sports activity sports; to reconstruct and perpetually maintain a shared parking lot containing 26 parking spaces identified on **Exhibit 6**; to reconstruct and perpetually maintain a large detention pond to serve both the reconfigured Park District Property and the Reserve at Muir Park development and constructing a connecting sidewalk to the existing park lying to the east ("Park Improvements").

In addition, Neder Capital Services LLC or an owned subsidiary has offered the Park District similar terms and is working through an LOI.

The previous petitioner has received a confirmation from IDNR that its consent is not necessary for the Park District to affect the conversion.

In the alternative plan, Neder Capital Services LLC or an owned subsidiary will reconstruct the shared parking lot and assume on behalf of itself and its successors perpetual maintenance and repair of the parking lot.

1 The other approvals include

The establishment of a TIF on the 1001 Oak Ave property and Muir Park (or at least the portion Neder Capital Services LLC or an owned subsidiary purchases) ("Property")

A written agreement with the Park District on the swap.



**Exhibits**

All exhibits referenced herein, including but not limited to **Exhibits 2 through 9**, are attached and incorporated by reference.



**EXHIBIT**  
 2  
 PZBA-26-03

P.L.N. No. 03-45-200-016 (PARCEL 1) [PER COOK COUNTY COOK VIEWER]  
 P.L.N. No. 03-15-200-017 (PARCEL 2) [PER COOK COUNTY COOK VIEWER]

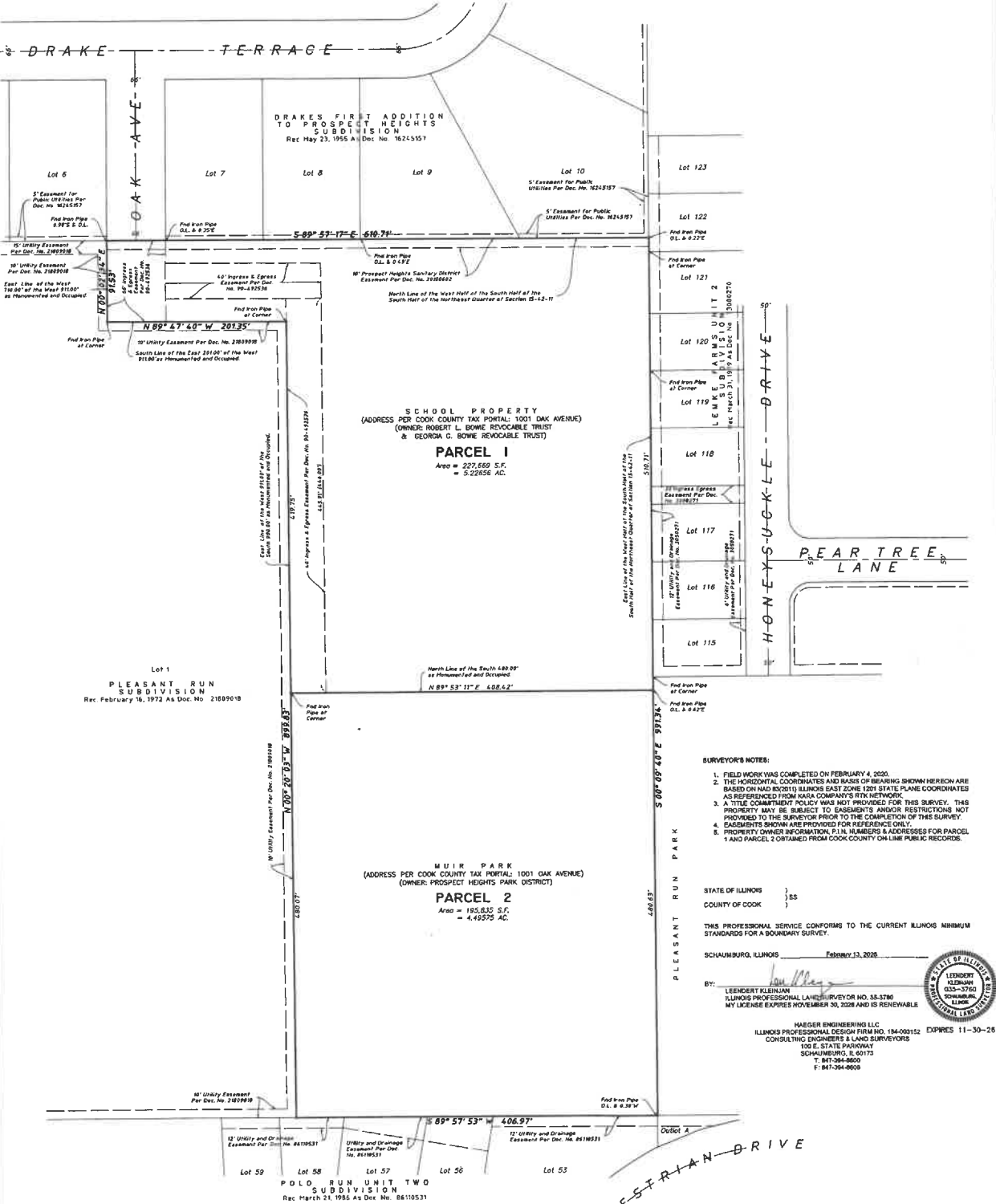
# PLAT OF SURVEY

OF

**PARCEL 1:**  
 THAT PART OF THE WEST HALF OF THE SOUTH HALF OF THE SOUTH HALF OF THE NORTHWEST QUARTER AND THAT PART OF THE WEST HALF OF THE NORTH HALF OF THE NORTH HALF OF THE SOUTHEAST QUARTER TAKEN AS A TRACT EXCEPT THE WEST 710 FEET AND EXCEPT THE EAST 201 FEET OF THE WEST 811 FEET OF THE SOUTH 800 FEET AND EXCEPT THE SOUTH 400 FEET, ALL IN SECTION 15, TOWNSHIP 42 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

**PARCEL 2:**  
 THE SOUTH 400 FEET OF THAT PART OF THE WEST HALF OF THE SOUTH HALF OF THE SOUTH HALF OF THE NORTHWEST QUARTER AND THAT PART OF THE WEST HALF OF THE NORTH HALF OF THE NORTH HALF OF THE SOUTHEAST QUARTER TAKEN AS A TRACT EXCEPT THE WEST 710 FEET AND EXCEPT THE EAST 201 FEET OF THE WEST 811 FEET OF THE SOUTH 800 FEET, ALL IN SECTION 15, TOWNSHIP 42 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

30 15 0 30  
 SCALE: 1" = 30'



- SURVEYOR'S NOTES:**
1. FIELD WORK WAS COMPLETED ON FEBRUARY 4, 2020.
  2. THE HORIZONTAL COORDINATES AND BASIS OF BEARING SHOWN HEREON ARE BASED ON NAD 83(2011) ILLINOIS EAST ZONE 12E1 STATE PLANE COORDINATES AS REFERENCED FROM KARA COMPANY'S RTN NETWORK.
  3. A TITLE COMMITMENT POLICY HAS NOT BEEN PROVIDED FOR THIS SURVEY. THIS POLICY MAY BE SUBJECT TO EASEMENTS AND/OR RESTRICTIONS NOT PROVIDED TO THE SURVEYOR PRIOR TO THE COMPLETION OF THIS SURVEY. EASEMENTS SHOWN ARE PROVIDED FOR REFERENCE ONLY.
  4. PROPERTY OWNER INFORMATION, P.L.N. NUMBERS & ADDRESSES FOR PARCEL 1 AND PARCEL 2 OBTAINED FROM COOK COUNTY ON-LINE PUBLIC RECORDS.

STATE OF ILLINOIS }  
 COUNTY OF COOK } 55

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

SCHAUMBURG, ILLINOIS February 13, 2020

BY: *Leindert Kleinjan*  
 LEENDERT KLEINJAN  
 ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 38-5786  
 MY LICENSE EXPIRES NOVEMBER 30, 2028 AND IS RENEWABLE



HAEGER ENGINEERING LLC  
 ILLINOIS PROFESSIONAL DESIGN FIRM NO. 184-002152 EXPIRES 11-30-26  
 CONSULTING ENGINEERS & LAND SURVEYORS  
 100 E. STATE AVE. 2ND FLOOR  
 SCHAUMBURG, IL 60173  
 T: 815-384-8800  
 F: 815-384-8800

**LEGEND**

Existing Symbol	Description
○	Property Corner
—	Property Line
---	Easement Line
---	Adjacent Lot Line
---	R.O.W. Line
---	Centerline

Created By: Roger Carbit Service  
 Date: 11/18/19

Originally Prepared: 02/13/2016 Project No. 18-219



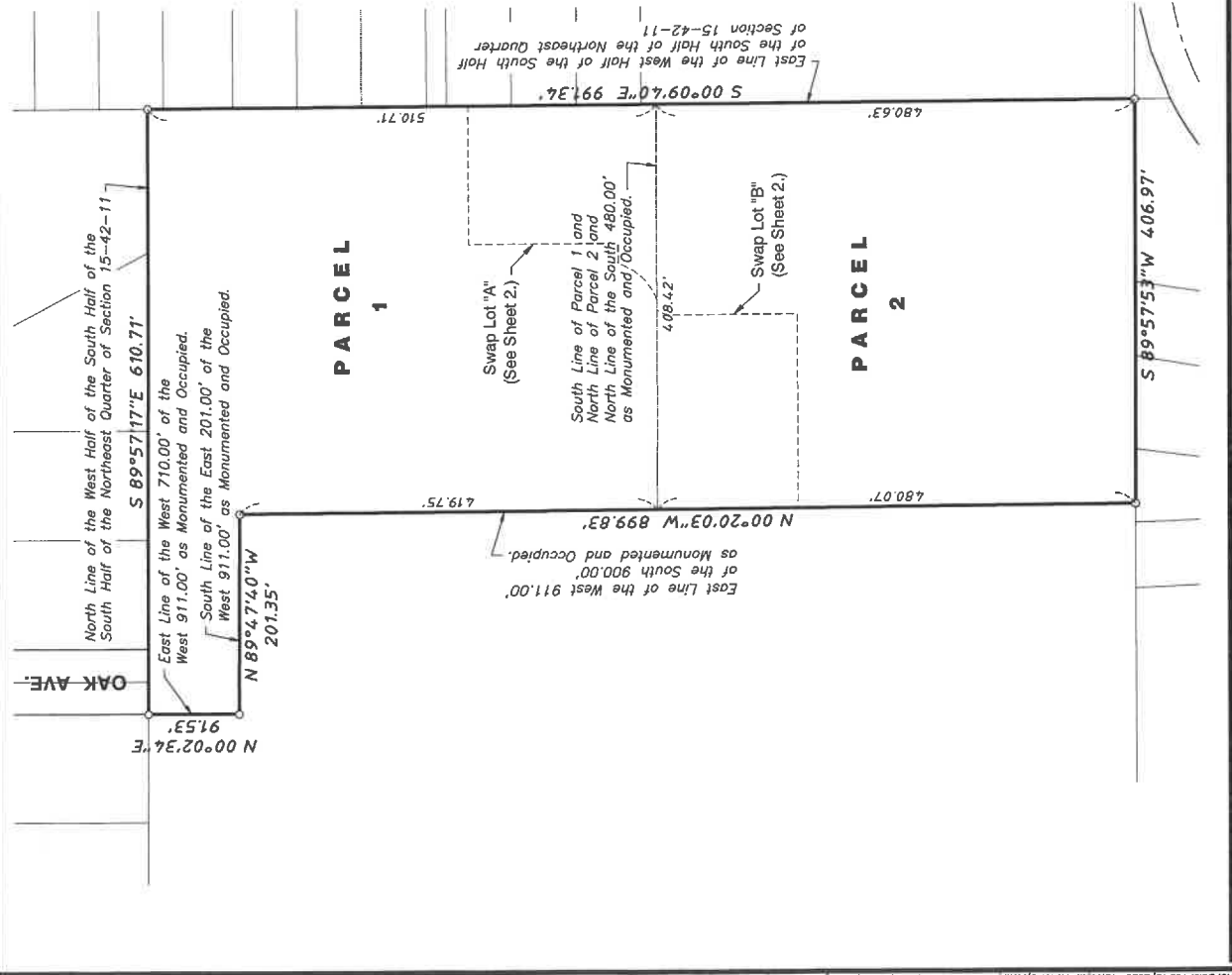
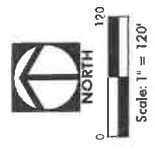
100 East State Parkway, Schaumburg, IL 60173  
 Tel: 815-384-8800 Fax: 815-384-8888  
 Illinois Professional Design Firm License No. 184-002152  
 www.haegerengineering.com



**EXHIBIT**

*4 A*  
P20A - 26-03

Labels



**LEGAL DESCRIPTION OF EXISTING PROPERTY**

**PARCEL 1:**  
 THAT PART OF THE WEST HALF OF THE SOUTH HALF OF THE SOUTH HALF OF THE NORTH HALF OF THE NORTHEAST QUARTER AND THAT PART OF THE WEST HALF OF THE NORTH HALF OF THE NORTHEAST QUARTER TAKEN AS A TRACT (EXCEPT THE WEST 710 FEET AND EXCEPT THE EAST 201 FEET OF THE WEST 911 FEET OF THE SOUTH 900 FEET AND EXCEPT THE SOUTH 480 FEET), ALL IN SECTION 15, TOWNSHIP 42 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

**PARCEL 2:**  
 THE SOUTH 480 FEET OF THAT PART OF THE WEST HALF OF THE SOUTH HALF OF THE SOUTH HALF OF THE NORTHEAST QUARTER AND THAT PART OF THE WEST HALF OF THE NORTH HALF OF THE NORTH HALF OF THE NORTHEAST QUARTER TAKEN AS A TRACT (EXCEPT THE WEST 710 FEET AND EXCEPT THE EAST 201 FEET OF THE WEST 911 FEET OF THE SOUTH 900 FEET) ALL IN SECTION 15, TOWNSHIP 42 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

**HAEGER ENGINEERING**  
 consulting engineers • land surveyors

100 East State Parkway, Schaumburg, Illinois 60173-5300  
 Tel: 815.394.0000 Fax: 815.394.0000  
 Illinois Professional Design Firm License No. 154-00152  
 www.haegerengineering.com

**PROSPECT POINTE**  
 CITY OF PROSPECT HEIGHTS, COOK COUNTY, ILLINOIS

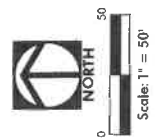
Project Mgr.: T.A.S.  
 Engineer: T.A.S.  
 Date: 2-13-2020  
 Project No. 18-219  
 Sheet 1 / 2

SWAP PARCEL EXHIBIT  
 PROSPECT POINTE  
 CITY OF PROSPECT HEIGHTS, COOK COUNTY, ILLINOIS

**HAEGER ENGINEERING**  
 consulting engineers • land surveyors  
 100 East State Parkway, Schaumburg, Illinois 60173-5300  
 Tel: 647.294.9000 Fax: 647.294.9005  
 Illinois Professional Design Firm License No. 104-003152  
 www.haegerengineering.com

Revision	Date	No.

**EXHIBIT**  
 H B  
 \* 26-03  
 tables



**LEGAL DESCRIPTION OF SWAP LOT "A" AND SWAP LOT "B"**

**SWAP LOT "A"**  
 PROPOSED PARK DISTRICT PROPERTY FROM LEXINGTON

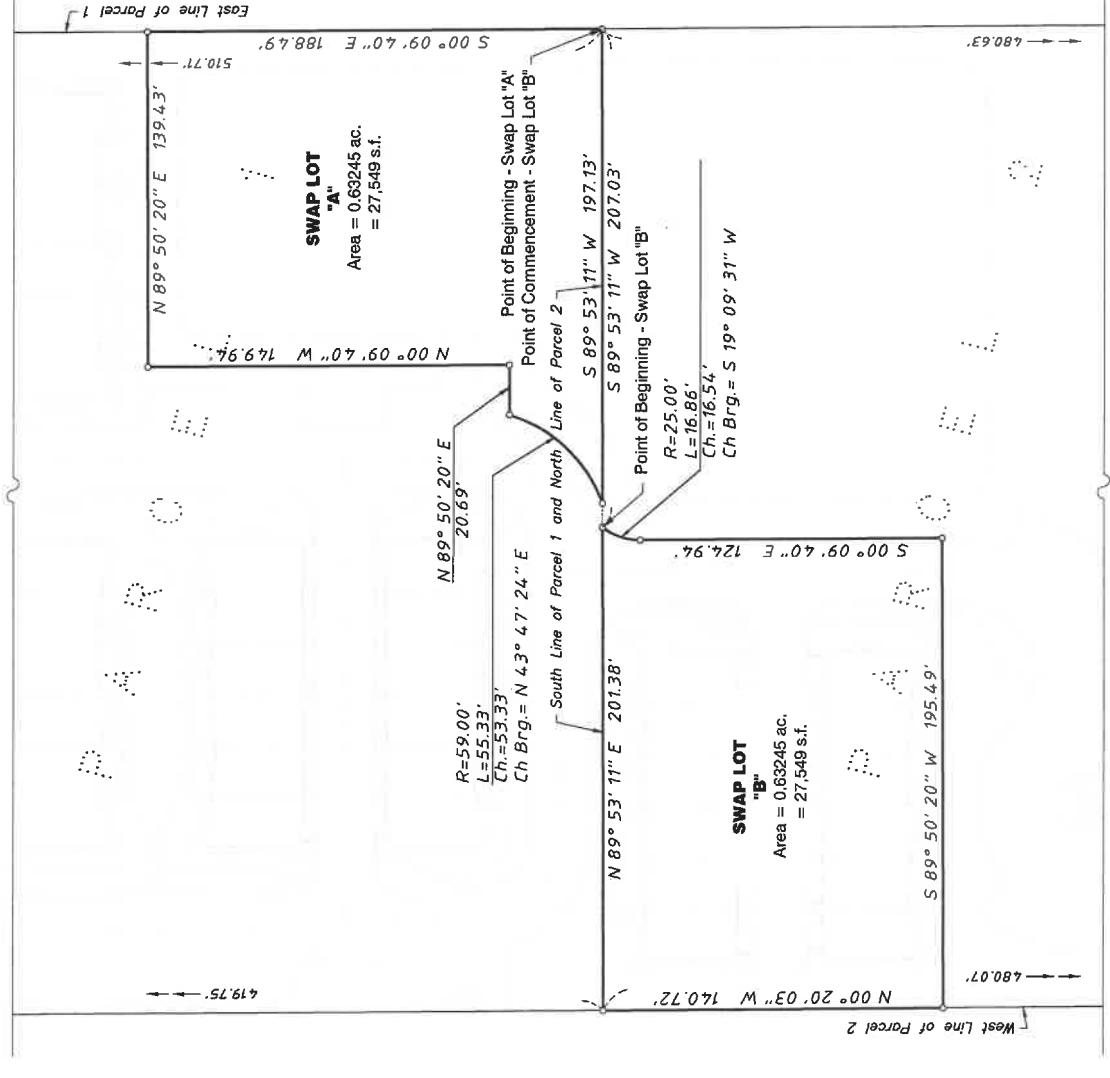
THAT PART OF THE WEST HALF OF THE SOUTH HALF OF THE SOUTH HALF OF THE NORTH HALF OF THE NORTHEAST QUARTER AND THAT PART OF THE WEST HALF OF THE NORTH HALF OF THE NORTH HALF OF THE NORTH HALF OF THE SOUTHEAST QUARTER TAKEN AS A TRACT (EXCEPT THE WEST 710 FEET AND EXCEPT THE EAST 201 FEET OF THE WEST 911 FEET OF THE SOUTH 900 FEET AND EXCEPT THE SOUTH 480 FEET), ALL IN SECTION 15, TOWNSHIP 42 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS, DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF THE AFORESAID TRACT; THENCE SOUTH 89 DEGREES 53 MINUTES 11 SECONDS WEST ALONG THE SOUTH LINE OF SAID TRACT, 197.13 FEET; THENCE NORTHEASTERLY 55.33 FEET ALONG A CURVE CONCAVE TO THE NORTHWEST HAVING A RADIUS OF 59.00 FEET, CHORD OF 53.33 FEET AND CHORD BEARING OF NORTH 43 DEGREES 47 MINUTES 24 SECONDS EAST; THENCE NORTH 89 DEGREES 50 MINUTES 20 SECONDS EAST, 20.69 FEET; THENCE NORTH 00 DEGREES 09 MINUTES 40 SECONDS WEST, 148.94 FEET; THENCE NORTH 89 DEGREES 50 MINUTES 20 SECONDS EAST, 139.43 FEET TO THE EAST LINE OF AFORESAID TRACT; THENCE SOUTH 00 DEGREES 09 MINUTES 40 SECONDS EAST ALONG SAID EAST LINE, 188.50 FEET TO THE POINT OF BEGINNING.

**SWAP LOT "B"**  
 PROPOSED LEXINGTON PROPERTY FROM PARK DISTRICT

THAT PART OF THE SOUTH 480 FEET OF THAT PART OF THE WEST HALF OF THE SOUTH HALF OF THE SOUTH HALF OF THE NORTHEAST QUARTER AND THAT PART OF THE WEST HALF OF THE NORTH HALF OF THE NORTH HALF OF THE NORTH HALF OF THE SOUTHEAST QUARTER TAKEN AS A TRACT (EXCEPT THE WEST 710 FEET AND EXCEPT THE EAST 201 FEET OF THE WEST 911 FEET OF THE SOUTH 900 FEET) ALL IN SECTION 15, TOWNSHIP 42 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS, DESCRIBED AS FOLLOWS:

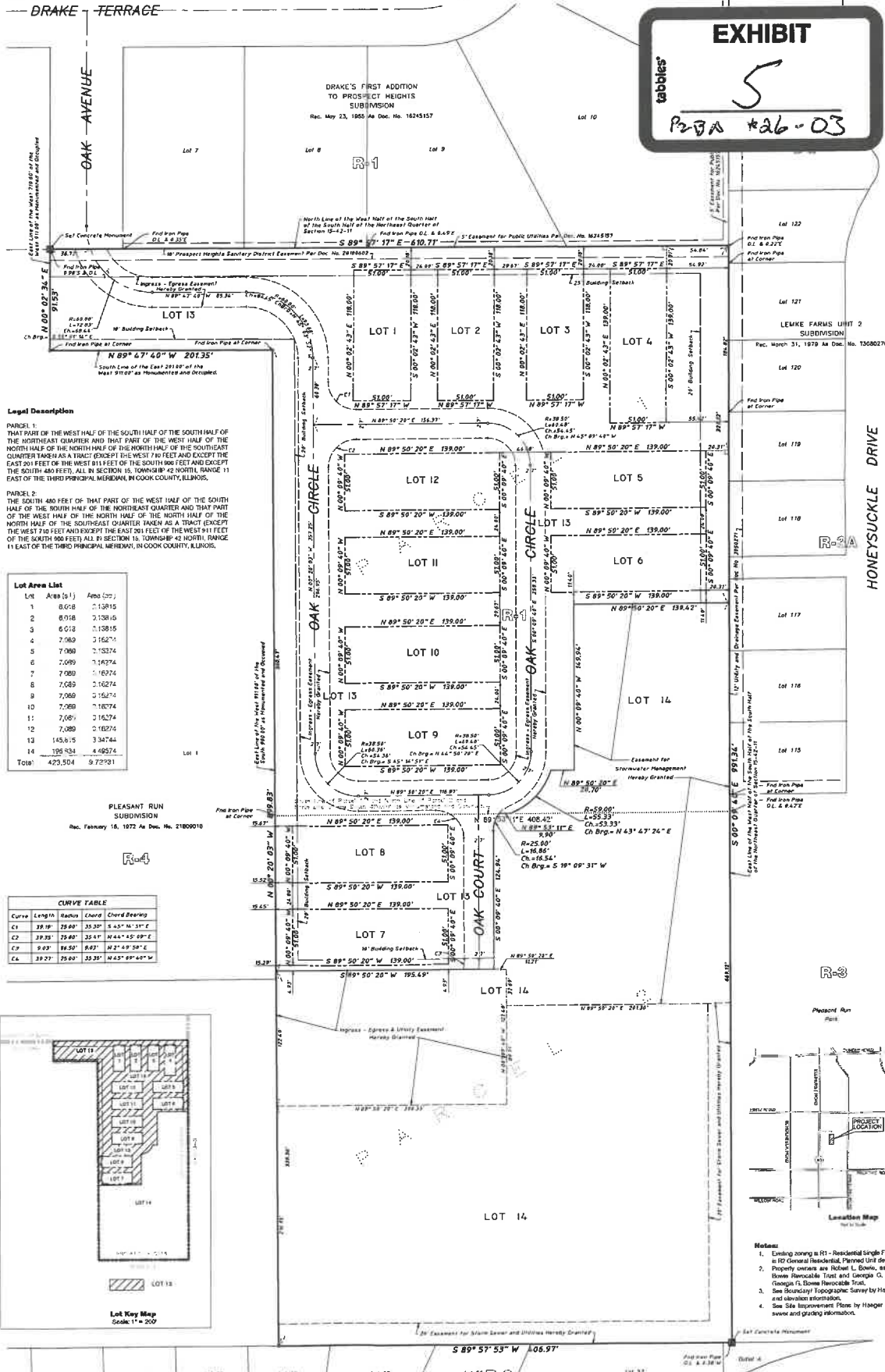
COMMENCING AT THE NORTHEAST CORNER OF THE AFORESAID TRACT; THENCE SOUTH 89 DEGREES 53 MINUTES 11 SECONDS WEST ALONG THE NORTH LINE OF SAID TRACT, 207.03 FEET TO THE POINT OF BEGINNING; THENCE SOUTHWESTERLY 16.86 FEET ALONG A CURVE CONCAVE TO THE SOUTHEAST HAVING A RADIUS OF 25.00 FEET, CHORD OF 16.54 FEET AND CHORD BEARING OF SOUTH 19 DEGREES 09 MINUTES 31 SECONDS WEST; THENCE SOUTH 00 DEGREES 09 MINUTES 40 SECONDS EAST, 124.94 FEET; THENCE SOUTH 89 DEGREES 50 MINUTES 20 SECONDS WEST, 195.49 FEET TO THE WEST LINE OF AFORESAID TRACT; THENCE NORTH 00 DEGREES 20 MINUTES 03 SECONDS WEST ALONG SAID WEST LINE, 140.72 FEET TO THE AFORESAID NORTH LINE; THENCE NORTH 89 DEGREES 53 MINUTES 11 SECONDS EAST ALONG AFORESAID NORTH LINE, 201.38 FEET TO THE POINT OF BEGINNING.



# RESERVE AT MUIR PARK TENTATIVE PLAT OF SUBDIVISION



**EXHIBIT**  
5  
P27A \*26-03



**Legal Description**

PARCEL 1:  
THAT PART OF THE WEST HALF OF THE SOUTH HALF OF THE SOUTH HALF OF THE NORTHEAST QUARTER AND THAT PART OF THE WEST HALF OF THE NORTH HALF OF THE NORTH HALF OF THE NORTHEAST QUARTER AS A TRACT EXCEPT THE WEST 70 FEET AND EXCEPT THE EAST 200 FEET OF THE WEST 911 FEET OF THE SOUTH 900 FEET AND EXCEPT THE SOUTH 400 FEET, ALL IN SECTION 15, TOWNSHIP 42 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

PARCEL 2:  
THE SOUTH 400 FEET OF THAT PART OF THE WEST HALF OF THE SOUTH HALF OF THE NORTHEAST QUARTER AND THAT PART OF THE WEST HALF OF THE NORTH HALF OF THE NORTH HALF OF THE NORTH HALF OF THE NORTHEAST QUARTER AS A TRACT EXCEPT THE WEST 70 FEET AND EXCEPT THE EAST 200 FEET OF THE WEST 911 FEET OF THE SOUTH 900 FEET ALL IN SECTION 15, TOWNSHIP 42 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

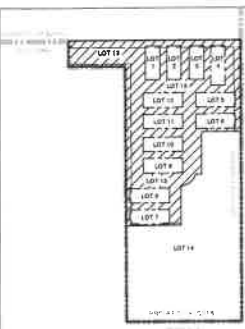
**Lot Area List**

Lot	Area (sq ft)	Area (sq ft)
1	8,678	1,138.15
2	8,678	1,138.15
3	8,678	1,138.15
4	7,769	1,162.74
5	7,769	1,162.74
6	7,769	1,162.74
7	7,769	1,162.74
8	7,769	1,162.74
9	7,769	1,162.74
10	7,769	1,162.74
11	7,769	1,162.74
12	7,769	1,162.74
13	145,675	3,347.24
14	136,524	4,923.74
Total	423,504	9,727.91

**PLEASANT RUN SUBDIVISION**  
Rec. February 16, 1972 As Dec. No. 21800018

**CURVE TABLE**

Curve	Length	Radius	Chord	Chord Bearing
C1	39.79	33.39	45.45	N 45° 14' 31" E
C2	39.79	33.39	35.41	N 44° 45' 59" E
C3	9.03	33.39	8.87	N 2° 45' 59" E
C4	39.77	33.39	33.35	N 45° 09' 42" W



**Lot Key Map**  
Scale: 1" = 200'



**Notes:**

- Existing zoning is R1 - Residential Single Family. Proposed zoning is R3 General Residential Planned Unit Development.
- Property owners are Robert L. Downe, as Trustee of the Robert L. Downe Revocable Trust and George G. Downe, as Trustee of the George G. Downe Revocable Trust.
- See Boundary Topographic Survey by Haeger Engineering for utility and elevation information.
- See Site Improvement Plans by Haeger Engineering for proposed sewer and grading information.

**ZONING OVERVIEW - OVERALL SITE**

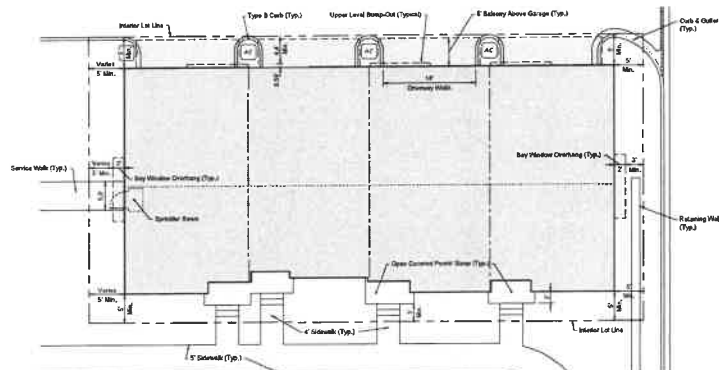
**69 Total Units**

Proposed Geometry Compared to  
Prospect Heights PUD (General Residential District)

	Overall (69 Units)
<b>Density (Lot Area/ Unit)</b>	
Proposed (Square feet)	6,130
Required/ Permitted (Square feet)	3,000
Proposed for Zoning Approval	
Waiver/ Special Use/ PUD Approval	NA-compliant
<b>Lot Area</b>	
Proposed (Square feet)	420,504
Required/ Permitted (Square feet)	10,000
Waiver/ Special Use/ PUD Approval	NA-compliant
<b>Lot Width</b>	
Proposed	610.71'
Required/ Permitted	60'
Waiver/ Special Use/ PUD Approval	NA-compliant
<b>Yard Setbacks</b>	
<b>Front</b>	
Proposed as Drawn	25'
Required/ Permitted <sup>1</sup>	20'
Proposed for Zoning Approval	
Waiver/ Special Use/ PUD Approval	NA-compliant
<b>Side</b>	
Proposed as Drawn	30'
Required/ Permitted <sup>1</sup>	25.7'
Proposed for Zoning Approval	30'
Waiver/ Special Use/ PUD Approval	Waiver of 5.7'
<b>Rear</b>	
Proposed as Drawn	>100'
Required/ Permitted	30'
Proposed for Zoning Approval	
Waiver/ Special Use/ PUD Approval	NA-compliant
<b>Open Space</b>	
Proposed as Drawn	64.2%
Required/ Permitted	40%
Proposed for Zoning Approval	
Waiver/ Special Use/ PUD Approval	NA-compliant
<b>Usable Open Space<sup>2</sup></b>	
Proposed as Drawn	39.8%
Required/ Permitted	20%
Proposed for Zoning Approval	
Waiver/ Special Use/ PUD Approval	NA-compliant
<b>Building Height</b>	
Proposed Mean Building Height	29.5'
Required/ Permitted Mean Story Height	43'
Waiver/ Special Use/ PUD Approval	NA-compliant
<b>Lot Coverage<sup>3</sup></b>	
Proposed	14.50%
Required/ Permitted	40%
Proposed for Zoning Approval	
Waiver/ Special Use/ PUD Approval	NA-compliant
<b>Floor Area Ratio (F.A.R.)</b>	
Proposed	31.16%
Required/ Permitted	80%
Proposed for Zoning Approval	
Waiver/ Special Use/ PUD Approval	NA-compliant

**Note:** A waiver of 5.7' is being requested for the required side yard.

- For the purposes of this table, the mean property line or proposed lot line is assumed to be the true property line, and the entire property line is assumed to be the true boundary line.
- Porches are calculated as 20% of the proposed lot width. Porches for corner lots are calculated as 20% of the proposed building width. Porches for corner lots are treated as setbacks for setbacks only, etc.
- Open space is calculated as open space calculated for the area that is 50% or more open space (including walkways, parking areas, etc.).
- Open space includes and includes those areas included in the calculation.



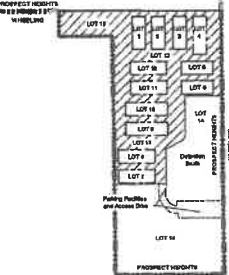
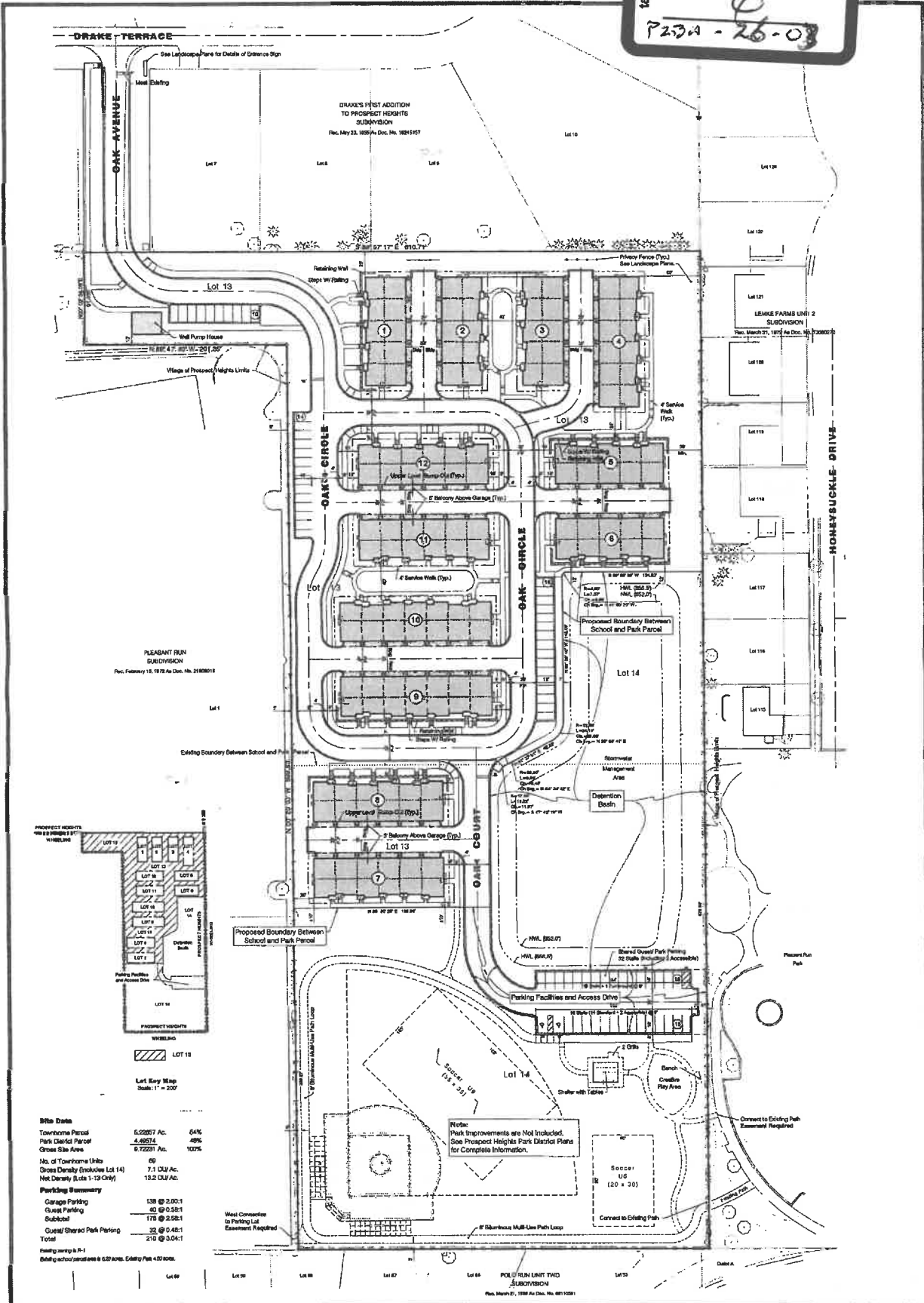
**TYPICAL LOT DIMENSION DETAIL**  
Scale: 1" = 10'

**PRELIMINARY PUD SITE PLAN**  
**RESERVE AT MUIR PARK**  
VILLAGE OF PROSPECT HEIGHTS, COOK COUNTY, ILLINOIS

**HAEGER ENGINEERING**  
consulting engineers • land surveyors  
800 East Third Parkway, Schaumburg, IL 60173 • Tel: 630/374-6000 Fax: 630/374-6008  
Bureau Professional Design Firm License No. 154-000132  
www.haegerengineering.com

No.	Date	Revisions

tabbles  
**EXHIBIT**  
 6  
 P23A-26-08



**Site Data**

Townhome Parcel	5.2207 Ac.	64%
Park District Parcel	4.4927 Ac.	49%
Gross Site Area	9.7227 Ac.	100%
<b>No. of Townhome Units</b>		
Gross Density (Includes Lot 14)	7.1 DU/Ac.	
Net Density (Excl 1-13 Only)	13.2 DU/Ac.	
<b>Parking Summary</b>		
Garage Parking	138 @ 2.00:1	
Guest Parking	85 @ 0.35:1	
Subtotal	173 @ 0.35:1	
Guest/Shared Park Parking	32 @ 0.42:1	
Total	210 @ 0.04:1	

Feeding ramp to P-1  
 Existing school parcel area is 0.57 Acres. Entry Park is 0.50 Acres.

Note:  
 Park Improvements are Not Included.  
 See Prospect Heights Park District Plans for Complete Information.

**FINAL PUD SITE PLAN**  
**RESERVE AT MUIR PARK**  
 VILLAGE OF PROSPECT HEIGHTS, COOK COUNTY, ILLINOIS

**HAEGER ENGINEERING**  
 consulting engineers and surveyors  
 900 East Lake Parkway, Schaumburg, IL 60195 • Tel: 815.291.4400 Fax: 815.291.4606  
 Illinois Professional Design Firm License No. 184-020713  
 www.haegerengineering.com

1	2.0.2002	Manufacturing Database
2	6.24.2003	Revised Survey Resubmit Park District Site Plan
3	6.26.2003	Revised Shared Parking Pad Site Density Method Manufacture Site Plan Database
4	6.26.2003	Revisions



tabbles'  
**EXHIBIT**  
79 A  
P&A 26-03



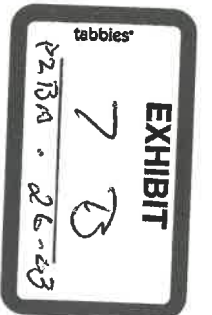
**LEXINGTON HOMES**  
Chicago, IL

**Prospect Heights Rowhomes**  
Prospect Heights, IL

The drawings presented are a portion of conceptual and design intent only, and are subject to change based upon final design, construction, and other factors. All design, construction, and other factors are subject to change. © 2017 BSB Design, Inc.

November 7, 2019 | P&A 26-03-00





LEXINGTON HOMES  
Chicago, IL

The documents prepared are illustrative in character and design intent only, and are subject to change based upon final design conditions, including, but not limited to, applicable codes, standards, and other design requirements, and shall not be used for construction purposes. © 2017 BSB Design, Inc.

Prospect Heights Rowhomes

Prospect Heights, IL

November 7, 2019 | P8C99999.00



EXHIBIT  
 7 C  
 12/24/2019



Unit 530 - A  
 4-Unit Townhome Building  
 Left Elevation

Unit 530 - B  
 4-Unit Townhome Building  
 Right Elevation



Unit 530 - B  
 4-Unit Townhome Building  
 Right Elevation

Unit 530 - A  
 Character Elevation

Unit 530 - A  
 Prospect Heights Rowhomes

LEXINGTON HOMES  
 Chicago, IL

The drawings presented are a mixture of design and construction documents. They are not to be used for construction without the approval of the architect. All work shall conform to the applicable codes, standards and MEP design requirements. Unit plan for Prospect Heights, IL. © 2017 OSD Design, Inc.

November 7, 2019 | P6C989999.00





**EXHIBIT F**  
 2020-05-28  
 Village of Prospect Heights  
*Lexington Homes, Reserves at Muir Park (formerly Prospect Pointe)*  
 Landscape Architecture Design Narrative:

In order to prepare a proposed landscape plan, a tree survey and inventory were completed. The inventory was completed by a certified arborist. The arborist compared each existing tree with a like species of specimen quality, in order to determine the condition / overall health of each tree. Findings included that there are (234) existing trees onsite, including a mix of deciduous and evergreen species. Due to the proposed re-grading for the new development, it is currently proposed that all onsite, existing trees will need to be removed (pending final engineering). Common Buckthorn is the most prevalent tree onsite, followed by Eastern Cottonwood, Boxelder, and White Mulberry. There are no Oaks, Sugar Maples, nor Hickory trees onsite.

Existing trees include:

- (1) American Elm, (9) Autumn Olive, (1) Basswood, (6) Blue Spruce, (41) Boxelder, (5) Callery Pear, (47) Buckthorn, (1) Crabapple, (44) Eastern Cottonwood, (9) Honeylocust, (4) Norway Maple, (1) Norway Spruce, (12) Red Maple, (2) River Birch, (6) Siberian Elm, (15) Silver Maple, (1) Unknown (*dead*), (5) White Ash, (23) White Mulberry, & (1) Willow

The proposed landscape is conducive to the site climate zone, offers multiple seasons of interest, and shall include a diversity of plant species, sizes, textures, bloom times, and colors. All plants will be selected for quality, long-term sustainability, and desired growth habits. Proposed plant material will enhance the overall development and the proposed building architecture. Plant material is carefully and purposely sited, it buffers neighboring residential and it takes into consideration window locations, pedestrian travel, and vehicular visibility (both for aesthetics and safety). The proposed landscape plan includes shade, ornamental and evergreen trees, deciduous and evergreen shrubs, ornamental grasses, and perennials.

The stormwater basin, located in the center east of the property, to be shared by the public park site and the private townhome community, will be naturalized with native plantings and able to withstand periods of wet and dry times. Native plantings will aid in water storage and water purification. The monitoring and care of the basin will be handled by the development HOA.

*Reserves at Muir Park* will have one entry monument, located at the southeast corner of the intersection of Drake Terrace and Oak Avenue. The entry monument complements the architectural style and brick materials of the proposed homes. It consists of brick with limestone-like caps and a double-sided sign panel. The sign measures around 15' long, 5' tall, and 3' deep. An ornamental tree grounds the south end of the sign, while lower-growing plant material flanks the base of the sign. The proposed sign and surrounding plant material will provide a pleasing and welcoming entrance to the development.

All homes will have foundation landscape flanking their front and side elevations. In order to provide continuity and cohesion throughout the entire development, each building will receive a similar planting design at its foundation. The planting design will remain fairly consistent building to building, but actual plant species will vary. Each foundation landscape for each unit will include a mixture of deciduous and evergreen shrubs and some will also include perennials. Proposed plant material has been chosen to complement the architecture, to pay careful attention to window placement and height, and to offer 4-seasons of interest with a variety of plant types and species.

The southern portion of the site, or public park site, will involve the re-design and re-develop of the existing baseball field into a multi-purpose sports field (i.e. soccer, football, lacrosse). It will also include a connecting sidewalk to the existing park to the east. Lastly, a parking lot will be constructed to be shared by the public park and private townhome community.

**Dickson Design Studio, Inc.**



Sharon L. Dickson PLA | ASLA

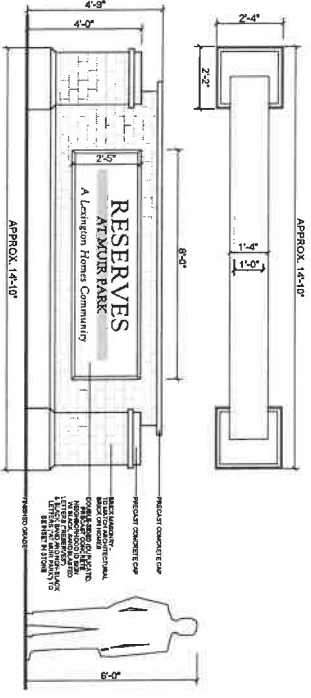
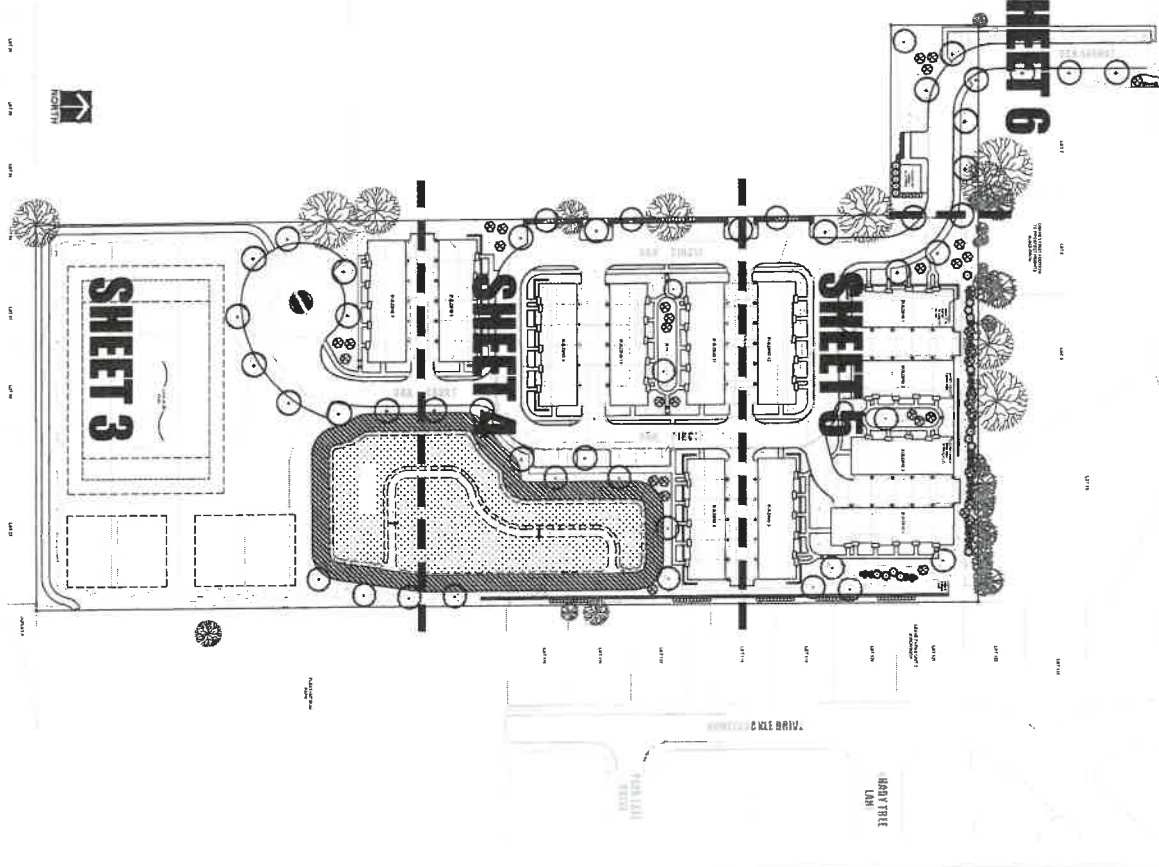


[dicksondesignstudio.com](http://dicksondesignstudio.com)



BRACKET BACK

# SHEET 6



**PROPOSED ENTRANCE MONUMENT - DETAIL**

SCALE: 1/2" = 1'-0"

**PROPOSED LANDSCAPE PLAN - SHEET KEY**

SCALE: 1" = 80'-0"



dickson design  
STUDIO

526 SICKLINE DRIVE  
ALGONQUINN, IL 60102  
631.579.4019

**LENINGTON HOMES**

1231 N. MARGRETT STREET, #200  
CHICAGO, IL 60614

**DATE: MAY 20, 2020**

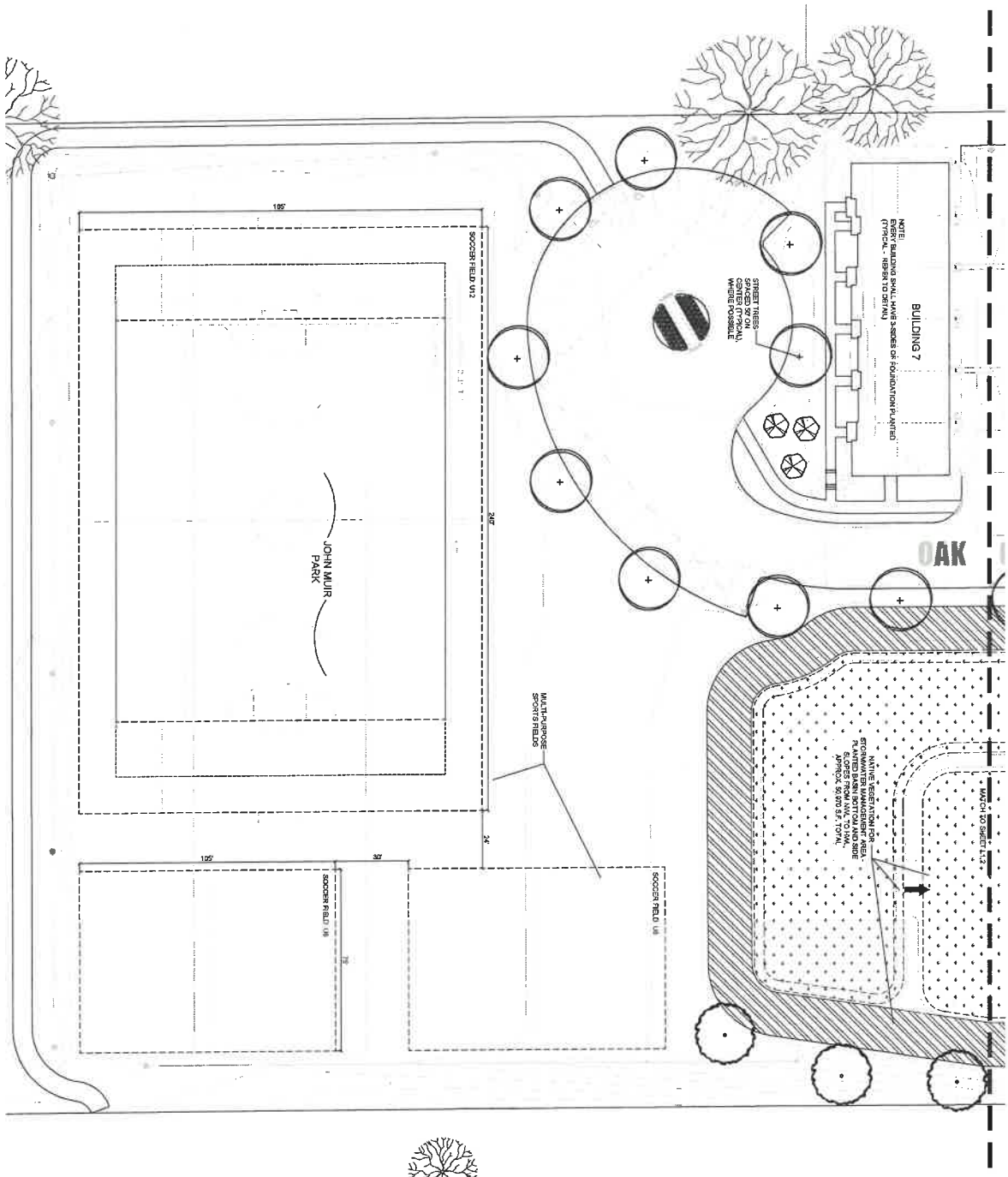
PLAN DATE

REVISIONS

NO.	DESCRIPTION
1.	
2.	
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PROJECT NAME AND SHEET TITLE  
**RESERVES AT MUIR PARK**  
PROJECT REVISIONS, R.  
PRELIMINARY LANDSCAPE PLAN

SHEET NUMBER  
**11.0**



PROPOSED LANDSCAPE PLAN - DETAIL  
SCALE: 1" = 20'-0"



**dickson design**  
STUDIO

528 SKYLINE DRIVE  
ALGONQUIN, IL 60102  
631.979.4019

**LEXINGTON HOMES**  
1721 N. MARSH STREET, #200  
CHICAGO, IL 60614

PLAN DATE  
MAY 28, 2020

NO.	REVISIONS
1.	
2.	
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PROJECT NAME AND SHEET TITLE  
**RESERVES AT MUIR PARK**  
PROSPECT HEIGHTS, IL  
PRELIMINARY LANDSCAPE PLAN

SHEET NUMBER  
**11.1**



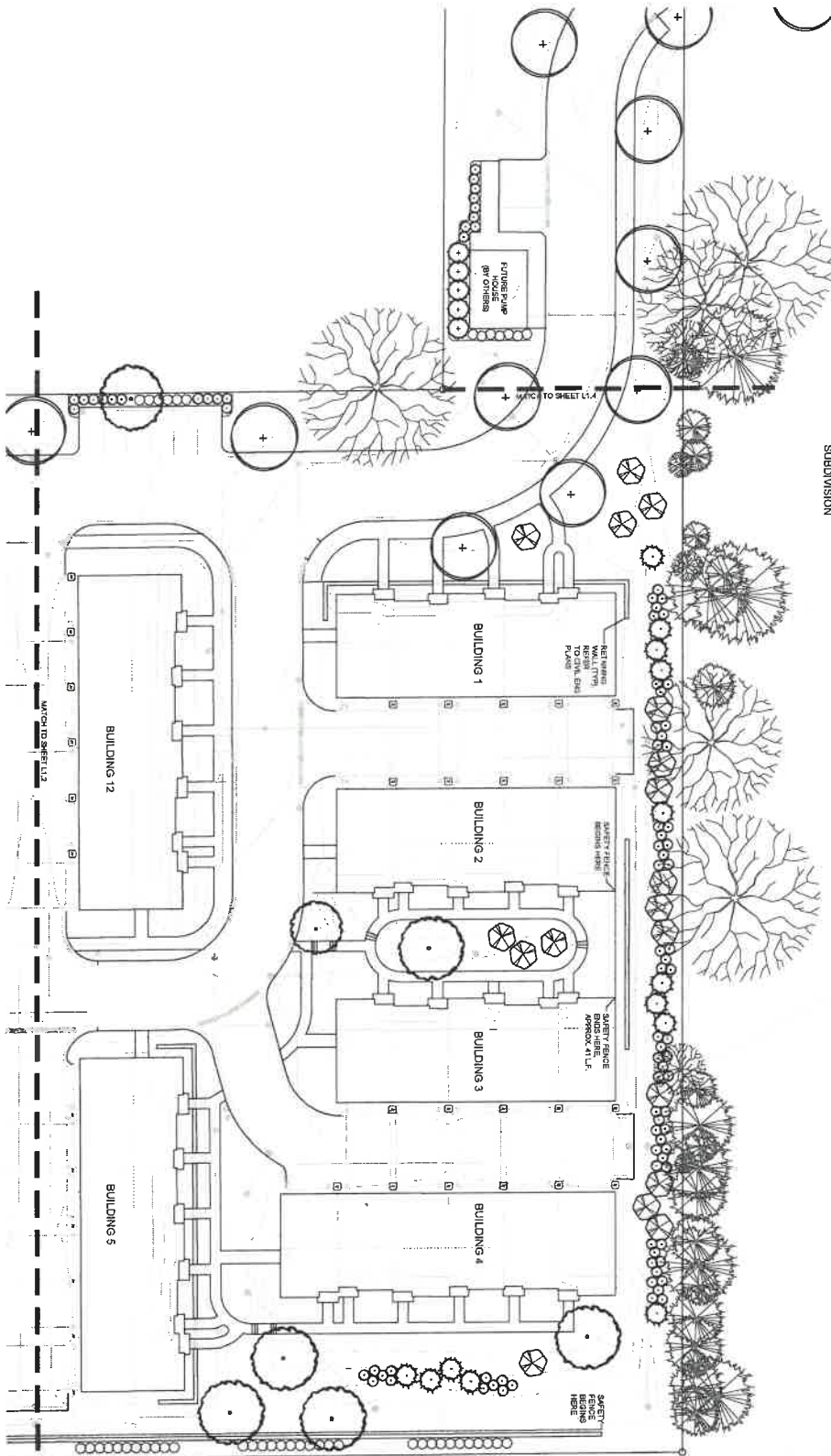
DRAKES FIRST ADDITION  
TO PROSPECT HEIGHTS  
SUBDIVISION

LOT 7

LOT 8

LOT 9

LOT 10



PROPOSED LANDSCAPE PLAN - DETAIL  
SCALE: 1" = 20'-0"  
NORTH

LENKE F. SUBI



528 SKYLINE DRIVE  
ALDORF, ILL. 60102  
631.879.4018

CLIENT NAME AND ADDRESS  
**LENGINGTON HOMES**  
1121 N. MANLEY STREET, #200  
CHICAGO, IL 60614

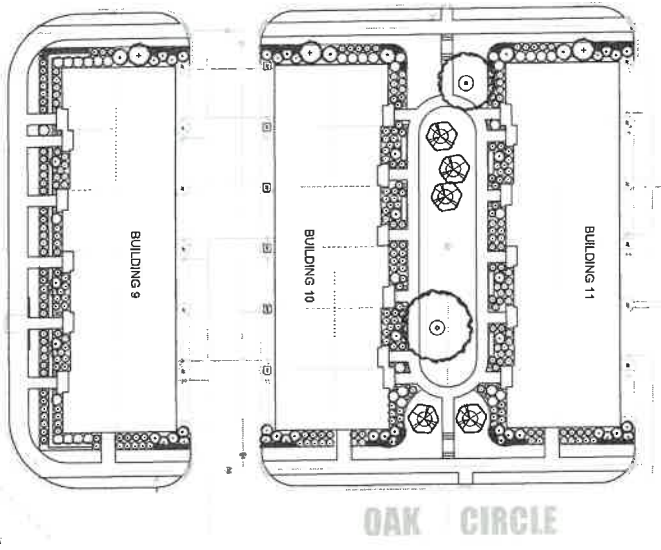
PLAN DATE  
MAY 28, 2020

REVISIONS

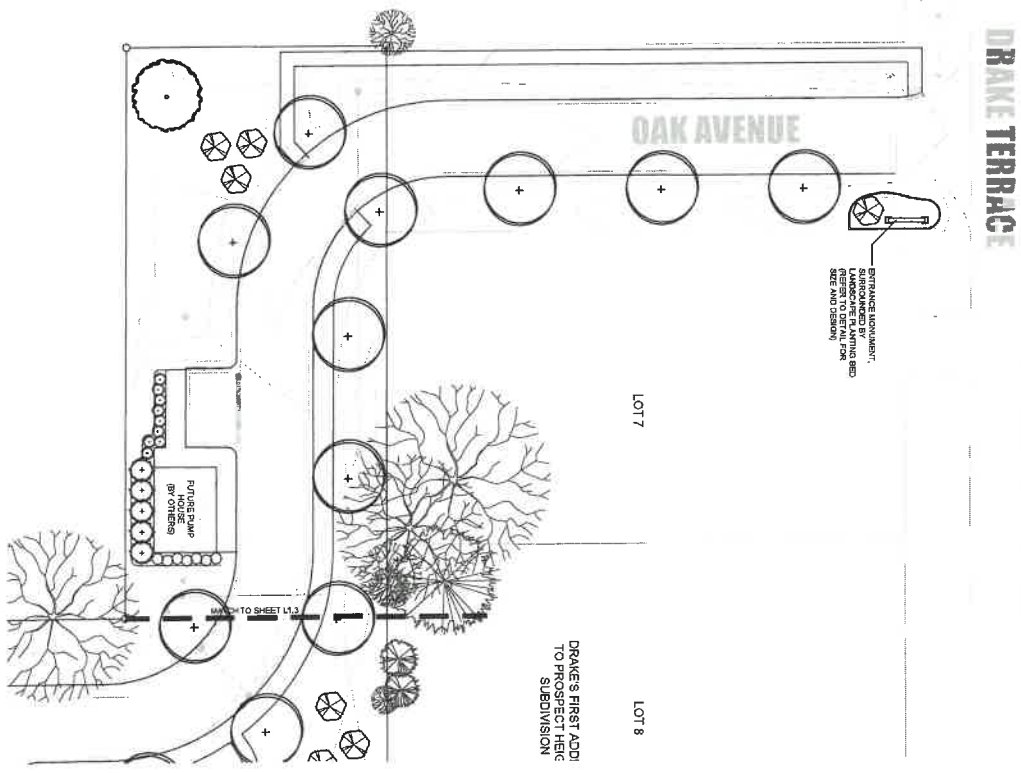
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PROJECT NAME AND SHEET TITLE  
**RESERVES AT WILSON PARK**  
PROJECT HEIGHTS, IL  
PRELIMINARY LANDSCAPE PLAN

SHEET NUMBER  
**L1.3**



**PROPOSED TYPICAL FOUNDATION LANDSCAPE - DETAIL**  
 SCALE: 1" = 20'-0"  
 NOTE: TYPICAL FOUNDATION LANDSCAPE DESIGN MAY CHANGE.



**PROPOSED LANDSCAPE PLAN - DETAIL**  
 SCALE: 1" = 20'-0"  
 NORTH



526 SKYLINE DRIVE  
 ALCOCK, ILL. 60102  
 631.979.4019

CLIENT NAME AND ADDRESS  
**LENINGTON HOMES**  
 7321 N. HANCOCK STREET, #200  
 CHICAGO, IL 60634

PLAN DATE  
 MAY 28, 2018

PROJECT NAME AND SHEET TITLE  
**RESERVES AT MUIR PARK**  
 PROSPECT HEIGHTS, IL

PRELIMINARY LANDSCAPE PLAN

NO.	REVISIONS
1.	
2.	
3.	
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10.	

SHEET NUMBER  
**11.4**



# **Neder Capital Services LLC**

**City of Prospect Heights Planning & Zoning Board of Appeal  
1001 Oak Avenue - Prospect Heights, IL**

**2.25.26**

Speaking Slide 1  
Dennis Stratievsky  
of Neder Capital

# Our vision for Prospect Heights

---

- ❑ Front-loaded townhome product
- ❑ 24.5-foot-wide units
- ❑ Approximately 69 total units
- ❑ Two-story layouts  
3 bedrooms / 2.5 bathrooms
- ❑ ~1,750 SF per unit
- ❑ Private driveways
- ❑ Guest parking available
- ❑ Walkable community design
- ❑ Integrated resident amenities



# Current Projects: Prairie Park Townhomes

100 Prairie Park Drive, Wheeling, IL

**This is a 66-unit, for-sale luxury townhome development delivered in three construction phases of 18 units each.** Phase I (The Villas) was fully sold out and delivered in 2022. Phase II is nearly complete, with only one unit remaining and deliveries scheduled for the **first quarter of 2026**. Phase III is currently underway, with final deliveries projected for the **fourth quarter of 2026**.

[HighlandsatPrairiePark.com](https://HighlandsatPrairiePark.com)





Neder Capital Services

WIP Update Photo



Neder Capital Services

WIP Update Photo

# Current Projects: Insignia Glen II Des Plaines

180 NE River Road, Des Plaines, IL

Located off River Road in Des Plaines, this development represents the next phase of Insignia Glen. The project consists of 16 townhome units, with all building structures fully built. Now in the final stages of construction, the development is on track for delivery in the **first quarter of 2026**, completing this phase of the Insignia Glen community.





Neder Capital Services

WIP Progress Photo

350 E DUNDEE ROAD, WHEELING IL

Our newest suburban mixed use project, currently under construction features ~20k sq ft of medical and educational space, with 55 well appointed modern residences above.





Neder Capital Services

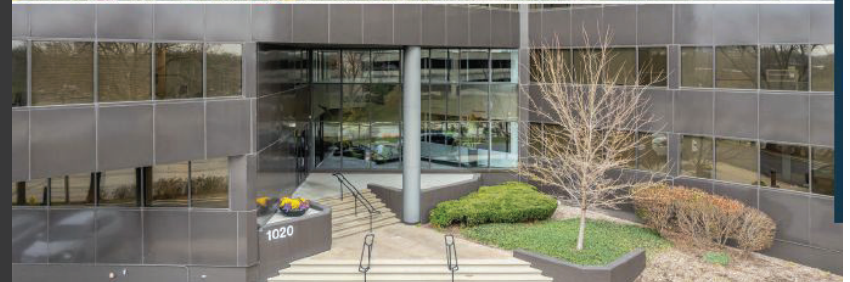
WIP Progress Photo

# Current Projects: Highland Oaks II Downers Grove

1020 W 31st, Downers Grove, IL

The former Blue Cross Blue Shield headquarters is currently under entitlements with the Village of Downers Grove for conversion from a Class A office building into approximately 200 luxury residential apartment units.

This adaptive-reuse project repositions a legacy office asset into a high-end residential community in a prime suburban location.





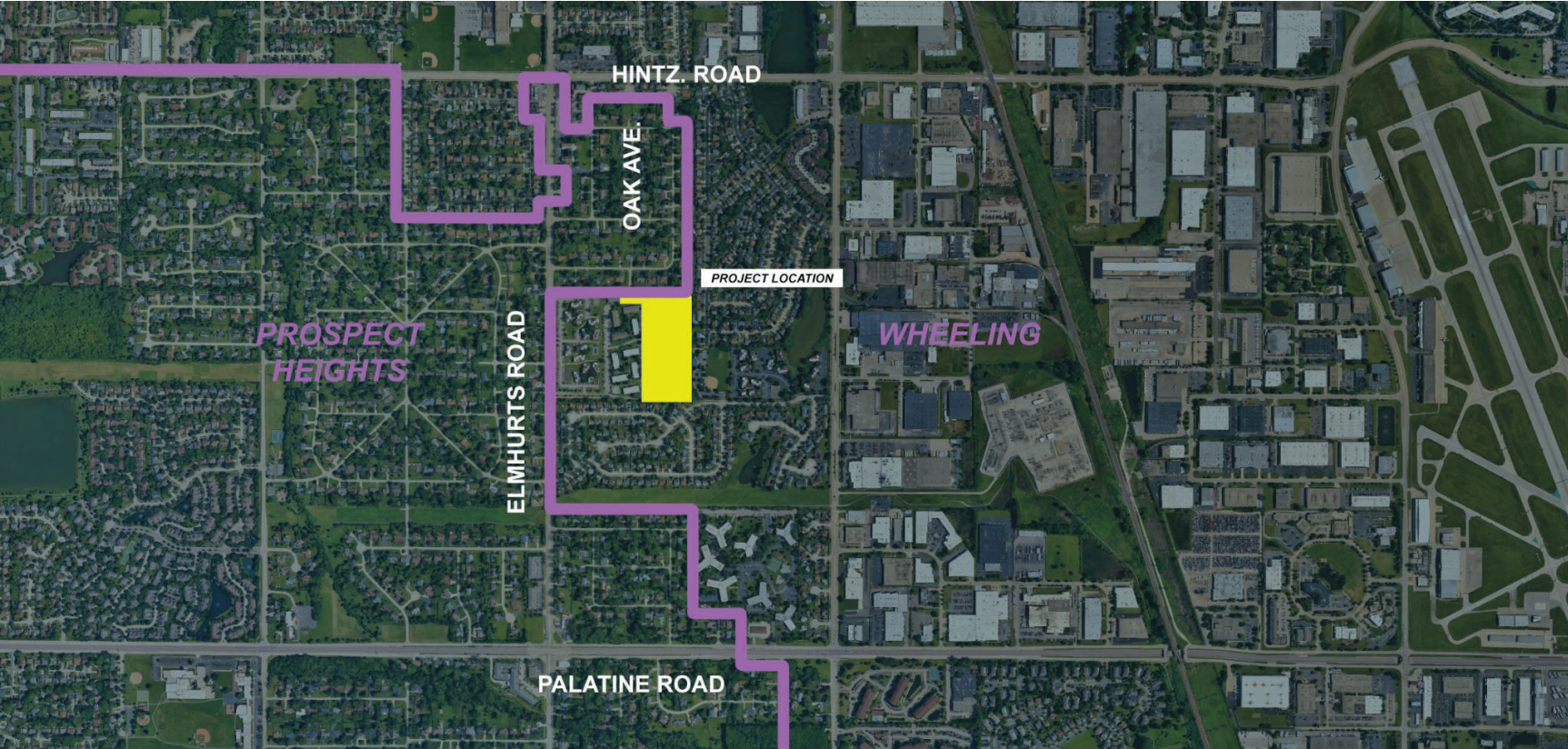
Neder Capital Services

WIP Progress Photo

# Speaking Slide 2

## Carolyn Schofield

# Project Location



Neder Capital Services

Project Location



# Proposed Site Plan



# Colored Elevations



# Colored Elevations



# Foundation Landscape



# Landscape Plan



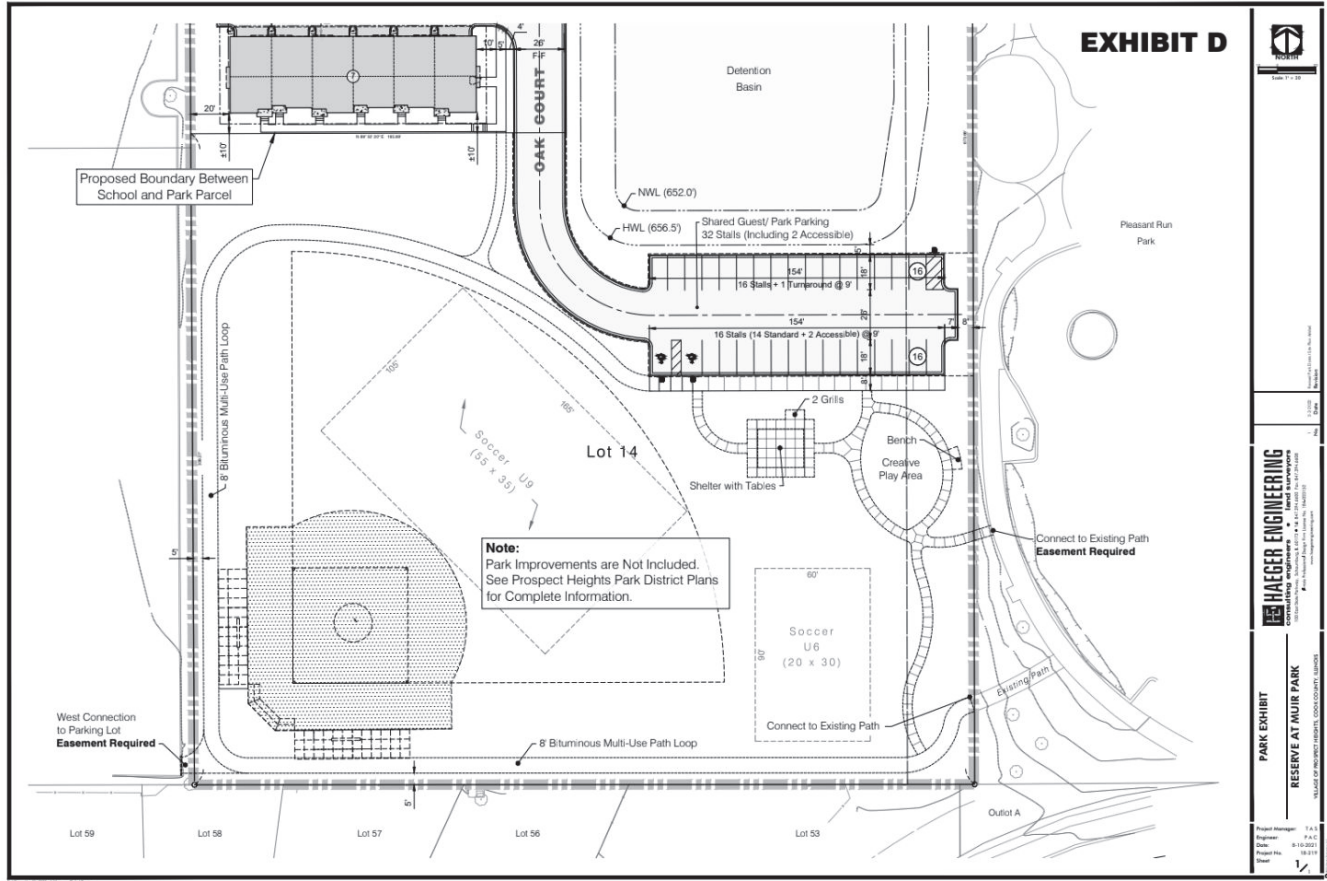
Neder Capital Services

Landscape Plan





# Muir Park Improvements



**Thank you for your time & consideration.  
We look forward to delivering a new standard of  
community to Prospect Heights.**



**To:** Mayor Ludvigsen and Members of the City Council  
Peter Falcone, City Administrator

**From:** Lloyd Austin, Assistant to the City Administrator

**Date:** April 9, 2026

**Re:** O-26-05 Amending Pay Plan Ordinance

**Background:**

Each year on May 1st, the City Council reviews and adopts a budget ordinance for the upcoming fiscal year. Incorporated into this ordinance are both proposed and contractually obligated wage adjustments. To ensure transparency and establish an official record of these adjustments, a separate Pay Plan Ordinance is prepared and submitted to the Council for consideration. For fiscal year 2026–2027, a 3% wage adjustment is being proposed.

**Analysis:**

Staff conducted a review of compensation practices among comparable municipalities for non-union employees and observed adjustment ranges generally between 2.5% and 5%. Additionally, recent negotiated wage increases for Public Works and Police union personnel were evaluated to maintain internal equity. Patrol Officers and Sergeants are scheduled to receive a 3.5% contractual wage increase per their MAP contract.

**Recommendation:**

Staff recommends that Council approve Ordinance O-26-05, Amending the City's Pay Plan.

**ORDINANCE NO. O-26-05**  
**An Ordinance Amending the Pay Plan**

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**WHEREAS**, pursuant to Section 1-7-1 of the Prospect Heights City Code, as amended, the City Council shall from time to time adopt an ordinance which sets forth the title of each employee position in the City, the number of authorized positions in each title and the salary range for every employment position in the City and such other information about each title or position as it deems necessary;

**WHEREAS**, the Mayor and City Council find it necessary and convenient to amend the pay plan as set forth on Exhibit A to this ordinance;

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF PROSPECT HEIGHTS, COOK COUNTY, ILLINOIS** as follows:

**SECTION ONE:** The Authorized Positions and Pay Plan (“Pay Plan”), attached as Exhibit A to this ordinance, is hereby approved and incorporated into this ordinance in full.

**SECTION TWO:** The City Administrator is authorized and directed to implement the Pay Plan.

**SECTION THREE:** This Ordinance shall be in full force and effect from and after its passage, approval and publication as required by law.

**PASSED and APPROVED this 27th day of April, 2026**

\_\_\_\_\_  
Patrick Ludvigsen, City Mayor

ATTEST:

\_\_\_\_\_  
City Clerk

AYES: \_\_\_\_\_

NAYS: \_\_\_\_\_

ABSENT: \_\_\_\_\_

Published in pamphlet form on April 28, 2026

## EXHIBIT A

### Authorized Positions and Pay Plan

Department	Title	Authorized Positions	Salary Range		
			Low	Mid	High
Building & Development	Building & Development Director	1	<del>\$ 105,997</del>	<del>\$ 130,972</del>	<del>\$ 155,949</del>
			\$ 109,177	\$ 134,902	\$ 160,628
Building & Development	Code Enforcement Officer	1	<del>\$ 51,780</del>	<del>\$ 71,273</del>	<del>\$ 90,767</del>
			\$ 53,333	\$ 73,412	\$ 93,490
Building & Development	Assistant Building Director	0	Vacant and Not Funded		
Building & Development	Health Inspector	0	Services provided by contractor.		
Building & Development	Plumbing Inspector	0	Services provided by contractor.		
Building & Development	Electrical Inspector	0	Services provided by contractor.		
Building & Development	Building Inspector/ Plan Examiner	1	<del>\$ 65,100</del>	<del>\$ 80,212</del>	<del>\$ 88,931</del>
			\$ 67,053	\$ 82,618	\$ 91,599
Building & Development	Admin Assistant / Permit Coordinator	1	<del>\$ 49,952</del>	<del>\$ 65,182</del>	<del>\$ 81,020</del>
			\$ 51,451	\$ 67,138	\$ 83,451
Building & Development	PT Admin Assistant/ Permit Clerk	1	<del>\$ 12.54</del>	<del>\$ 15.61</del>	<del>\$ 18.69</del>
			\$ 15.00	\$ 20.00	\$ 25.00
Administration	City Administrator	1	Set by Action of City Council		
Administration	Assistant City Administrator	0	<del>\$ 84,576</del>	<del>\$ 105,840</del>	<del>\$ 127,106</del>
			\$ 87,113	\$ 109,016	\$ 130,919
Administration	Assistant to the City Administrator	1	<del>\$ 66,788</del>	<del>\$ 84,769</del>	<del>\$ 102,750</del>
			\$ 68,791	\$ 87,312	\$ 105,833
Administration	Management Analyst	1	<del>\$ 51,375</del>	<del>\$ 66,788</del>	<del>\$ 82,200</del>
			\$ 52,916	\$ 68,791	\$ 84,666
Administration	Deputy Clerk	0	<del>\$ 52,163</del>	<del>\$ 67,164</del>	<del>\$ 82,423</del>
			\$ 53,728	\$ 69,179	\$ 84,896
Administration	Administrative Assistant	1	<del>\$ 49,952</del>	<del>\$ 65,182</del>	<del>\$ 81,020</del>
			\$ 51,451	\$ 67,138	\$ 83,451
Administration	Finance Director	1	Services provided by contractor		
Administration	Assistant Finance Director	1	Services provided by contractor		
Administration	Senior Financial Analyst	1	Services provided by contractor		

**EXHIBIT A**

**Authorized Positions and Pay Plan**

Department	Title	Authorized Positions	Salary Range		
			Low	Mid	High
Administration	Digital Communications Technician	1	<del>\$ 49,972</del>	<del>\$ 62,257</del>	<del>\$ 77,493</del>
			\$ 50,800	\$ 64,125	\$ 79,818
Administration (NRC)	Intern	2	<del>\$ 12.12</del>	<del>\$ 13.98</del>	<del>\$ 16.12</del>
			\$ 12.49	\$ 14.40	\$ 16.60
Administration	Intern	0	<del>\$ 15.76</del>	<del>\$ 18.39</del>	<del>\$ 21.01</del>
			\$ 16.23	\$ 18.94	\$ 21.64
Public Safety	Police Chief	1	<del>\$ 143,766</del>	<del>\$ 162,040</del>	<del>\$ 192,500</del>
			\$ 148,079	\$ 166,902	\$ 198,275
Public Safety	Deputy Chief	1	<del>\$ 137,370</del>	<del>\$ 152,903</del>	<del>\$ 168,133</del>
			\$ 141,491	\$ 157,490	\$ 173,177
Public Safety	Director of Police Administration	1	<del>\$ 71,925</del>	<del>\$ 87,338</del>	<del>\$ 102,750</del>
			\$ 74,083	\$ 89,958	\$ 105,833
Public Safety	Sergeants	5	Compensation Under Collective Bargaining Agreement		
Public Safety	Patrolman (Officers)	16	Compensation Under Collective Bargaining Agreement		
Public Safety	Patrolman Part Time	5	Compensation Under Collective Bargaining Agreement		
Public Safety	Records Supervisor	0	<del>\$ 68,593</del>	<del>\$ 84,188</del>	<del>\$ 99,905</del>
			\$ 70,651	\$ 86,714	\$ 102,902
Public Safety	Desk Officers/Records Clerk	2	<del>\$ 49,952</del>	<del>\$ 65,548</del>	<del>\$ 81,142</del>
			\$ 51,451	\$ 67,514	\$ 83,576
Public Safety	Police Liason	0	<del>\$ 56,167</del>	<del>\$ 71,761</del>	<del>\$ 87,356</del>
			\$ 57,852	\$ 73,914	\$ 89,977
Public Safety	Part Time Desk Officers	4	<del>\$ 18.69</del>	<del>\$ 22.00</del>	<del>\$ 25.08</del>
			\$ 19.25	\$ 22.66	\$ 25.83
Public Safety	Technical Assistant	0	Vacant and Not Funded		
Public Safety	Social Worker	1	<del>\$ 68,290</del>	<del>\$ 76,170</del>	<del>\$ 87,338</del>
			\$ 70,339	\$ 78,455	\$ 89,958
Public Works	Public Works Director	1	<del>\$ 105,997</del>	<del>\$ 130,972</del>	<del>\$ 169,538</del>
			\$ 109,177	\$ 134,902	\$ 174,624

**EXHIBIT A**

**Authorized Positions and Pay Plan**

Department	Title	Authorized Positions	Salary Range		
			Low	Mid	High
Public Works	Public Works Superintendent	0	Vacant and Not Funded		
Public Works	Foreman	0	Vacant and Not funded		
Public Works	Crew Leader	1	Compensation Under Collective Bargaining Agreement		
Public Works	Maintenance Worker	3	Compensation Under Collective Bargaining Agreement		
Public Works	Mechanic	1	Compensation Under Collective Bargaining Agreement		
Public Works	Water Operator	1	Compensation Under Collective Bargaining Agreement		
Public Works	Administrative Assistant	1	<del>\$ 49,952</del>	<del>\$ 65,182</del>	<del>\$ 81,020</del>
			\$ 51,451	\$ 67,138	\$ 83,451
Public Works	Seasonal Staff	2	<del>\$ 12.54</del>	<del>\$ 15.61</del>	<del>\$ 18.69</del>
			\$ 12.92	\$ 16.08	\$ 19.25



April 8, 2026

TO: Mayor Patrick Ludvigsen, Members of City Council, Administration and Staff

FROM: Finance Department

RE: **Fiscal Year 2026-2027 City of Prospect Heights Proposed Budget**

Following a series of budget workshop meetings held in March, staff has finalized the proposed operating budget for Fiscal Year 2026–2027. The proposed budget reflects the priorities, feedback, and direction provided by the Mayor and City Council during those sessions.

The FY2026–2027 proposed operating budget is balanced, with revenues exceeding expenditures by \$6,437,599. This surplus includes bond proceeds of \$7.0 million designated for road construction and capital improvements.

CITY OF PROSPECT HEIGHTS FUND BALANCE PROJECTION			
FY2026-27 Fund name	Proposed Budget FY 26-27		
	Budgeted Revenue	Budgeted Expenditures	Net Revenue (Expense)
<b>General Fund</b>			
General Fund	12,320,808	11,874,026	446,782
<b>Special Revenue Funds</b>			
Motor Fuel Tax	925,000	245,000	680,000
Muir Pointe TIF	36,000	35,000	1,000
Tourism District	525,500	566,586	(41,086)
DEA Seizure	12,000	366,500	(354,500)
Solid Waste	650,000	642,932	7,068
SSA #2	100	10,000	(9,900)
SSA #3	100	10,000	(9,900)
SSA #4	50	10,000	(9,950)
SSA #5	37,250	25,500	11,750
SSA #8	189,400	315,700	(126,300)
<b>Capital Project Fund</b>			
Capital Improvements	6,542,700	8,377,700	(1,835,000)
<b>Debt Service Funds</b>			
Road Construction	8,306,958	1,330,958	6,976,000
SSA #6 Construction	216,353	218,553	(2,200)
<b>Enterprise Funds</b>			
Water	1,247,500	1,209,240	38,260
Sanitary Sewer	967,400	1,118,720	(151,320)
Parking	130,000	131,600	(1,600)
<b>Fiduciary Fund</b>			
Police Pension	2,761,121	1,942,626	818,495
<b>Total</b>	<b>34,868,240</b>	<b>28,430,641</b>	<b>6,437,599</b>

## Key Budget Highlights

### General Fund

- **Administration & Finance**
  - Consulting services: \$13,000
  - Vehicle sticker software implementation:
    - Year 1: \$18,000
    - Year 2: \$8,500
- **Building & Zoning**
  - Billable engineering: \$30,000
- **Public Works**
  - Addition of one full-time employee: \$100,000
- **Interfund Transfers (FY2027)**
  - \$1,000,000 – General Fund to Capital Fund
  - \$80,000 – SWANCC Fund to Capital Fund
  - \$115,000 – General Fund to Parking Fund
- **Public Safety**
  - Addition of one Police Officer: \$135,000

### Police Pension

- Total contribution: **\$1.617 million**
  - \$517,000 from the 2025 tax levy
  - \$1,100,596 from General Fund support
- This contribution represents:
  - 100% of the actuary-recommended amount
  - Over 200% of the State minimum requirement

### Capital Improvements

- Total planned capital projects: **\$8.38 million**
  - \$5.5 million funded through grant awards
  - \$1.085 million funded by interfund transfers
  - \$275k Referendum
  - \$1.8 million funded by Capital reserves

### Utility Rate Adjustments

- **Water Rates:** Increase of 3.7%
  - From \$61.34 (FY2025) to \$63.61 (FY2026)
- **Sewer Rates:** Increase of 10% across all service levels

Staff recommends that the Mayor and City Council review the proposed FY2026–2027 operating budget and provide direction for adoption.

**ORDINANCE NO. O-26-06**  
**AN ORDINANCE ADOPTING THE ANNUAL BUDGET 2026-27**

**WHEREAS**, the City Council of the City of Prospect Heights has adopted the “Budget Officer System” as provided in sections 8-2-9.1 through 8-2-9.10 of the Illinois Municipal Code (65 ILCS 5/8-2-9.1 – 8-2-9.10); and

**WHEREAS**, pursuant to the applicable ordinances and Statutes, an annual budget shall be adopted by the Corporate Authorities in lieu of the passage of any appropriation ordinance; and

**WHEREAS**, the City Council of the City of Prospect Heights has held all of the hearings and caused to be made all of the publications and notices required by law; and

**WHEREAS**, the Mayor and City Council have reviewed the budget for fiscal year 2026-27 as presented by the City Administrator as the budget officer and have determined that it is in the best interests of the City of Prospect Heights;

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF PROSPECT HEIGHTS, COOK COUNTY, ILLINOIS:**

**SECTION ONE:** That the fiscal 2026-27 budget for the City of Prospect Heights, Illinois, attached and incorporated into this ordinance as Exhibit A is hereby adopted and approved.

**SECTION TWO:** That the City Clerk of the City of Prospect Heights is directed to publish this Ordinance in pamphlet form.

**SECTION THREE:** That this Ordinance shall be in full force and effect from and after its passage, approval and publication.

**PASSED and APPROVED this 27th day of April, 2026**

\_\_\_\_\_  
Patrick Ludvigsen, City Mayor

ATTEST:

\_\_\_\_\_  
City Clerk

AYES: \_\_\_\_\_

NAYS: \_\_\_\_\_

ABSENT: \_\_\_\_\_

Published in pamphlet form April 28, 2026

CITY OF PROSPECT HEIGHTS		5/1/26
FY26-27 Budget		4/30/27
GL ACCT #	Description	FY27 proposed
	<b>NET ACTIVITY BY FUND</b>	
	GENERAL	446,782
	MFT	680,000
	MUIR POINTE TIF	1,000
	TOURISM	(41,086)
	DEA	(354,500)
	SWANCC	7,068
	SSA'S 1-4	(29,750)
	SSA5	11,750
	SSA8	(126,300)
	CAPITAL	(1,835,000)
	ROAD CONSTRUCTION DEBT	6,976,000
	SSA6 DEBT	(2,200)
	WATER	38,260
	PARKING	(1,600)
	SEWER	(151,320)
	POLICE PENSION	818,495
		<b>6,437,599</b>

<b>CITY OF PROSPECT HEIGHTS</b>		<b>5/1/26</b>
<b>FY26-27 Budget</b>		<b>4/30/27</b>
<b>GL ACCT #</b>	<b>Description</b>	<b>FY27 proposed</b>
01-105-3000	PROPERTY TAX	<b>517,000</b>
01-105-3005	USE TAX	<b>42,875</b>
01-105-3006	NON-HOME RULE SALES TAX	<b>1,250,000</b>
01-105-3010	UTILITY - ELECTRIC	<b>350,000</b>
01-105-3011	UTILITY - NATURAL GAS	<b>200,000</b>
01-105-3012	UTILITY- TELEPHONE	<b>130,000</b>
01-105-3030	ROAD & BRIDGE TAXES	<b>30,000</b>
01-105-3040	RENTAL CAR TAXES	<b>58,425</b>
01-105-3050	PLACES FOR EATING TAX	<b>400,000</b>
01-105-3064	CANNABIS TAX	<b>192,729</b>
01-105-3065	VIDEO GAMING TAX	<b>330,000</b>
01-105-3066	PULL TAB AND CHARITABLE GAMING TAX	<b>4,200</b>
01-110-3100	INCOME TAXES	<b>2,724,000</b>
01-110-3101	PERSONAL PROPERTY REPLACE TAX	<b>8,800</b>
01-110-3110	SALES TAXES	<b>2,021,000</b>
01-110-3111	SHARED REV-GLENVIEW	<b>330,000</b>
01-110-3113	SHARED REV-WHEELING (CEA)	<b>54,000</b>
01-115-3215	GRANT-IPFR SAFETY GRANT	<b>13,541</b>
01-120-3300	VEHICLE STICKERS	<b>750,000</b>
01-120-3310	VEH. STICKERS SENIORS	<b>36,000</b>
01-120-3320	VEH. STICKERS LATE FEES	<b>45,000</b>
01-120-3321	VEH. STICKERS TRANSFERS	<b>200</b>
01-120-3342	LICENSES - ANIMALS	<b>10,000</b>
01-120-3343	LICENSES - LIQUOR	<b>92,000</b>
01-120-3344	LICENSES - BUSINESS	<b>40,000</b>
01-120-3345	LICENSES - FOOD HANDLERS	<b>10,000</b>
01-120-3346	LICENSES - CONTRACTORS	<b>35,000</b>
01-120-3348	LICENSE - AGREEMENTS	<b>45,000</b>
01-125-3350	CABLE FRANCHISE FEES	<b>140,000</b>
01-125-3351	CABLE FRANCHISE FEES-PEG FEES	<b>12,000</b>
01-125-3355	SOLID WASTE FRANCHISE FEES	<b>112,000</b>
01-125-3360	NATURAL GAS FRANCHISE FEES	<b>27,500</b>
01-130-3400	BUILDING PERMITS	<b>340,000</b>
01-130-3402	PUBLIC HEARING FEES	<b>3,000</b>
01-130-3403	INSPECTIONS - ELEVATORS	<b>4,900</b>
01-130-3406	INSPECTIONS - BUILDING	<b>12,500</b>
01-130-3407	ENGINEERING PERMIT FEES	<b>20,000</b>
01-130-3408	VACANT FORECLOSURE REGISTRATIONS	<b>2,500</b>
01-130-3410	CHICKEN PERMIT FEES	<b>4,000</b>
01-130-3411	INSPECTIONS - RENTALS	<b>227,500</b>
01-140-3500	COURT FINES AND REDLIGHT	<b>400,000</b>
01-140-3505	LOCAL CITATIONS	<b>123,000</b>

CITY OF PROSPECT HEIGHTS		5/1/26
FY26-27 Budget		4/30/27
GL ACCT #	Description	FY27 proposed
01-140-3515	ADMINISTRATIVE TOW FEE	32,000
01-140-3520	DUI ASSESSMENTS	1,500
01-140-3525	POLICE ALARM LICENSES & FEES	10,000
01-145-3551	POLICE REVENUE-TASK FORCE	19,500
01-145-3553	POLICE REVENUE-SPECIAL DETAILS	40,000
01-145-3555	POLICE REVENUE - SEIZED ASSETS	500
01-150-3613	CVB/TOURISM SERVICE CHARGE	68,850
01-150-3617	SOLID WASTE SERVICE CHARGE	85,000
01-155-3703	RETIREE INS REIMB (100%)	58,200
01-155-3720	FIRE DISTRICT GAS REIMB.	8,000
01-155-3721	PARK DISTRICT REIMBURSEMENT	8,000
01-155-3730	INSURANCE REIMBURSEMENTS	5,000
01-155-3741	BUILDING & ENG DEPT REIMB FEES	7,500
01-155-3745	PUBLIC SAFETY REIMBURSABLE FEE	3,750
01-160-3800	INTEREST INCOME	10,000
01-160-3801	INTEREST INCOME - IL FUNDS	450,000
01-160-3802	INTEREST INCOME - PMA	150,000
01-160-3810	NEWSLETTER ADVERTISING	3,000
01-160-3815	SPONSORSHIP & CONTRIBUTIONS	11,500
01-160-3820	SALE OF CITY PROPERTY	4,000
01-160-3830	GASOLINE REBATE	2,000
01-160-3899	MISCELLANEOUS INCOME	20,000
01-200-3990	INTERFUND TRANSFERS	173,838
<b>General</b>	<b>FUND 01 REVENUE</b>	<b>12,320,808</b>
<b>DEPT 310 - CITY COUNCIL EXPENDITURES</b>		
01-310-4000	WAGES	51,500
01-310-4003	WAGES - PARTTIME	55,400
01-310-4100	HEALTH INSURANCE	11,700
01-310-4110	LIFE INSURANCE	100
01-310-4200	SOCIAL SECURITY	6,600
01-310-4210	MEDICARE	1,600
01-310-4220	IMRF	3,700
01-310-5100	PROFESSIONAL SERVICES	500
01-310-5300	ALDERMANIC EXPENSES	3,000
01-310-5310	MEMBERSHIPS	12,300
01-310-5950	SPECIAL EVENTS	10,000
01-310-5960	NRC OPERATIONS	8,200
01-310-7020	EQUIPMENT	23,000
<b>DEPT 310</b>	<b>TOTAL CITY COUNCIL</b>	<b>187,600</b>
<b>DEPT 320 - ADMINISTRATION DEPARTMENT EXPENDITURES</b>		
01-320-4000	WAGES	345,800
01-320-4100	HEALTH INSURANCE	100,800

CITY OF PROSPECT HEIGHTS		5/1/26
FY26-27 Budget		4/30/27
GL ACCT #	Description	FY27 proposed
01-320-4110	LIFE INSURANCE	400
01-320-4200	SOCIAL SECURITY	21,000
01-320-4210	MEDICARE	4,900
01-320-4220	IMRF	24,400
01-320-5100	PROF SERVICES	57,000
01-320-5105	PROF SERVICES-ENGR	60,000
01-320-5106	PROF SERVICES - GIS	20,000
01-320-5130	COMPUTER CONSULTANT	18,500
01-320-5200	POSTAGE	19,000
01-320-5220	PHOTOCOPY	8,000
01-320-5221	PRINTING	24,000
01-320-5222	LEGAL NOTICES	2,000
01-320-5230	WEBSITE	22,000
01-320-5310	MEMBERSHIPS	3,000
01-320-5330	TRAINING & PROF DEVELOPMENT	2,000
01-320-5340	TUITION REIMBURSEMENT	5,000
01-320-5410	UTILITIES	32,800
01-320-5430	CREDIT CARD & BANK CHARGES	18,000
01-320-5500	LIABILITY INSURANCE	27,400
01-320-5501	INSURANCE DEDUCTIBLES	2,500
01-320-5530	WORKERS COMP INSURANCE	3,500
01-320-5700	OFFICE SUPPLIES	6,000
01-320-5820	PUBLICATIONS	2,400
01-320-5951	EMPLOYEE RECOGNITION	500
01-320-7020	EQUIPMENT	18,500
<b>DEPT 320</b>	<b>TOTAL ADMINISTRATION</b>	<b>849,400</b>
<b>DEPT 322 - FINANCE DEPARTMENT EXPENDITURES</b>		
01-322-5101	AUDIT	26,000
01-322-5102	FINANCIAL SERVICES	135,680
01-322-5310	MEMBERSHIPS	1,000
01-322-5541	ACCTG SERVICE FEES	5,000
<b>DEPT 322</b>	<b>TOTAL FINANCE</b>	<b>167,680</b>
<b>DEPT 324 - LEGAL DEPARTMENT EXPENDITURES</b>		
01-324-5120	CITY ATTORNEY	240,000
01-324-5121	ADJUDICATION FEES	11,500
01-324-5122	CITY PROSECUTOR (TRESSLER)	55,000
01-324-5123	LABOR ATTORNEY (ACKERMAN)	35,000
01-324-5125	OUTSIDE COUNSEL (OTHER)	2,000
<b>DEPT 324</b>	<b>TOTAL LEGAL</b>	<b>343,500</b>
<b>DEPT 340 - COMMUNITY DEVELOPMENT DEPARTMENT EXPENDITURES</b>		
01-340-4000	WAGES	501,000
01-340-4100	HEALTH INSURANCE	118,000

CITY OF PROSPECT HEIGHTS		5/1/26
FY26-27 Budget		4/30/27
GL ACCT #	Description	FY27 proposed
01-340-4110	LIFE INSURANCE	500
01-340-4200	SOCIAL SECURITY	31,000
01-340-4210	MEDICARE	7,300
01-340-4220	IMRF	33,700
01-340-5100	PROFESSIONAL SERVICES	160,000
01-340-5111	BILLABLE ENGINEERING	40,000
01-340-5221	PRINTING	1,500
01-340-5222	LEGAL NOTICES	3,000
01-340-5310	MEMBERSHIPS	2,000
01-340-5330	TRAINING	5,500
01-340-5500	LIABILITY INSURANCE	2,800
01-340-5530	WORKERS COMP INSUR	4,300
01-340-5700	OFFICE SUPPLIES	4,000
01-340-5751	GASOLINE	2,500
01-340-5820	PUBLICATIONS	3,000
01-340-7020	EQUIPMENT	18,000
<b>DEPT 340</b>	<b>TOTAL COMM DEV</b>	<b>938,100</b>
<b>DEPT 350 - PUBLIC WORKS DEPARTMENT EXPENDITURES</b>		
01-350-4000	WAGES	520,600
01-350-4001	ALLOCATED WAGES & BENEFITS	(60,000)
01-350-4003	WAGES - PART-TIME	20,000
01-350-4010	OVERTIME	40,000
01-350-4100	HEALTH INSURANCE	192,200
01-350-4110	LIFE INSURANCE	800
01-350-4200	SOCIAL SECURITY	33,100
01-350-4210	MEDICARE	7,800
01-350-4220	IMRF	40,200
01-350-5020	VEHICLE MAINTENANCE	55,000
01-350-5031	SIGNAL MAINTENANCE	30,000
01-350-5100	PROFESSIONAL SERVICES	34,000
01-350-5103	PROF SERVICES - FORESTRY	27,000
01-350-5104	PROF SERVICES - BUILDING MAIN	75,000
01-350-5106	PROF SERVICES - STREETS/DRAIN	60,000
01-350-5310	MEMBERSHIPS	2,000
01-350-5330	TRAINING	8,500
01-350-5410	UTILITIES/CELL PHONE/CABLE	15,000
01-350-5411	WATER AND ELECTRIC PURCHASES	11,000
01-350-5421	DUMP CHARGES	1,000
01-350-5500	LIABILITY INSURANCE PREMIUM	41,100
01-350-5510	RENTAL EQUIPMENT	500
01-350-5530	WORKERS COMP INSUR	20,500
01-350-5610	EQUIPMENT MAINTENANCE	5,000
01-350-5632	ICE CONTROL MAINTENANCE	65,000

CITY OF PROSPECT HEIGHTS		5/1/26
FY26-27 Budget		4/30/27
GL ACCT #	Description	FY27 proposed
01-350-5634	STONE & CONCRETE	20,000
01-350-5635	STORM SEWER & PIPE	4,500
01-350-5650	LANDSCAPE SUPPLIES	20,000
01-350-5700	OFFICE SUPPLIES	2,000
01-350-5710	OPERATING SUPPLIES	24,000
01-350-5721	SIGNS	4,000
01-350-5730	TOOLS	4,000
01-350-5751	GASOLINE	18,000
01-350-7011	IMPROVEMENTS - PW	38,000
01-350-7020	EQUIPMENT	10,000
01-350-7023	SAFETY EQUIPMENT	5,000
01-350-7025	HARDWARE/SOFTWARE	31,000
<b>DEPT 350</b>	<b>TOTAL PUBLIC WORKS</b>	<b>1,425,800</b>
<b>DEPT 360 - PUBLIC SAFETY DEPARTMENT EXPENDITURES</b>		
01-360-4000	WAGES	725,000
01-360-4001	WAGES - SWORN OFFICERS	2,450,000
01-360-4002	WAGES - EXTRA STRAIGHT PAY	43,000
01-360-4004	WAGES - PART-TIME SWORN OFFCRS	124,000
01-360-4010	OVERTIME - ADMIN	5,000
01-360-4011	OVERTIME - SWORN OFFICERS	220,000
01-360-4100	HEALTH INSURANCE	525,500
01-360-4110	LIFE INSURANCE	2,800
01-360-4120	UNEMPLOYMENT INSURANCE	2,500
01-360-4200	SOCIAL SECURITY	32,000
01-360-4210	MEDICARE	51,500
01-360-4220	IMRF	23,000
01-360-4230	PENSION CONTRIBUTION - R/E TAX	517,000
01-360-4231	PENSION CONTRIBUTION-CITY GF	1,100,596
01-360-5100	PROFESSIONAL SERVICES	90,000
01-360-5140	PRISONERS CARE	1,500
01-360-5141	KENNEL FEES	800
01-360-5200	POSTAGE	3,000
01-360-5220	PHOTOCOPY	5,000
01-360-5221	PRINTING	3,000
01-360-5240	NORTHWEST CENTRAL DISPATCH	185,000
01-360-5310	MEMBERSHIPS	85,000
01-360-5321	AUTO EXPENSE	4,500
01-360-5330	TRAINING	32,500
01-360-5340	TUITION REIMBURSEMENT	6,000
01-360-5410	UTILITIES	15,000
01-360-5500	LIABILITY INSURANCE PREMIUM	82,200
01-360-5510	RENTAL EQUIPMENT	1,000
01-360-5530	WORKERS COMP INSUR	136,400
01-360-5610	EQUIPMENT MAINTENANCE	15,000

CITY OF PROSPECT HEIGHTS		5/1/26
FY26-27 Budget		4/30/27
GL ACCT #	Description	FY27 proposed
01-360-5611	RADIO MAINTENANCE	1,500
01-360-5700	OFFICE SUPPLIES	5,200
01-360-5710	OPERATING SUPPLIES	10,000
01-360-5740	RANGE SUPPLIES	12,000
01-360-5741	CLOTHING	35,000
01-360-5751	GASOLINE	58,000
01-360-5820	PUBLICATIONS	200
01-360-7022	POLICE - SMALL EQUIPMENT	36,000
01-365-5981	DUI EXPENSE	5,000
01-365-5983	SEIZED ASSET EXPENSE	5,000
<b>DEPT 360/65</b>	<b>TOTAL PUBLIC SAFETY</b>	<b>6,655,696</b>
01-370-4101	RETIREE HEALTH INSUR REIMB	85,000
01-370-5102	GRANT WRITER	18,000
01-370-5751	GASOLINE	8,000
01-380-5975	SALES TAX REBATE	80,000
01-380-5999	MISCELLANEOUS EXPENSE	250
01-600-8090	INTERFUND TRANSFER OUT	1,115,000
<b>GENERAL</b>	<b>TOTAL OTHER</b>	<b>1,306,250</b>
<b>GENERAL</b>	<b>FUND 01 EXPENSES</b>	<b>11,874,026</b>
<b>GENERAL</b>	<b>FUND 01 NET</b>	<b>446,782</b>
<b>FUND 11 - MOTOR FUEL TAX FUND</b>		
11-100-3801	INTEREST INCOME - IL FUNDS	200,000
11-110-3120	MOTOR FUEL TAX	725,000
<b>MFT</b>	<b>FUND 11 REVENUE</b>	<b>925,000</b>
11-300-5100	PROFESSIONAL SERVICES	25,000
11-300-7020	EQUIPMENT	220,000
<b>MFT</b>	<b>FUND 11 EXPENSES</b>	<b>245,000</b>
<b>MFT</b>	<b>FUND 11 NET</b>	<b>680,000</b>

CITY OF PROSPECT HEIGHTS		5/1/26
FY26-27 Budget		4/30/27
GL ACCT #	Description	FY27 proposed
<b>FUND 12 - MUIR POINTE TIF</b>		
12-100-3000	<b>REAL ESTATE TAXES</b>	<b>36,000</b>
<b>TIF</b>	<b>FUND 12 REVENUE</b>	<b>36,000</b>
12-300-5100	PROFESSIONAL SERVICES	25,000
12-300-5105	PROF SERVICES-ENGR	10,000
<b>TIF</b>	<b>FUND 11 EXPENSES</b>	<b>35,000</b>
<b>TIF</b>	<b>FUND 12 NET</b>	<b>1,000</b>
<b>FUND 13 - TOURISM FUND</b>		
13-100-3020	HOTEL TAXES	525,000
13-100-3800	INTEREST INCOME	500
<b>Tourism</b>	<b>FUND 13 REVENUE</b>	<b>525,500</b>
13-300-5101	AUDIT	2,500
13-300-5102	FINANCIAL SERVICES	16,560
13-300-5108	BEAUTIFICATION	65,000
13-300-5310	MEMBERSHIPS	49,500
13-300-5401	SERVICE CHARGE - GENERAL FUND	68,850
13-300-5410	UTILITIES	10,500
13-300-5950	SPECIAL EVENTS	60,000
13-300-5610	EQUIPMENT MAINTENANCE	3,000
13-300-5920	PROMOTIONAL GRANTS	116,838
13-600-8090	INTERFUND TRANSFER OUT	173,838
<b>Tourism</b>	<b>FUND 13 EXPENSES</b>	<b>566,586</b>
<b>Tourism</b>	<b>FUND 13 NET</b>	<b>(41,086)</b>
<b>FUND 16 - DEA FUND</b>		
16-100-3800	INTEREST INCOME	12,000
<b>DEA</b>	<b>FUND 16 REVENUE</b>	<b>12,000</b>
16-300-4011	OVERTIME-SWORN SERVICES	23,000
16-300-5100	PROFESSIONAL SERVICES	6,000
16-300-5310	MEMBERSHIP	3,500
16-300-5330	TRAINING	15,000
16-300-5610	EQUIPMENT MAINTENANCE	65,000
16-300-5710	OPERATING SUPPLIES	4,000
16-300-5720	POLICE- SMALL EQUIPMENT	20,000
16-500-7020	POLICE - EQUIPMENT - CAPITAL	230,000
<b>DEA</b>	<b>FUND 16 EXPENSES</b>	<b>366,500</b>
<b>DEA</b>	<b>FUND 16 NET</b>	<b>(354,500)</b>

CITY OF PROSPECT HEIGHTS		5/1/26
FY26-27 Budget		4/30/27
GL ACCT #	Description	FY27 proposed
<b>FUND 17 - SOLID WASTE FUND</b>		
17-100-3355	SOLID WASTE FEES	650,000
<b>Solid Waste</b>	<b>FUND 17 REVENUE</b>	<b>650,000</b>
17-300-5401	SERVICE CHG - GEN FUND	105,000
17-300-5420	SWANCC CHARGES	452,932
17-600-8090	INTERFUND TRANSFER OUT	85,000
<b>Solid Waste</b>	<b>FUND 17 EXPENSES</b>	<b>642,932</b>
<b>Solid Waste</b>	<b>FUND 17 NET</b>	<b>7,068</b>
<b>FUND 22 - SSA #2 FUND</b>		
22-100-3800	INTEREST INCOME	100
<b>SSA #2</b>	<b>FUND 22 REVENUE</b>	<b>100</b>
22-300-5100	PROFESSIONAL SERVICES	10,000
<b>SSA #2</b>	<b>FUND 22 EXPENSES</b>	<b>10,000</b>
<b>SSA #2</b>	<b>FUND 22 NET</b>	<b>(9,900)</b>
<b>FUND 23 - SSA #3 FUND</b>		
23-100-3800	INTEREST INCOME	100
<b>SSA #3</b>	<b>FUND 23 REVENUE</b>	<b>100</b>
23-300-5100	PROFESSIONAL SERVICES	10,000
<b>SSA #3</b>	<b>FUND 23 EXPENSES</b>	<b>10,000</b>
<b>SSA #3</b>	<b>FUND 23 NET</b>	<b>(9,900)</b>
<b>FUND 24 - SSA #4 FUND</b>		
24-100-3800	INTEREST INCOME	50
<b>SSA #4</b>	<b>FUND 24 REVENUE</b>	<b>50</b>
24-300-5100	PROFESSIONAL SERVICES	10,000
<b>SSA #4</b>	<b>FUND 24 EXPENSES</b>	<b>10,000</b>
<b>SSA #4</b>	<b>FUND 24 NET</b>	<b>(9,950)</b>
<b>FUND 25 - SSA #5 FUND</b>		
25-100-3000	REAL ESTATE TAXES	36,950
25-100-3800	INTEREST INCOME	300
<b>SSA #5</b>	<b>FUND 25 REVENUE</b>	<b>37,250</b>
25-300-5050	SYSTEM MAINTENANCE	15,000
25-300-5100	PROFESSIONAL SERVICES	5,000
25-300-5500	LIABILITY INSURANCE	5,500
<b>SSA #5</b>	<b>FUND 25 EXPENSES</b>	<b>25,500</b>
<b>SSA #5</b>	<b>FUND 25 NET</b>	<b>11,750</b>

CITY OF PROSPECT HEIGHTS		5/1/26
FY26-27 Budget		4/30/27
GL ACCT #	Description	FY27 proposed
<b>FUND 28 - SSA #8 FUND</b>		
28-100-3000	REAL ESTATE TAXES	188,900
28-100-3800	INTEREST INCOME	500
<b>SSA #8</b>	<b>FUND 28 REVENUE</b>	<b>189,400</b>
28-300-5100	PROFESSIONAL SERVICES	18,000
28-300-5410	UTILITIES	1,200
28-300-5500	LIABILITY INSURANCE	5,500
28-300-5710	OPERATING SUPPLIES	1,000
28-300-7020	EQUIPMENT	5,000
28-300-7062	LEVEE 37 WALL REPAIR	285,000
<b>SSA #8</b>	<b>FUND 28 EXPENSE</b>	<b>315,700</b>
<b>SSA #8</b>	<b>FUND 28 NET</b>	<b>(126,300)</b>
<b>FUND 30 - CAPITAL PROJECTS FUND</b>		
30-115-3200	GRANT REVENUE	5,457,700
30-200-3990	INTERFUND TRANSFER IN	1,085,000
<b>CIP</b>	<b>FUND 30 REVENUE</b>	<b>6,542,700</b>
30-550-7020	CITY IMPROVEMENTS	276,000
30-550-7021	CITY EQUIPMENT	295,000
30-550-7050	STREET RESURFACING	125,000
30-550-7060	SIDEWALKS	5,564,500
30-550-7062	STORMWATER PROJECTS	2,117,200
<b>Capital</b>	<b>FUND 30 EXPENSE</b>	<b>8,377,700</b>
<b>Capital</b>	<b>FUND 30 NET</b>	<b>(1,835,000)</b>
<b>FUND 41 ROAD CONSTRUCTION DEBT FUND</b>		
41-100-3000	REAL ESTATE TAXES	1,305,958
41-100-3800	INTEREST INCOME	1,000
<b>Rd Constr Debt</b>	<b>FUND 41 REVENUE</b>	<b>1,306,958</b>
41-400-6000	PRINCIPAL	1,255,000
41-400-6010	INTEREST	50,958
41-400-6120	BOND ISSUANCE COSTS	25,000
41-400-6125	BOND PROCEEDS	(7,000,000)
<b>Rd Constr Debt</b>	<b>FUND 41 EXPENSES</b>	<b>(5,669,042)</b>
<b>Rd Constr Debt</b>	<b>FUND 41 NET</b>	<b>6,976,000</b>

CITY OF PROSPECT HEIGHTS		5/1/26
FY26-27 Budget		4/30/27
GL ACCT #	Description	FY27 proposed
<b>FUND 46 - SSA #6 DEBT FUND</b>		
46-100-3000	REAL ESTATE TAXES	216,053
46-100-3800	INTEREST INCOME	300
<b>SSA #6</b>	<b>FUND 46 REVENUE</b>	<b>216,353</b>
46-300-5430	BANK FEES	2,500
46-400-6000	PRINCIPAL	195,000
46-400-6010	INTEREST	21,053
<b>SSA #6</b>	<b>FUND 46 EXPENSES</b>	<b>218,553</b>
<b>SSA #6</b>	<b>FUND 46 NET</b>	<b>(2,200)</b>
<b>FUND 51 - WATER FUND</b>		
51-100-3800	INTEREST INCOME	110,000
51-100-3880	WATER SALES	412,700
51-100-3881	WATER DELIVERY CHARGE	459,300
51-100-3882	WATER INFRASTRUCTURE RESERVE	185,000
51-100-3884	WATER MAINTENANCE RESV(DEBT)	73,000
51-100-3885	PENALTY	7,500
<b>Water</b>	<b>FUND 51 REVENUE</b>	<b>1,247,500</b>
51-300-4000	WAGES	102,200
51-300-4010	OVERTIME	4,000
51-300-4100	HEALTH INSURANCE	47,000
51-300-4110	LIFE INSURANCE	100
51-300-4200	SOCIAL SECURITY	6,600
51-300-4210	MEDICARE	1,600
51-300-4220	IMRF	7,600
51-300-5000	BUILDING MAINTENANCE	15,000
51-300-5050	SYSTEM MAINTENANCE	30,000
51-300-5100	PROFESSIONAL SERVICES	45,000
51-300-5101	AUDIT	10,000
51-300-5102	FINANCIAL SERVICES	66,240
51-300-5200	POSTAGE	2,000
51-300-5221	PRINTING	500
51-300-5310	MEMBERSHIPS	1,500
51-300-5330	TRAINING	2,500
51-300-5410	UTILITIES	32,000
51-300-5412	WATER COST	400,000

CITY OF PROSPECT HEIGHTS		5/1/26
FY26-27 Budget		4/30/27
GL ACCT #	Description	FY27 proposed
51-300-5430	CREDIT CARD & BANK CHARGES	19,000
51-300-5500	LIABILITY INSURANCE	41,100
51-300-5530	WORKERS COMPENSATION INSURANCE	4,300
51-300-5634	STONE AND CONCRETE	8,000
51-300-5661	METERS	10,000
51-300-5750	CHEMICALS	1,000
51-300-5751	GASOLINE	2,000
51-500-7020	EQUIPMENT & IMPROVEMENTS	225,000
51-600-8000	DEPRECIATION	125,000
<b>Water</b>	<b>FUND 51 EXPENSES</b>	<b>1,209,240</b>
<b>Water</b>	<b>FUND 51 NET</b>	<b>38,260</b>
<b>FUND 52 - PARKING FUND</b>		
52-100-3330	PARKING FEES	15,000
52-200-3990	INTERFUND TRANSFER IN	115,000
<b>Parking</b>	<b>FUND 52 REVENUE</b>	<b>130,000</b>
52-300-4001	ALLOCATED WAGES & BENEFITS	60,000
52-300-5000	BUILDING MAINTENANCE	1,000
52-300-5100	PROFESSIONAL SERVICES	1,000
52-300-5410	UTILITIES	7,500
52-300-5511	FACILITY RENT	25,000
52-300-5632	ICE CONTROL MAINTENANCE	1,000
52-300-5710	OPERATING SUPPLIES	100
52-600-8000	DEPRECIATION	36,000
<b>Parking</b>	<b>FUND 52 EXPENSES</b>	<b>131,600</b>
<b>Parking</b>	<b>FUND 52 NET</b>	<b>(1,600)</b>
<b>FUND 53 - SEWER FUND</b>		
53-100-3800	INTEREST INCOME	40,000
53-100-3801	INTEREST INCOME-PMA	15,000
53-100-3884	SANITARY SEWER CHARGES	906,400
53-100-3885	PENALTY	6,000
<b>Sewer</b>	<b>FUND 53 REVENUE</b>	<b>967,400</b>
53-300-4000	WAGES	112,600
53-300-4100	HEALTH INSURANCE	51,500
53-300-4110	LIFE INSURANCE	100
53-300-4200	SOCIAL SECURITY	6,900
53-300-4210	MEDICARE	1,600
53-300-4220	IMRF	8,800
53-300-5050	SYSTEM MAINTENANCE	15,000
53-300-5100	PROFESSIONAL SERVICES	48,000
53-300-5101	AUDIT	17,500
53-300-5102	FINANCIAL SERVICES	115,920

CITY OF PROSPECT HEIGHTS		5/1/26
FY26-27 Budget		4/30/27
GL ACCT #	Description	FY27 proposed
53-300-5200	POSTAGE	7,500
53-300-5221	PRINTING	1,200
53-300-5330	TRAINING	1,000
53-300-5500	LIABILITY INSURANCE	68,500
53-300-5530	WORKMAN'S COMP	1,800
53-500-7020	EQUIPMENT	133,000
53-500-7051	SYSTEM IMPROVEMENTS	527,800
<b>Sewer</b>	<b>FUND 53 EXPENSES</b>	<b>1,118,720</b>
<b>Sewer</b>	<b>FUND 53 NET</b>	<b>(151,320)</b>
<b>FUND 71 - POLICE PENSION FUND</b>		
71-100-3000	REAL ESTATE TAXES	517,000
71-100-3800	INTEREST INCOME	125,000
71-100-3801	NET APPRECIATION - FV INV	750,000
71-100-3860	CITY CONTRIBUTION	1,100,596
71-100-3861	EMPLOYEE CONTRIBUTION	268,525
<b>Police Pension</b>	<b>FUND 71 REVENUE</b>	<b>2,761,121</b>
71-300-4232	DISABILITY BENEFITS	81,899
71-300-4233	PENSION PAYMENTS	1,785,727
71-300-5102	ADMINISTRATION	60,000
71-300-5107	INVESTMENT EXPENSE	15,000
<b>Police Pension</b>	<b>FUND 71 EXPENSES</b>	<b>1,942,626</b>
<b>Police Pension</b>	<b>FUND 71 NET</b>	<b>818,495</b>
<b>TOTAL - ALL FUNDS</b>		<b>6,437,599</b>



To: Mayor Pat Ludvigsen and Members of the City Council

From: Cheri Grieco, Finance Director

Date: April 13, 2026

Re: Ordinance O-26-07 Sewer Rate Increase

**Background:**

In 2015, the City of Prospect Heights assumed responsibility for the management, billing, and maintenance of the sanitary sewer system following the dissolution of the Old Town Sanitary District. At that time, the City conducted rate studies to establish reasonable user rates necessary to support ongoing maintenance of the sewer infrastructure.

Since assuming control, the City has maintained a proactive sewer cleaning and maintenance program and has consistently met the infiltration and inflow compliance standards established by the Metropolitan Water Reclamation District (MWRD). These efforts support the MWRD's capacity to effectively treat wastewater.

The current sewer rates, which are billed quarterly, were originally based on projected long-term system maintenance costs. Notably, these rates have remained unchanged since 2015.

Sewer Rates Adopted in 2017 After Old Towne Sanitary District Consolidation		Proposed New Sewer Rates
Customer Class	Rate Per Month	
Residential	\$20.00	\$22.00
Commercial	\$24.50	\$26.95
Multi-Unit (base unit)	\$49.00	\$53.63
Multi-Unit (additional)	\$6.25	\$6.87

**Analysis:**

The Sewer Fund is projected to incur significant expenses as part of the Capital Improvement Program (CIP), totaling approximately \$527,000. As a result, the fund is anticipated to reflect a negative net budget of approximately (\$247,000) for Fiscal Year 2027.

Given that these capital and maintenance expenses are expected to continue and increase in future years, maintaining the current rate structure will not provide sufficient revenue to support ongoing operational and infrastructure needs.

**Staff Recommendation:**

Given that sewer rates have not been adjusted since the city assumed responsibility for the system, staff recommend implementing a 10% increase across all customer classes. This adjustment is necessary to offset rising costs, ensure financial stability of the Sewer Fund, and provide adequate resources for future maintenance and capital improvements.

**ORDINANCE NO. O-26-07**

**An Ordinance Amending Title 8, Chapter 5 of the Prospect Heights City Code  
Relating to Sewer Service Rates**

**WHEREAS**, the City of Prospect Heights operates a sewerage system within the City, including the former “Old Town” system; and

**WHEREAS**, the City commissioned a sewer rate study to evaluate the financial condition of the sewer system and offer a proposed rate structure; and

**WHEREAS**, the City Council adopted the report and its recommendations, including grouping all customers into a single rate structure and developing sewer rates that fully fund the operational, capital, and reserve requirements of the City’s sanitary sewer system; and

**WHEREAS**, the City Council of the City of Prospect Heights has determined to revise the City’s sewer service rates and desires to amend the Prospect Heights City Code as provided below;

**NOW THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE  
CITY OF PROSPECT HEIGHTS, COOK COUNTY, ILLINOIS:**

**SECTION 1:** Each of the foregoing recitals and findings are hereby made a part of this Ordinance and are incorporated by reference as if set forth verbatim herein.

**SECTION 2:** That Title 1, PUBLIC WAYS AND PROPERTY, Chapter 5, Sewers, Section 8-5-1, Rates Established, of the Prospect Heights City Code, as amended, is hereby further amended at Section 8-5-1 with deletions in strikethrough and additions in bold, underlined text so that the same shall be read as follows:

**8-5-1: RATES ESTABLISHED:**

There be and are hereby established the following rates and charges for the use and service of the sewerage system of the City:

Residential Users	<del>\$20.00</del> <b><u>\$22.00</u></b> per month
Commercial Users	<del>\$24.50</del> <b><u>\$26.95</u></b> per month
Multi-Unit Base	<del>\$49.00</del> <b><u>\$53.90</u></b> per month
Multi-Unit (Each Additional Unit)	<del>\$6.25</del> <b><u>\$6.87</u></b> per month

**SECTION 3:** That the rates and charges for sanitary sewer service, as provided herein, shall be effective with all billings dated July 1, 2026 and thereafter.

**SECTION 4:** That this Ordinance shall be in full force and effect from and after its passage, approval, and publication in the manner provided by law.

**PASSED and APPROVED** this 27th day of April, 2026.

\_\_\_\_\_  
Patrick Ludvigsen, Mayor

ATTEST:

\_\_\_\_\_  
City Clerk

AYES: \_\_\_\_\_

NAYS: \_\_\_\_\_

ABSENT: \_\_\_\_\_



# City of Prospect Heights

Department of Building & Zoning  
 8 North Elmhurst Road, Prospect Heights Illinois, 60070-6070  
 Office: 847/398-6070 x 211-FAX: 847/590-1854  
[www.prospect-heights.il.us](http://www.prospect-heights.il.us)

## MEMORANDUM

Date: April 3, 2026

To: Mayor Ludvigsen and City Council

From: Daniel A. Peterson, Director of Building & Development

Subject: ZBA Case No. 26-04 V – 1120 N. Drury Lane  
 Variations to Section 5-3-4G to allow the construction of 400 sq. ft. Pergola

**Issue:** Nick and Gina Bertolini, owners of 1120 N. Drury Lane, applied for a permit to construct a 531 sq. ft open covered pool house and storage accessory structure in the rear yard.

**Background:** In 2020 they purchased and consolidated 1120 & 1128 N. Drury Lane into a ±40,020 sq. ft. single lot and constructed a new single-family home. The Bertolini's are planning to construct an inground swimming pool and are looking to construct the proposed covered pool house/shed structure. Per Section 5-3-4 Lot Coverage and Section 5-3-8 Number of Accessory Structures the property could support the following accessory structures:

*5-3-4 Lot Coverage: No detached garage, nor carport attached or detached, shall exceed 720 square feet. No accessory building, other than a garage, may exceed 200 square feet. If 2 or more accessory buildings are constructed, in addition to a detached garage, the first building may not exceed 200 square feet and the other building(s) may not exceed 80 square feet, with a combined total square footage for all garages and accessory structures not to exceed 1,000 square feet.*

*5-3-8 Number of Structures on a Zoning Lot: Not more than three (3) accessory buildings shall be located on a zoning lot. No detached garage shall exceed seven hundred twenty (720) square feet. No accessory building, other than a garage, may exceed two hundred (200) square feet. If two (2) or three (3) accessory buildings are constructed, one building may not exceed two hundred (200) square feet and the other building(s) may not exceed eighty (80) square feet, combined for a maximum of one thousand (1,000) square feet (including the 720 square foot garage). Further, in an R-1 or R-1A zoning district, one additional accessory building not exceeding two hundred (200) square feet shall be permitted for each additional ten thousand (10,000) square feet of the zoning lot over twenty thousand (20,000) square feet. (Ord. 0-94-39, 9-7-1994)*

Based upon the applicable zoning code sections, the total number structures allowed would be five (5).

- 1 -720 sq. ft. detached garage,
- 3 – 200 sq. ft. accessory structures
- 1 – 80 sq. ft. garden tool shed

Nick Bertolini testified they are requesting a variation to allow a single accessory structure other than a detached garage to exceed the maximum 200 sq. ft. size limitation. The request was for the minimal necessary for the project. He also provided testimony regarding the construction of the accessory and that it would provide screening to the properties to the west and north and be open facing the house. He also explained that the project would not alter or change the stormwater path on the property.

There was no public testimony provided in opposition.

The PZBA member asked questions regarding exterior light and impacts to neighbors. Mr. Bertolini explained that at the present time they are not proposing any additional lighting that is currently installed on the house. He agreed to a condition that any future lighting for the pool and accessory structure be directed away from the neighboring property.

Additionally, based upon the site conditions the PZBA asked Mr. Bertolini if he was going to add any additional accessory structures. He stated no and would agree to a restriction on any additional accessory structures.

After deliberation, the PZBA established a finding of fact that the variations met the standards for variation and voted 7-0 to recommend approval of the variations with conditions.

The applicants have submitted a letter requesting waiver of first reading.

Staff concurs with the PZBA recommendation and applicant's waiver request.

**Recommendation:** Approve the waiver of first reading and approve Ordinance No. O-26-08 Granting Certain Variations at the property located at 1120 N. Drury Lane, Prospect Heights. IL

**ORDINANCE NO. O-26-08**

**AN ORDINANCE GRANTING CERTAIN VARIATIONS FOR  
THE PROPERTY AT  
1120 N. DRURY LANE, PROSPECT HEIGHTS, ILLINOIS**

**(PZBA Case #26-04V)**

**WHEREAS**, the provisions of the Prospect Heights Zoning Ordinance applicable to the property legally described in Exhibit A attached hereto (hereinafter “Property”) and commonly known as 1120 N. Drury Lane prescribe that the only accessory structure allowed to exceed 200 sq. ft. is a detached garage, and

**WHEREAS**, the owners of the Property have submitted for consideration a variation request to increase the size of an accessory structure other than a detached garage from 200 sq. ft. to 531 sq. ft. open covered pool house/storage shed in the rear yard per 5-3-4G of the City of Prospect Heights Zoning Code in the City’s R-1 Single Family Residential District; and

**WHEREAS**, the Plan/Zoning Board of Appeals held a public hearing on March 25, 2025, regarding said application; and

**WHEREAS**, the Plan/Zoning Board of Appeals has recommended the Requested Variation with conditions be approved and has made the necessary findings thereof; and

**WHEREAS**, the Mayor and City Council have reviewed the recommendation of the Plan/Zoning Board of Appeals.

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF PROSPECT HEIGHTS, COOK COUNTY, ILLINOIS** as follows:

Section 1. The City Council hereby finds and determines that the facts set forth in the preamble hereto are true and correct and hereby incorporates them as part of this Ordinance.

Section 2. The Requested Variation is hereby granted.

Section 3. That the variation is conditioned upon applicants' construction of the open pool house/storage shed substantially in accordance with the approved plans and documents submitted at the public hearing and with all applicable codes

Section 4. The variation is approved with the listed conditions upon the applicants or future owners:

1. Will be prohibited from constructing accessory structures in the future.
2. Any exterior lighting added to the accessory structure or for the future swimming pool shall be directed away from the neighboring properties.

Section 5. That this Ordinance and all exhibits attached hereto shall be recorded at the Cook County Recorder's Office at the expense of the Owners.

Section 6. The City Clerk is directed to publish this ordinance in pamphlet form and this Ordinance shall be in full force and effect from and after its passage and approval as required by law.

PASSED AND APPROVED this 13<sup>th</sup> Day of April 2026

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Patrick Ludvigsen, Mayor

ATTEST:

---

Joanna Prisiajniouk, City Clerk

AYES:

NAYS:

ABSENT:

Published in pamphlet form: April 14, 2026.

**Exhibit A**

**Legal Description and Plat of Survey**

**1120 N. Rury Lane, Prospect Heights, IL**

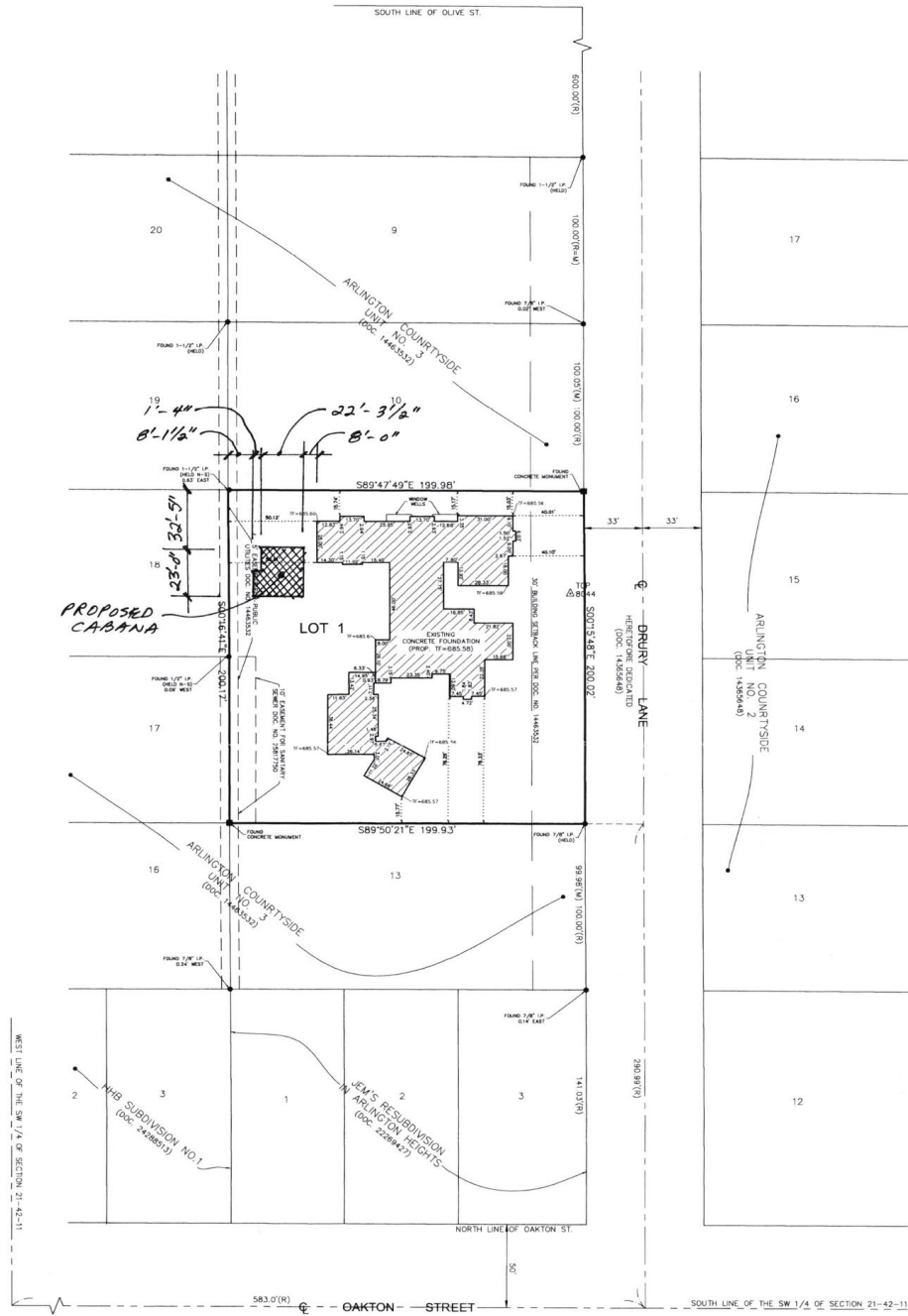
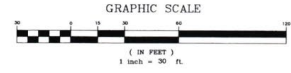
**LOT 1 IN THE BIG FISH ESTATE BEING A SUBDIVISION OF PART OF THE SOUTH HALF OF THE SOUTHWEST QUARTER OF SECTION 21, TOWNSHIP 42 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN IN COOK COUNTY, ILLINOIS**

**PIN #03-21-306-021-0000 AND 03-21-306-022-0000**

EXHIBIT  
**3**  
 26-024V

# PLAT OF SURVEY

LOT 1 IN BIG FISH ESTATE BEING A SUBDIVISION OF PART OF THE SOUTH HALF OF THE SOUTHWEST QUARTER OF SECTION 21, TOWNSHIP 42 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS (RECORDING STATUS UNKNOWN)



**ABBREVIATIONS**

- O.D.I.P. = OUTSIDE DIAMETER IRON PIPE
- (R) = RECORD BEARING OR DISTANCE
- (M) = MEASURED BEARING OR DISTANCE
- (D) = DEED BEARING OR DISTANCE
- A = ARC LENGTH
- R = RADIUS
- CH = CHORD
- R.O.W. = RIGHT OF WAY
- P.O.B. = POINT OF BEGINNING
- P.U.E. = PUBLIC UTILITY EASEMENT
- D.E. = DRAINAGE EASEMENT
- P.U. & D.E. = PUBLIC UTILITY AND DRAINAGE EASEMENT
- B.L. = BUILDING LINE
- S.Y.S.L. = SIDE YARD SETBACK LINE
- R.T.S.L. = REAR YARD SETBACK LINE

**LEGEND**

- SET 7/8" O.D.I.P. UNLESS OTHERWISE NOTED
- SET CONCRETE MONUMENT UNLESS OTHERWISE NOTED

**LINE LEGEND**

- SUBDIVISION BOUNDARY LINE
- ADJACENT LAND PARCEL LINE
- LOT LINE
- EASEMENT LINE
- CENTERLINE
- BUILDING LINE
- SECTION LINE

**SURVEYOR'S CERTIFICATION**

STATE OF ILLINOIS  
 COUNTY OF HANCOCK  
 I, DAVID P. FLEISHMAN, a duly licensed Professional Land Surveyor in the State of Illinois, do hereby certify that the above described property was surveyed under the direction of me, a duly licensed Professional Land Surveyor, on July 14, 2020. ALL DISTANCES SHOWN ARE IN FEET AND DECIMAL FRACTIONS THEREOF.  
 THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT EDITION OF THE MINIMUM STANDARDS FOR A PLANNING SURVEY.  
 COMPASS SURVEYING LTD.  
 DAVID P. FLEISHMAN  
 26-024V  
 2020  
 JULY 14, 2020  
 LAND SURVEYOR NO. 084-002778  
 LICENSE EXPIRES 12/31/2025  
 PROJECTS: V19-0262/V19-0262 SPOT/026

1 OF 1	SCALE: 1" = 30'	<b>COMPASS SURVEYING LTD.</b> ALTA SURVEYS • TOPOGRAPHY • CONSTRUCTION STAKING 2631 GINGER WOODS PARKWAY, STE. 100 AURORA, IL 60502 PHONE: (630) 826-9100 FAX: (630) 826-7059 EMAIL: ADMIN@COMPASSSURVEYING.COM	PROJECT	DATE: 07-16-2020	PC: JM	DRAWN BY: BT	CHECKED BY: DF	BOOK: 521C PG: 56
			1120 & 1128 N. Drury Lane Prospect Heights, IL 60064	NO. 1	REVISIONS	DATE	BY	1
			CLIENT/TOWNER					
			Nick & Gina Bertolini 1120 & 1128 N. Drury Lane Prospect Heights, IL 60064					

## Dan Peterson

---

**From:** Gina Bertolini <gina@nicholasfoc.com>  
**Sent:** Wednesday, April 1, 2026 10:35 PM  
**To:** Dan Peterson  
**Cc:** Jennifer Myzia; nicholasjbertolini@gmail.com  
**Subject:** 1120 Drury Lane | 26-04 V

\*\*\*\*\* THIS IS AN EXTERNAL EMAIL, PLEASE EXERCISE CAUTION WITH LINKS \*\*\*\*\*

Good Evening Dan,

As a follow up to last week's PZBA meeting – we would like to formally request waiver of first reading at the upcoming City Counsel meeting to allow us to move forward with our project. Our goal is to begin construction as soon as possible so the pool can be operational for the current season, and the variance request was for the minimum needed to achieve our goal. We have been thoughtful in our approach to ensure that the design remains consistent with the intent of the ordinance while addressing practical site conditions.

Additionally, the request received unanimous support from the PZBA, with no opposition noted during the review process. We believe this reflects alignment with community expectations and the appropriateness of the request.

We plan to attend the upcoming board meeting on April 13<sup>th</sup> at 6pm and are happy to answer any questions that may arise.

Thank you for your time and consideration.

Thanks,  
Gina

**Gina Bertolini**  
CFO & Managing Director

**Nicholas Family of Companies**  
1001 Feehanville Drive  
Mount Prospect, IL 60056  
P 847.394.6200

[NicholasFOC.com](http://NicholasFOC.com)

**NICHOLAS**  
*family of companies*

### Disclaimer

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# City of Prospect Heights

Department of Building & Zoning  
8 North Elmhurst Road, Prospect Heights Illinois, 60070-6070  
Office: 847/398-6070 x 211-FAX: 847/590-1854  
[www.prospect-heights.il.us](http://www.prospect-heights.il.us)

---

## MEMORANDUM

Date: March 19, 2026

To: Planning/Zoning Board Commissioners

From: Daniel A. Peterson, Director of Building & Development

Subject: ZBA Case No.26-04 V – Variation to Allow a ±531 sq. ft. accessory structure  
Open air pool house and Storage Shed  
1120 N. Drury Lane, Prospect Heights, IL

Please be advised that Nick & Gina Bertolini, owners, are seeking a variation to Section 5-3-4 G Lot Coverage of the City of Prospect Heights Zoning Code to allow the construction of a single ± 531 sq. ft. covered open air pool house and storage shed larger than the 200 sq. ft. allowed for an accessory structure.

Bertolini's property is ±40,020 sq. ft. Section 5-3-8 Number of Accessory Structures allows an additional 200 sq. ft. shed for each additional 10,000 sq. ft. of lot area over 20,000 sq. ft. The applicants could construct three (3) 200 sq. ft. accessory structures by right. Additionally, Section 5-3-8 dictates that only detached garages may exceed 200 sq. ft. This change does not require any additional notice as it does not structurally change the application, and the hearing has been legally noticed.

Please contact me should you have any questions regarding this application.

Thank you.



FOR OFFICE USE ONLY:
FEE PAID 2/27/24
RECIEPT # V153
DATE 2/27/24
RECV'D BY [Signature]
CASE # 26-04V
MEETING DATE 3/25/24

PLAN/ZONING BOARD OF APPEALS
APPLICATION

Special use (\$400) Map Amendment (Refer to Ord. 0-03-18)
Variation (\$150) Subdivision/PUD (Refer to Ord. 0-03-18)
Text Amendment (\$300) Lot Consolidation (Refer to Ord. 0-03-18)
Appearance Review

APPLICANT: Nick & Gina Bertolini
ADDRESS: 1120 North Drury Lane
Arlington Heights, IL 60004

PHONE: (708) 212.7663

ADDRESS OF SUBJECT PROPERTY: 1120 North Drury Lane, Arlington Height, IL 60004

PROPERTY IS LOCATED IN THE R-1 ZONING DISTRICT.

APPLICABLE SECTION OF ORDINANCE: 5-3-4G & 5-6-1

DESCRIPTION OF REQUEST: This variation would allow us to build a single, open-air pool house/storage shed to house pool equipment and a washroom that is approx 531 SF. This struture would not fall into any setbacks or require any other permissions to meet required code.

Are there any covenants, conditions, restrictions or floodplain issues concerning type of improvements, setbacks, area or height requirements, occupancy or use limitations, etc. placed on the property and now of record: YES NO X
If yes, pelase describe:

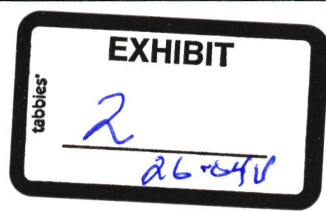
Has the property been the subject of previous or pending adminstrative legislative or court action: YES NO X If yes, give details:

The follow items MUST be sumitted at time of filling:

- 1. Application (12 copies)
2. Plat of Survey (12 copies) - must be drawn to scale and indicate the location of the proposed addition or construction and must contain the legal description of the property, along with additional information to support the application. (12 copies) \*Note - please include one copy for file no longer than 11x17.
3. Proof of Ownership (1 copy)
4. Letter indicating Hardship (for variations only 12 copies)
5. Notice to Property Owners (1 copy)
6. List of Property Owners (1 copy) obtained from the Wheeling Township Office, 1616 N. Arlington Heights Rd. Arlington Heights, IL 60004 - Tel.847-259-1515 of all properties lying within 350ft. of property line/subject's property once approved confirmation letter from the City of Prospect Heights is received.
7. Application Fee (cash or check made payable to: City of Prospect Heights)

Date: 4/27/26

[Signature]
Signature of Applicant



## Standards of Variations – 1120 N Drury Lane

We are asking for a variance in the village ordinance as it relates to Accessory Structures (5-3-4G) and lot coverage (5-6-1). The variation would allow us to build a single open-air Pool House/Storage Shed to house pool equipment and a washroom that is approximately 531 Sq. Feet. This structure would not fall into any setback or require any other permissions to meet required code.

### 1. Special Conditions

The Special Conditions of the property at 1120 N Drury Lane is that while it is a merged property of 2 standard Prospect Heights lots, the code still treats it as a single lot when referencing accessory structures and lot coverage.

### 2. Literal Interpretations

Current Code would allow us one accessory structure with a max footprint of 200 Sq. Feet. The standard limit should not apply to a joint property that merged is 40,010 Sq. Feet, well over the 20,000 Sq. Feet and that it should qualify it for R-1 District Bonus. New Cap for Accessory Structure and FAR should be 600 Sq. Feet. We are asking for approximately 531 Sq. Feet on this project. We are also asking that the structure be considered in the same regard as a detached garage or standard shed and not be counted towards our overall lot coverage value. The current overage would be 376 sq feet as designed, accounting for less than 1% of the total area. It is also of note that we would not/could not add a detached Garage getting the up to 720 sq ft exclusion.

### 3. Alleged Hardship

The alleged hardship has not been created by anyone with interest in the property and lies solely on the limitations of the code as it relates to our property.

### 4. Public Welfare

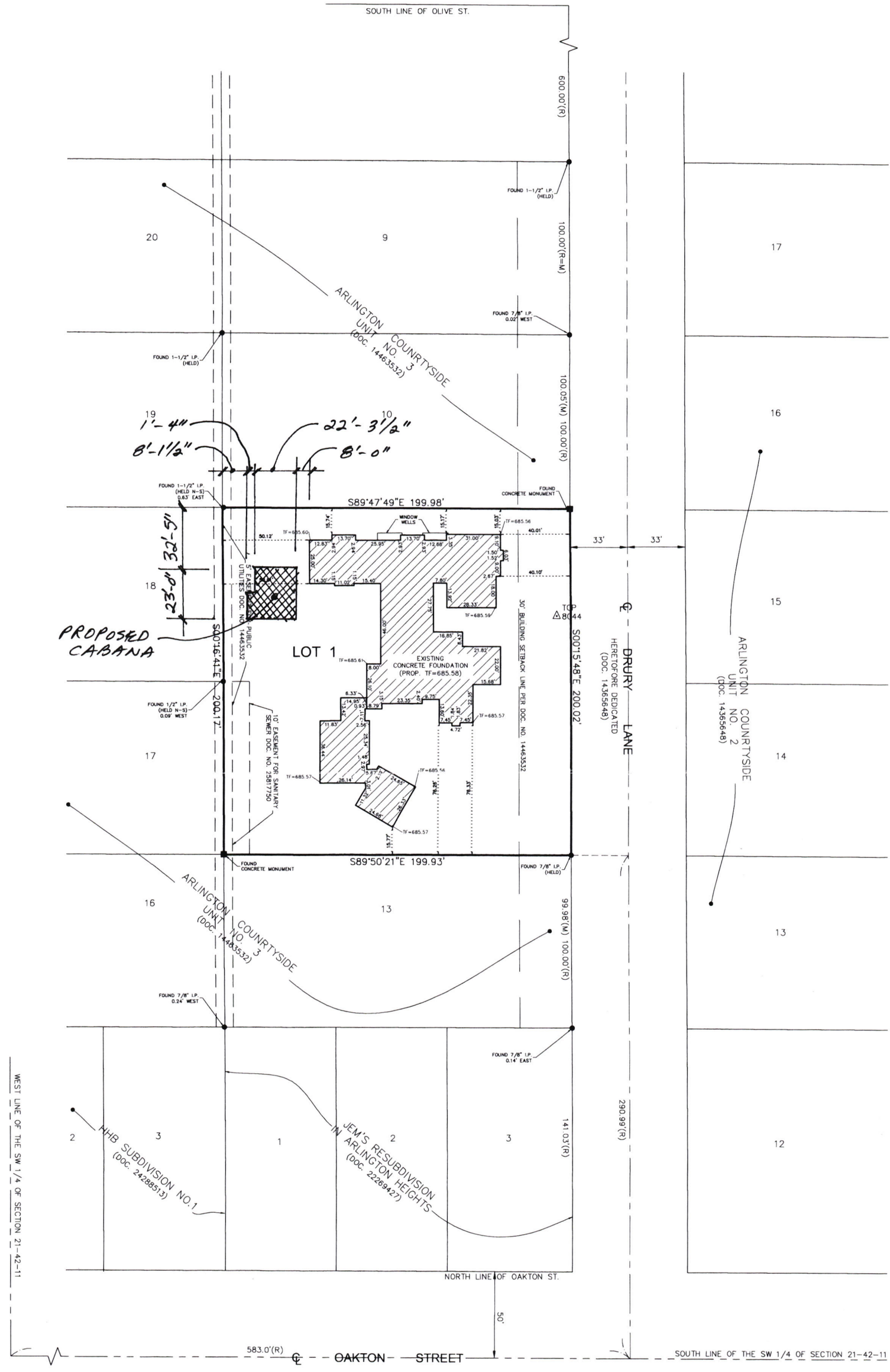
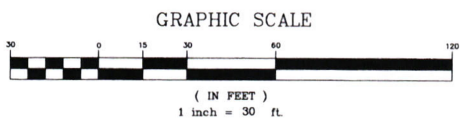
The proposed variation and structure would not be detrimental to public welfare and would in general be beneficial to surrounding properties by blocking equipment noise and adding even more drainage to the rear yard.

5. Effects on Adjacent Property  
There would be no adverse effects to adjacent properties regarding air and light supply or public safety.
6. Altering Character  
There will be no effect on the essential character of the neighborhood. All design and construction will be consistent with the pre-existing residence.
7. Spirit and Intent  
The proposed variation is consistent with allowances granted to other property owners within the Prospect Heights Code.
8. No Special Privilege  
No Special Privilege is requested or denied to any other persons of the same district by the approval of this variation.
9. Neighboring Land Use  
We are requesting this variation with no common use examples within the district.
10. Minimum Variation/Reasonable Use  
The Current Design makes best use of the space for reasonable structure to meet the needs required.
11. Injurious to the Neighborhood  
As far as we know, there should be no reason why this variation would be injurious to the neighborhood or detrimental to the public welfare of Prospect Heights.

Blumberg No. 5208  
**EXHIBIT 3**  
 26-04V

# PLAT OF SURVEY

LOT 1 IN BIG FISH ESTATE BEING A SUBDIVISION OF PART OF THE SOUTH HALF OF THE SOUTHWEST QUARTER OF SECTION 21, TOWNSHIP 42 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS (RECORDING STATUS UNKNOWN)



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- SUBDIVISION BOUNDARY LINE
  - ADJACENT LAND PARCEL LINE
  - LOT LINE
  - EASEMENT LINE
  - CENTERLINE
  - BUILDING LINE
  - SECTION LINE

**SURVEYOR'S CERTIFICATION**

STATE OF ILLINOIS )  
 COUNTY OF KANE ) SS

THE ABOVE DESCRIBED PROPERTY WAS SURVEYED UNDER THE DIRECTION OF AN ILLINOIS PROFESSIONAL LAND SURVEYOR ON JULY 14, 2020. ALL DISTANCES SHOWN ARE IN FEET AND DECIMAL PARTS THEREOF.

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

COMPASS SURVEYING LTD.  
 PROFESSIONAL DESIGN FIRM  
 LAND SURVEYOR CORPORATION NO. 184-002778  
 LICENSE EXPIRES 4/30/2021

DATE: JULY 16, 2020

DAVID P. FILIPSKI  
 ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3352  
 LICENSE EXPIRES 1/1/2021



<b>COMPASS SURVEYING LTD</b> ALTA SURVEYS • TOPOGRAPHY • CONSTRUCTION STAKING 2631 GINGER WOODS PARKWAY, STE. 100 AURORA, IL 60502 PHONE: (630) 820-9100 FAX: (630) 820-7030 EMAIL: ADMIN@CLSURVEYING.COM	PROJECT 1120 & 1128 N. Drury Lane Prospect Heights, IL 60004	DATE: 07-16-2020 PC JW DRAWN BY: BT CHECKED BY: DF BOOK: 521C PG 58
	CLIENT/OWNER Nick & Gina Bertolini 1120 & 1128 N. Drury Lane Prospect Heights, IL 60004	REVISIONS 1. ADD ADDITIONAL FOUNDATION DATE: 9-2-20 BY: BT



## Zoning Review

Date: March 19, 2026

Reviewer: Daniel A. Peterson, Director of Building & Development

Applicant: Nick & Gina Bertolini

Subject Property: 1120 N. Drury Lane

Application: ZBA Case No. 26-04 V – 1120 N. Drury Lane  
Variations to Section 5-3-4G to grant a ±331 sq. ft. increase from 200 sq. ft. to 531 sq. ft. for an accessory structure (Pool House/Shed)

Project: Construct an open air pool house/storage shed for future swimming pool

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Documents Reviewed: Completed Application. See list of exhibits in packet.

Applicable Zoning & Building Code Sections: Lot Coverage: 5-3-4 G  
Number of Accessory Structures: 5-3-8  
Variation Standards: 5-10-8

Current Zoning: R-1 Single Family Residential District  
Current Use: Single Family Residential Permitted Use

Request: Nick & Gina Bertolini, owners, are seeking a variation to Section 5-3-4 G Lot Coverage of the City of Prospect Heights Zoning Code to allow the construction of a ±531 sq. ft. for a single open air pool house/shed larger than the 200 sq. ft. allowed.

### **Standards for Variations:**

Staff reviewed the project for conformance with the standards for variation. Commissioners should review for conformance with the standards for variation.

### **5-10-8: VARIATIONS:**

F. Standards For Variations: The plan/zoning board of appeals shall not recommend variation of the regulations of this title unless it shall make findings of fact based upon the evidence as presented that: (Ord. 0-77-27, 7-18-1977; amd. Ord. 0-03-35, 9-15-2003)

1. Special conditions and circumstances exist which are peculiar to the land, structure, or building involved and which are not applicable to other lands, structures, or buildings in the same district.

**Response: Review the hardship letter provided in the packet. Section 5-3-8 Number of Structures on a Zoning Lot allows in the R-1 or R-1A zoning district lots larger than 20,000 sq. ft. to have an additional accessory structure not to exceed 200 sq. ft. for every additional 10,000 sq. ft. of zoning lot. Based upon Section 5-3-8 the applicant could have three 200 sq. ft. accessory structures.**

2. Literal interpretation of the provisions of this title would deprive the applicant of rights commonly enjoyed by other properties in the same district under the terms of this title.

**Response: The literal interpretation of the provisions of the code would not deprive the applicants of rights commonly enjoyed by others in the R-1 District.**

3. The alleged hardship has not been directly created by any person presently, or a predecessor in interest, having a proprietary interest in the premises.

**Response: Applicant shall provide additional testimony related to this standard.**

4. The proposed variation will not be materially detrimental to the public welfare or injurious to other property or improvements in the neighborhood.

**Response: The applicant shall provide testimony to address the proposed location of the accessory structure to ensure that the stormwater management system will not be negatively impacted.**

5. The proposed variation will not impair an adequate supply of light and air to adjacent property, substantially increase congestion in the public streets, increase the danger of fire, or endanger the public safety.

**Response: Standard met.**

6. The proposed variation will not alter the essential character of the locality.

**Response: Standard met. Project is completely contained within the rear yard of the subject property.**

7. The proposed variation is in harmony with the spirit and intent of this title.

**Response: The improvements and use proposed are in harmony with the spirit and intent of the single-family district.**

8. Granting the variation requested will not confer the applicant any special privilege that is denied by this title to owners of other lands, structures, or buildings in the same district.

**Response: Granting the variation will not confer a special privilege.**

9. No nonconforming use of neighboring lands, structures, or buildings in the same district, and no permitted use of lands, structures, or buildings in other districts shall be considered grounds for issuance of a variation. (Ord. 0-77-27, 7-18-1977)

**Response: Standard met. This case is based upon the conditions of the property.**

10. The plan/zoning board of appeals shall further make a finding that the reasons set forth in the application justify the granting of the variation, and that the variation is the minimum variation that will make possible the reasonable use of the land, building, or structure. (Ord. 0-77-27, 7-18-1977; amd. Ord. 0-03-35, 9-15-2003)

**Response: PZBA shall make a finding based upon the evidence, testimony and facts presented.**

The board may impose such conditions and restrictions upon the location, construction, design and use of property benefited by a variation as may be necessary or appropriate to comply with the foregoing standards and to protect adjacent property and property values.

**Response: A condition may be to restrict the applicant from future accessory structures. Such as detached garage or other structures as the proposed structure exceed the 200 sq. foot limit.**

***5-3-8 Number of Accessory Structures. Not more than three (3) accessory buildings shall be located on a zoning lot. No detached garage shall exceed seven hundred twenty (720) square feet. No accessory building, other than a garage, may exceed two hundred (200) square feet. If two (2) or three (3) accessory buildings are constructed, one building may not exceed two hundred (200) square feet and the other building(s) may not exceed eighty (80) square feet, combined for a maximum of one thousand (1,000) square feet (including the 720 square foot garage).***

## **Conclusion**

**Staff reviewed the application and project and recommend approval of the request with the stipulated condition.**

# PROPOSED IMPROVEMENTS FOR BERTOLINI RESIDENCE

1120 NORTH DRURY LANE, ARLINGTON HEIGHTS, IL 60004

## LOCATION MAP

Sheet List Table	
Sheet Number	Sheet Title
C0.0	SITE LOCATION MAP & CIVIL LEGEND
C0.1	GENERAL NOTES & SPECIFICATIONS
C1.0	EXISTING CONDITIONS & DEMOLITION PLAN
C2.0	SITE LAYOUT PLAN
C3.0	SITE GRADING & UTILITY PLAN
C4.0	CONSTRUCTION DETAILS



SECTION 21, TOWNSHIP 42 NORTH, RANGE 11 EAST

EXISTING LEGEND		PROPOSED LEGEND	
	EXISTING TREE		CURB & GUTTER
	CURB & GUTTER		REVERSE PITCH CURB & GUTTER
	EXISTING BUILDING		DEPRESSED CURB & GUTTER
	PCC SIDEWALK		PROPOSED BUILDING
	GAS SERVICE		PCC SIDEWALK
	ELECTRIC SERVICE		STANDARD DUTY PAVEMENT
	STORM SEWER		HEAVY DUTY PAVEMENT
	SANITARY SEWER		GAS SERVICE
	WATER MAIN		ELECTRIC SERVICE
	CABLE LINE		STORM SEWER
	OVERHEAD UTILITY LINE		SANITARY SEWER
	COMMUNICATION LINE		WATER MAIN
	FIBER OPTIC LINE		FENCE
	FENCE		STORM STRUCTURE
	STORM STRUCTURE		DOWNSPOUT CONNECTION
	SANITARY MANHOLE		SANITARY MANHOLE
	CLEANOUT		CLEANOUT
	WATER METER		WATER METER
	VALVE VAULT		VALVE VAULT
	VALVE BOX		VALVE BOX
	HYDRANT		HYDRANT
	GAS METER		GAS METER
	ELECTRIC METER		ELECTRIC METER
	PARKING LOT LIGHT		PARKING LOT LIGHT
	UTILITY POLE		FLOW ARROW
	GUY WIRE		OVERLAND FLOOD ROUTE
	TRANSFORMER		TOP OF SIDEWALK GRADE
	FIBER OPTIC BOX		TOP OF CURB GRADE
	FIBER OPTIC PEDESTAL		PAVEMENT GRADE
	CABLE PEDESTAL		GROUND GRADE
	PHONE PEDESTAL		MAJOR CONTOUR
	ELECTRIC PEDESTAL		MINOR CONTOUR
	MAJOR CONTOUR		
	MINOR CONTOUR		

2200 CABOT DRIVE  
SUITE 325  
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### REVISIONS

NO.	DATE	DESCRIPTION
03/23/26		PLAN REVISIONS

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BERTOLINI  
**BERTOLINI RESIDENCE**  
1120 NORTH DRURY LANE  
ARLINGTON HEIGHTS, IL

PROJ NO: 240449  
ENG: LES  
DATE: 05/16/2025

SHEET TITLE  
**SITE LOCATION MAP & CIVIL LEGEND**

SHEET NUMBER  
**C0.0**  
1 OF 6



**GENERAL REQUIREMENTS:**

- ALL WORK SHALL BE IN CONFORMANCE WITH THE APPLICABLE SECTIONS OF THE ILLINOIS DEPARTMENT OF TRANSPORTATION (IDOT) "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" (HEREIN AFTER REFERRED TO AS STANDARD SPECIFICATIONS) ADOPTED JANUARY 1, 2022 AND SUPPLEMENTAL SPECIFICATIONS. WITHIN THE STANDARD SPECIFICATIONS, ARTICLES 105.01, 105.09, 105.10, 105.11, 105.12, 105.13 AND SECTION 109 SHALL NOT BE INCORPORATED INTO THIS CONTRACT.
- SCOPE OF WORK: THE PROPOSED IMPROVEMENTS CONSIST OF SUPPLYING ALL THE NECESSARY LABOR, MATERIAL AND EQUIPMENT TO SATISFACTORILY CONSTRUCT AND INSTALL ALL IMPROVEMENTS ACCORDING TO THE PLANS DESIGNATED HEREIN.
- CONTRACTOR SHALL HAVE THE RESPONSIBILITY TO LOCATE AND PROTECT ALL UNDERGROUND FACILITIES/UTILITIES DURING CONSTRUCTION OPERATIONS AS OUTLINED IN ARTICLE 107.31 OF THE STANDARD SPECIFICATIONS AND CONTACT THE OWNER. ANY DAMAGE TO ANY UTILITIES SHALL BE PROMPTLY REPORTED TO THE OWNER. REPAIRS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE UNDERGROUND UTILITIES SHOWN HEREIN ARE APPROXIMATE AND BASED ON THE ACTUAL LOCATION OF SURFACE STRUCTURES AND PLANS PROVIDED BY THE OWNER. THE IMPLIED PRESENCE OR ABSENCE OF UTILITIES IS NOT TO BE CONSTRUED BY THE OWNER, ENGINEER, CONTRACTOR, OR SUBCONTRACTORS TO BE AN ACCURATE AND COMPLETE REPRESENTATION OF UTILITIES THAT MAY OR MAY NOT EXIST ON THE CONSTRUCTION SITE. BURIED AND ABOVE GROUND UTILITY LOCATION, IDENTIFICATION, AND MARKING IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. REROUTING, DISCONNECTION, PROTECTION, ETC. OF ANY UTILITIES MUST BE COORDINATED BETWEEN THE CONTRACTOR, UTILITY COMPANY, AND OWNER. SITE SAFETY, INCLUDING THE AVOIDANCE OF HAZARDS ASSOCIATED WITH BURIED AND ABOVEGROUND UTILITIES REMAINS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING UTILITY PROPERTY FROM CONSTRUCTION OPERATIONS.
- THE CONTRACTOR SHALL FURNISH, ERECT, AND MAINTAIN MARKINGS AND ASSOCIATED HAZARD WARNING LIGHTS, DELINEATOR FENCE, AND OTHER ASSOCIATED FACILITIES AS REQUIRED FOR OPEN TRENCHES, EXCAVATIONS, TEMPORARY STOCK PILES, AND PARKED CONSTRUCTION EQUIPMENT THAT MAY POSE A POTENTIAL HAZARD AS PART OF THE DAILY OPERATIONS AT THIS SITE. CONTRACTOR IS SOLELY RESPONSIBLE FOR SITE SAFETY.
- CONTRACTOR SHALL CONTINUOUSLY COMPARE ALL LINES, GRADES, AND OTHER INFORMATION APPEARING ON THE PLANS WITH THE ACTUAL LINES, GRADES, AND SITE CONDITIONS. ANY DISCREPANCIES THAT MAY AFFECT THE PERFORMANCE OF THE WORK IN ACCORDANCE WITH THE INTENT OF THE CONTRACT DOCUMENTS SHALL BE IMMEDIATELY REPORTED TO THE OWNER AND ENGINEER IN WRITING FOR DISPOSITION BEFORE CONTRACTOR PROCEEDS WITH THE WORK. CONTRACTOR SHALL HAVE FULL RESPONSIBILITY FOR THE WORK COMPLETED PRIOR TO THE REPORT TO THE OWNER AND ENGINEER, AND NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR CORRECTION OF THE WORK PRIOR TO THE REPORT TO THE OWNER AND ENGINEER.
- CONTRACTOR PARKING AND LAYDOWN AREAS SHALL BE COORDINATED WITH THE OWNER.
- PRIOR TO PERFORMING ANY WORK IN OR ON THE RIGHT OF WAY OF ANY CITY OR STATE ROADWAY, THE CONTRACTOR SHALL NOTIFY THE CITY / STATE TRAFFIC ENGINEER'S OFFICE. THE CONTRACTOR SHALL ERECT WARNING SIGNS AND BARRICADES TO PROTECT THE TRAVELING PUBLIC AND HIS WORKERS. THE SIGNING AND BARRICADING SHALL CONFORM TO THE APPROPRIATE APPLICATIONS OUTLINED IN THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES OR AS OTHERWISE DIRECTED BY THE CITY / STATE TRAFFIC ENGINEER. IF PERMITS ARE REQUIRED TO CONDUCT THE WORK, THE CONTRACTOR SHALL SECURE THE PERMITS AND SUPPLY THEM TO THE OWNER AT NO ADDITIONAL COST. ALL FULL WIDTH LANE CLOSURES, PARTIAL LANE CLOSURES, AND CONSTRUCTION ADJACENT TO PAVEMENT SHALL BE IDENTIFIED, SIGNED, AND BARRICADES ERECTED IN CONFORMANCE WITH THE APPLICABLE ARTICLES OF SECTION 701 OF THE STANDARD SPECIFICATIONS AND THE MUNICIPALITY'S REQUIREMENTS. ALL TRAFFIC PROTECTION, BOTH ONSITE AND OFFSITE, SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT.
- CONTRACTOR SHALL REMOVE EARTHEN MATERIALS, EXISTING SURFACES, AND STRUCTURES AS REQUIRED. ALL WASTE MATERIAL SHALL BE PROPERLY DISPOSED OFF-SITE AND SHALL BE INCIDENTAL TO THE CONTRACT.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, UNLESS NOTED. THIS WILL INCLUDE BUT NOT BE LIMITED TO MUNICIPAL BUILDING PERMIT. THE OWNER WILL SECURE THE N.P.D.E.S. PERMIT. THE CONTRACTOR SHALL PROVIDE ANY FINANCIAL SURETIES REQUIRED AS PART OF ANY PERMIT.
- WHEN CONCRETE IS PLACED ABUTTING STRUCTURES, FOUNDATIONS OR EXISTING SIDEWALKS, A BOND BREAKER CONSISTING OF 1" P.J.F. AND ELASTOMERIC JOINT SEALANT SHALL BE USED FULL DEPTH UNLESS OTHERWISE NOTED.
- MAXIMUM CONTRACTION JOINT SPACING ON CONCRETE CURB AND GUTTER OR CONCRETE GUTTER SHALL NOT EXCEED 25'.
- SIDEWALK RAMPS FOR ADA SHALL BE IN ACCORDANCE WITH THE DETAILS SHOWN HEREIN. DETECTABLE WARNINGS SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS.
- HOT-MIX ASPHALT PAVEMENT PATCHING SHALL BE IN ACCORDANCE WITH SECTION 442 OF THE STANDARD SPECIFICATIONS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PREPARING AND SUBMITTING ELECTRONIC AS-BUILT DRAWINGS, FOR UTILITIES AND DETENTION AREAS, TO THE OWNER AND ENGINEER FOR REVIEW AND APPROVAL PRIOR TO PROJECT ACCEPTANCE.
- CONSTRUCTION STAKING, LAYOUT, AND GRADING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR USING THE BASIC TOPOGRAPHIC SURVEY CONTROLS PROVIDED IN THE PLANS. CONTRACTOR SHALL VERIFY SURVEY CONTROLS PRIOR TO BEGINNING CONSTRUCTION. ANY DISCREPANCIES IN THE SURVEY CONTROLS SHALL BE REPORTED TO THE OWNER AND ENGINEER PRIOR TO CONSTRUCTION. ANY ADDITIONAL SURVEY CONTROLS REQUIRED FOR CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTOR SHALL COORDINATE ALL UTILITY LINE CROSSINGS TO ENSURE ALL PIPES MAINTAIN MINIMUM COVER, MINIMUM CLEARANCES, AND PROPER SEPARATION. GRAVITY LINES SHALL HAVE PRECEDENCE OVER PRESSURIZED LINES.
- CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR ALL ITEMS INCORPORATED INTO THE WORK FOR ENGINEER REVIEW AND APPROVAL A MINIMUM OF 4 WEEKS PRIOR TO ORDERING.
- REFERENCES TO "INSPECTION" OR "INSPECTOR" IN THE SPECIFICATIONS SHALL NOT CREATE, IMPOSE, OR GIVE RISE TO ANY DUTY OWED BY THE OWNER OR ENGINEER TO THE CONTRACTOR, ANY SUBCONTRACTOR, OR ANY SUPPLIER. ALL IMPROVEMENTS SHALL BE SUBJECT TO INSPECTION BY A DULY AUTHORIZED AND QUALIFIED OWNER'S REPRESENTATIVE BOTH DURING THE COURSE OF CONSTRUCTION AND AFTER CONSTRUCTION IS COMPLETE. THE INSPECTOR SHALL HAVE AUTHORITY OVER MATERIALS OF CONSTRUCTION, METHODS OF CONSTRUCTION AND WORKSMANSHIP TO ENSURE COMPLIANCE WITH WORKING DRAWINGS AND SPECIFICATIONS. THE CONTRACTOR SHALL PROVIDE FOR REASONABLE TESTS AND PROOF OF QUALITY OF MATERIALS AS REQUESTED BY THE INSPECTOR. UPON DUE CAUSE, WHICH SHALL INCLUDE WEATHER CONDITIONS, WORKMANSHIP OR NON-ADHERENCE TO THE APPROVED PLANS AND SPECIFICATIONS, THE INSPECTOR SHALL HAVE THE AUTHORITY TO STOP CONSTRUCTION.
- WHERE SECTION, SUB-SECTION, SUBDIVISION, OR PROPERTY MONUMENTS ARE ENCOUNTERED, THE OWNER'S REPRESENTATIVE SHALL BE NOTIFIED BEFORE SUCH MONUMENTS ARE REMOVED. THE CONTRACTOR SHALL PROTECT AND PRESERVE ALL PROPERTY MARKERS UNTIL AN OWNER OR AUTHORIZED SURVEYOR HAS WITNESSED OR REFERENCED THEIR LOCATION.
- ALL TRENCH BACKFILL SHALL BE IMPORTED GRANULAR MATERIAL UNLESS EXISTING GRANULAR MATERIALS ARE SPECIFICALLY APPROVED BY THE OWNER'S REPRESENTATIVE.
- ALL AGGREGATE BASE COURSE SHALL BE COMPACTED TO 98% STANDARD PROCTOR DENSITY.
- ALL AGGREGATE BASE AREAS TO BE PAVED (PAVEMENT, SIDEWALK, CURB, OR STRUCTURES) SHALL BE PROOF-ROLLED WITH SEVERAL PASSES OF A FULLY LOADED DUMP TRUCK. CONTRACTOR SHALL NOTIFY THE OWNER AND/OR ENGINEER 24 HOURS PRIOR TO PROOF ROLL AND SHALL MAKE ALL CORRECTIONS TO PROVIDE A SATISFACTORY SUBGRADE.
- ANY UNCONTROLLED CRACKING THAT OCCURS IN CONCRETE PAVEMENT, SIDEWALK, CURB, OR CURB AND GUTTER PRIOR TO FINAL ACCEPTANCE SHALL BE ROUTED OR SAWED AND SEALED ACCORDING TO THE STANDARD SPECIFICATIONS.
- CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES PRIOR TO ANY WORK IN AND AROUND UTILITY-OWNED INFRASTRUCTURE AND MAKE THEM AWARE OF WORK TO BE PERFORMED.
- ALL SIDEWALKS SHALL BE 4 INCHES IN THICKNESS AND CONSTRUCTED TO THE WIDTH SHOWN ON THE PLANS. ALL SIDEWALKS SHALL BE CONSTRUCTED WITH A MIN. CROSS SLOPE OF 1% AND A MAX. CROSS SLOPE OF 2%. SIDEWALK THICKNESS SHALL BE INCREASED TO A MINIMUM 6" AT DRIVEWAYS OR AS REQUIRED BY THE MUNICIPALITY.

- ANY SIDEWALKS, FENCES, AND OTHER ITEMS NOT SHOWN TO BE REMOVED, BUT DAMAGED DURING CONSTRUCTION, SHALL BE REPAIRED BY THE CONTRACTOR AT NO COST TO THE OWNER.
- CONTRACTOR SHALL NOTIFY THE APPROPRIATE AGENCY A MINIMUM OF 48 HOURS PRIOR TO CONNECTING TO OR INSTALLING ANY PUBLIC SEWER OR WATER MAINS.
- PRIOR TO COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AFFECTING THEIR WORK WITH THE ACTUAL CONDITIONS AT THE PROJECT SITE. IN ADDITION, THE CONTRACTOR MUST VERIFY THE ENGINEER'S LINE AND GRADE STAKES. IF THERE ARE ANY DISCREPANCIES FROM WHAT IS SHOWN ON THE CONSTRUCTION PLANS, THE CONTRACTOR MUST IMMEDIATELY PROVIDE THE INFORMATION TO THE ENGINEER BEFORE DOING ANY WORK. OTHERWISE, THE CONTRACTOR ASSUMES FULL RESPONSIBILITY. IN THE EVENT OF DISAGREEMENT BETWEEN THE CONSTRUCTION PLANS, STANDARD SPECIFICATIONS AND/OR DETAILS, THE CONTRACTOR SHALL SECURE WRITTEN INSTRUCTIONS FROM THE ENGINEER PRIOR TO PROCEEDING WITH ANY PART OF THE WORK EFFECTED BY OMISSIONS OR DISCREPANCIES. IF THE CONTRACTOR FAILS TO SECURE WRITTEN INSTRUCTIONS FROM THE ENGINEER, THE CONTRACTOR WILL BE CONSIDERED TO HAVE PROCEEDED AT HIS OWN RISK AND EXPENSE. IN THE EVENT OF ANY DOUBT OR QUESTION ARISING WITH RESPECT TO SPECIFICATIONS, THE DECISION OF THE ENGINEER SHALL BE FINAL.

**EXISTING TOPOGRAPHY:**

- ALL UTILITIES SHOWN ARE APPROXIMATE ONLY AND ARE DERIVED FROM EXISTING UTILITY MARKINGS, OLD SITE PLANS, UTILITY COMPANY MAPS, PRIVATE LOCATOR AND OBSERVED EVIDENCE.
- ALL PIPE SIZES REFERENCED HEREON ARE SHOWN ACCORDING TO UTILITY COMPANY MAPS, OLD SITE PLANS AND OBSERVED EVIDENCE. ALL PIPE SIZES AND INVERTS SHOULD BE VERIFIED PRIOR TO ANY CONSTRUCTION.
- PRIOR TO ANY EXCAVATION CONTRACTORS SHALL CALL THE TOLL FREE 1.800.411.1.E. TELEPHONE NUMBER 1-800-892-0123. ALLOW 48 HOURS FOR LOCATIONS OTHER THAN EMERGENCY ASSISTANCE.

**SITE DEMOLITION:**

- EXISTING UTILITIES TO REMAIN, WHICH ARE DAMAGED BY THE CONTRACTOR DURING CONSTRUCTION, SHALL BE REPAIRED AND/OR REPLACED WITHOUT ADDITIONAL COMPENSATION. CONFLICTS WITH PROPOSED CONSTRUCTION AND UTILITIES TO REMAIN ARE TO BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE CONSTRUCTION MANAGER FOR COORDINATION WITH THE OWNER'S REPRESENTATIVE, ENGINEER, AND UTILITY COMPANY.
- NO DEMOLITION OR CONSTRUCTION ACTIVITIES SHALL TAKE PLACE WITHIN PUBLIC RIGHT-OF-WAY UNTIL ALL PERMITS ARE SECURED.
- ALL PAVEMENT TO BE REMOVED SHALL BE SAWCUT FULL DEPTH.
- CONTRACTOR SHALL EMPLOY ALL MEASURES NECESSARY DURING DEMOLITION TO CONTROL EROSION AND INSURE THAT SEDIMENT DOES NOT LEAVE THE SITE. TRACKING OF DIRT ONTO PUBLIC STREETS AND EXISTING PARKING LOT SHALL BE CLEANED IMMEDIATELY, AND ALL SEDIMENT AND EROSION CONTROL ITEMS SHALL BE INSTALLED PRIOR TO CLEARING AND DEMOLITION WORK.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING EXISTING SITE CONDITIONS AND BECOMING FAMILIAR WITH ALL CONSTRUCTION DOCUMENTS.
- ITEMS INDICATED TO BE REMOVED SHALL BE COMPLETELY REMOVED UNLESS INDICATED OTHERWISE.
- ITEMS INDICATED TO BE SALVAGED SHALL BE CAREFULLY REMOVED AND STORED IN A LOCATION DESIGNATED BY THE OWNER.
- ALL TREES AND BRUSH INDICATED TO BE REMOVED SHALL BE REMOVED COMPLETELY, INCLUDING ROOT BALLS.
- UNLESS OTHERWISE IDENTIFIED AND/OR NOTED ON THE DEMOLITION PLAN, CONTRACTOR SHALL FULLY DEMOLISH, REMOVE, AND LAWFULLY DISPOSE OF ALL EXISTING BUILDINGS, IMPROVEMENTS, AND RELATED APPURTENANCES AT THIS SITE AND PROPERTY. CONTRACTOR SHALL ALSO DEMOLISH, REMOVE, AND LAWFULLY DISPOSE OF EXISTING IMPROVEMENTS AND CONSTRUCTIONS IN THE PUBLIC RIGHT-OF-WAY NECESSARY TO ACCOMPLISH THE NEW PROJECT WORK DESCRIBED ELSEWHERE IN THESE BIDDING AND CONSTRUCTION DOCUMENTS. CONTRACTOR SHALL PROCURE ALL NECESSARY PERMITS AND APPROVALS FOR SUCH DEMOLITION WORK (BOTH INSIDE THE PROPERTY LINE AND IN THE PUBLIC RIGHT-OF-WAY) PRIOR TO COMMENCING ANY DEMOLITION OPERATIONS.
- CONTRACTOR SHALL FULLY PROTECT ALL SURROUNDING PROPERTIES FROM ANY AND ALL DAMAGE DURING DEMOLITION OPERATIONS; AND SHALL BE FULLY RESPONSIBLE FOR REPAIRING (TO A CONDITION ACCEPTABLE TO THE OWNER AND ARCHITECT) ANY AND ALL DAMAGE THAT DOES OCCUR.
- CONTRACTOR SHALL PROVIDE ALL NECESSARY TRAFFIC CONTROLS AND RELATED APPURTENANCES THAT ARE REQUIRED BY ANY APPLICABLE CODES AND ORDINANCES, DURING ALL DEMOLITION OPERATIONS.
- CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE SAFETY AND SECURITY OF THE PROJECT SITE AND ITS SURROUNDINGS DURING DEMOLITION OPERATIONS.
- ALL DEMOLISHED EXISTING MATERIALS, SYSTEMS, AND CONSTRUCTIONS SHALL BE DISPOSED OF IN A LAWFUL MANNER, AND WRITTEN RECORDS OF THE FINAL DESTINATION FOR THESE MATERIALS, SYSTEMS, AND CONSTRUCTIONS (INCLUDING ANY IDENTIFIED HAZARDOUS ITEMS) SHALL BE PROVIDED TO THE OWNER AND ENGINEER. ADDITIONALLY, SOME EXISTING MATERIALS AND SYSTEMS MAY NEED TO BE RECYCLED AND/OR OTHERWISE SALVAGED IN ORDER TO MEET THE SUSTAINABILITY AND LEED REQUIREMENTS OF THIS PROJECT. SEE OTHER PORTIONS OF THESE BIDDING AND CONSTRUCTION DOCUMENTS FOR SUCH REQUIREMENTS.
- EXISTING SITE SHALL BE CLEANED ON A DAILY BASIS THROUGHOUT THE DURATION OF DEMOLITIONS OPERATIONS; AND NO DEBRIS OR PRODUCTS OF DEMOLITION SHALL BE ALLOWED TO ACCUMULATE OUTSIDE THE BOUNDARIES OF THE SITE.
- CONTRACTOR SHALL FULLY COORDINATE ALL PROJECT DEMOLITION OPERATIONS, INCLUDING THE REMOVAL AND LAWFUL DISPOSAL OF ALL IDENTIFIED HAZARDOUS MATERIALS AND SYSTEMS.
- CONTRACTOR SHALL SUBMIT A COMPLETE WRITTEN PLAN AND SCHEDULE FOR ALL PROPOSED DEMOLITION WORK TO OWNER AND ARCHITECT FOR REVIEW AND COMMENT, PRIOR TO BEGINNING ANY SUCH OPERATIONS. DURING THE COURSE OF THIS DEMOLITION WORK, IF ANY ARTIFACTS OR OTHER UNUSUAL ITEMS ARE DISCOVERED, CONTRACTOR SHALL NOTIFY OWNER AND ENGINEER IMMEDIATELY, BEFORE PROCEEDING ANY FURTHER. ANY EXPENSES RESULTING FROM THE FAILURE TO PROVIDE SUCH IMMEDIATE NOTIFICATION SHALL BE BORNE BY THE CONTRACTOR.

**SITE LAYOUT:**

- JOINTS IN SIDEWALK SHALL BE TOOLED AT 5' MAX. INTERVALS, UNLESS INDICATED OTHERWISE.
- NORTHING-EASTING COORDINATES AND DIMENSIONS FOR CURB AND GUTTER ARE TO FACE OF CURB.
- CONTRACTOR SHALL COORDINATE ALL WORK WITHIN PUBLIC RIGHT-OF-WAY WITH THE APPROPRIATE PUBLIC AGENCY. NOTIFICATION SHALL OCCUR A MINIMUM OF 48 HOURS PRIOR TO COMMENCING WORK WITHIN PUBLIC RIGHT-OF-WAY. ALL PERMITS ARE THE RESPONSIBILITY OF THE CONTRACTOR.
- P.C. CONCRETE PAVEMENT AND SIDEWALKS SHALL BE CLASS PV AND CLASS SI, RESPECTIVELY, IN ACCORDANCE WITH THE IDOT STANDARD SPECIFICATIONS.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING EXISTING SITE CONDITIONS AND BECOMING FAMILIAR WITH ALL CONSTRUCTION DOCUMENTS.
- SEE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS AND DOOR LOCATIONS.
- CONTRACTOR SHALL COORDINATE EQUIPMENT PADS WITH EQUIPMENT MANUFACTURERS.

**SITE GRADING AND EROSION CONTROL:**

- ENGINEERED STRUCTURAL FILLS SHALL BE INCLUDED IN OVERALL SITE DEVELOPMENT TO PROVIDE ADEQUATE STRUCTURAL SUPPORT FOR THE FLOOR SLABS ON GRADE AND ADJOINING PAVEMENT AREAS. REFER TO THE GEOTECHNICAL REPORT FOR APPROVED FILL MATERIALS.
- WHERE FIRM FOUNDATION MATERIAL IS NOT ENCOUNTERED AT THE GRADE ESTABLISHED, DUE TO UNSUITABLE SOIL, ALL SUCH UNSUITABLE MATERIAL SHALL BE REMOVED AND REPLACED WITH

APPROVED COMPACTED GRANULAR MATERIAL.

- TOPSOIL SHALL BE STRIPPED IN ALL STRUCTURAL FILL AREAS BEFORE PLACEMENT OF FILL MATERIAL AND SHALL BE STOCKPILED IN AREAS DESIGNATED BY THE OWNER OR PER PLAN.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PERFORM EARTHWORK CALCULATIONS BASED ON THE PROVIDED PLANS AND TO LAWFULLY DISPOSE OF AND REMOVE ANY EXCESS MATERIAL FROM THE PROJECT SITE, OR TO PROVIDE ANY NECESSARY FILL MATERIAL THAT MAY BE REQUIRED TO MEET THE FINAL PLAN GRADES. THE DISPOSAL OR PROVIDING OF MATERIAL SHALL BE INCIDENTAL TO THE CONTRACT.
- ALL VEGETATIVE AND STRUCTURAL EROSION CONTROL PRACTICES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE MINIMUM STANDARDS AND SPECIFICATIONS OF THE "ILLINOIS URBAN MANUAL."
- THE OWNER/ENGINEER SHALL PROVIDE THE SOIL EROSION AND SEDIMENT CONTROL PLANS INCLUDED HEREIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DOCUMENTATION OF THE STORMWATER POLLUTION PREVENTION PLAN BOOKLET AND ASSOCIATED DOCUMENTS IN ACCORDANCE WITH THE "GENERAL NPDES PERMIT FOR STORM WATER DISCHARGES FROM CONSTRUCTION SITE ACTIVITIES," AND A COPY SHALL BE KEPT ONSITE AT ALL TIMES.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE INSTALLATION, ALL INSPECTIONS, AND MAINTENANCE OF ALL EROSION CONTROL FACILITIES REQUIRED BY THE GENERAL NPDES PERMIT UNTIL FINAL STABILIZATION OF ALL AREAS DISTURBED BY CONSTRUCTION OCCURS. MAINTENANCE AND REPLACEMENT OF EROSION CONTROL ITEMS SHALL BE CONSIDERED AS INCIDENTAL TO THE CONTRACT.
- ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITY MUST BE SEEDED, SODDED, BLANKETED OR OTHERWISE PROTECTED WITHIN 14 DAYS OF FINAL DISTURBANCE. ALL AREAS DISTURBED BY THE CONTRACTOR DURING THE CONSTRUCTION OF THIS PROJECT WHICH ARE LOCATED OUTSIDE OF THE PROPOSED SEEDING LIMITS SHALL BE GRADED TO DRAIN, FERTILIZED, SEEDED, MULCHED AND WATERED. THE COST ASSOCIATED WITH THE PLACEMENT OF ADDITIONAL FERTILIZER, SEED, MULCH AND WATERING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. A MINIMUM OF 70% VEGETATIVE COVERAGE IS REQUIRED PRIOR TO ACCEPTANCE. SEE LANDSCAPE PLANS FOR ADDITIONAL REQUIREMENTS.
- ALL EROSION CONTROL MEASURES SHOWN ON THE PLAN ARE THE MINIMUM MEASURES REQUIRED. UNFORESEEN CHANGES IN SCOPE, SCHEDULE OR CONSTRUCTION METHODS MAY RESULT IN CHANGES OR ADDITIONS TO THIS PLAN AND THE SWPPP. ANY CHANGES OR ADDITIONS NECESSARY TO MAINTAIN COMPLIANCE WITH THE NPDES PERMIT SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE OWNER.
- SHOULD PROJECT SCHEDULING PROHIBIT THE ABILITY TO SEED DISTURBED EARTH UPON COMPLETION OF GRADING, CONTRACTOR SHALL EMPLOY ALTERNATE SOURCE CONTROLS IN ADDITION TO THOSE ON THIS PLAN, INCIDENTAL TO THE CONTRACT.
- DUST CONTROL MUST BE PROVIDED AS NEEDED, BY WATERING OR OTHER MEANS.
- ALL AREAS WITH THE EXCEPTION OF PAVEMENT SHALL BE FINISHED IN ACCORDANCE WITH THE LANDSCAPE PLANS INCLUDED IN THE PLAN SET.
- CONTRACTOR SHALL INSTALL INLET FILTER PROTECTION BASKETS INSIDE ALL EXISTING AND PROPOSED MANHOLES AND INLET FRAMES.
- CONTRACTOR IS REQUIRED TO PROVIDE AND USE A CONCRETE WASHOUT AREA FOR RINSING CONCRETE TRUCKS.
- CONTRACTOR IS REQUIRED TO PROVIDE AND USE A TEMPORARY CONSTRUCTION ENTRANCE FOR ALL CONSTRUCTION TRAFFIC PER PLAN.
- CONTRACTOR SHALL PROVIDE AND USE A WHEEL WASH SYSTEM TO ENSURE THAT ALL CONSTRUCTION TRAFFIC ENTERING AND EXITING THE SITE MAINTAIN CLEAN TIRES. ANY SEDIMENT TRACKED ONTO ADJACENT ROADWAYS OR PAVED AREAS SHALL BE REMOVED BY THE CONTRACTOR BY THE END OF THE SAME WORK DAY.
- ALL ELEVATIONS SHOWN ARE TO FINISHED PAVEMENT UNLESS SPECIFIED OTHERWISE.
- ALL SLOPES GREATER THAN OR EQUAL TO 4:1 SHALL BE STABILIZED WITH NAG S75BN OR EQUIVALENT.
- CONTRACTOR SHALL PROVIDE A MINIMUM OF 6" TOPSOIL IN ALL ISLANDS, LANDSCAPE AREAS, AND OPEN SPACES.

**SITE UTILITIES:**

- THIS CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:
  - "STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS", CURRENT EDITION
  - ILLINOIS DEPARTMENT OF TRANSPORTATION (IDOT) "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION"
  - VILLAGE OF ARLINGTON HEIGHTS OFFICE OF PUBLIC WORKS STANDARDS AND SPECIFICATIONS
- ALL UTILITY TRENCHES UNDER OR WITHIN 2' OF EXISTING OR PROPOSED PAVEMENT OR BUILDING SHALL BE BACKFILLED WITH COMPACTED GRANULAR MATERIAL IN ACCORDANCE WITH IDOT SPECIFICATIONS. CONTROLLED LOW-STRENGTH MATERIAL (CLSM) SHALL BE USED TO BACKFILL TRENCHES WITHIN PUBLIC RIGHT OF WAY. THE CLSM SHALL EXTEND 2 FT PAST THE PROPOSED PAVEMENT, CURB, OR SIDEWALK.
- OPEN CUT TRENCHES SHALL BE SHEETED AND BRACED AS REQUIRED BY THE GOVERNING STATE, FEDERAL LAWS AND MUNICIPAL ORDINANCES, AND AS MAY BE NECESSARY TO PROTECT LIFE, PROPERTY OR THE WORK.
- CONTRACTOR SHALL AT ALL TIMES DURING CONSTRUCTION PROVIDE AND MAINTAIN SUFFICIENT MEANS AND DEVICES TO REMOVE AND PROPERLY DISPOSE OF ALL WATER ENTERING THE EXCAVATIONS. WATER SHALL BE FILTERED AND DISCHARGED IN ACCORDANCE WITH THE NPDES REQUIREMENTS.
- ALL PIPE SHALL BE INSTALLED ON A BEDDING OF APPROVED, COMPACTED GRANULAR MATERIAL UNLESS OTHERWISE APPROVED BY THE ENGINEER. THE BEDDING MATERIAL SHALL BE INSTALLED PER STANDARD SPECIFICATIONS AND PROVIDED PLAN DETAILS.
- A MINIMUM HORIZONTAL SEPARATION OF 10 FEET SHALL BE MAINTAINED BETWEEN ALL WATER MAINS AND SEWERS. IF SEPARATION IS NOT POSSIBLE, WATER MAIN ENCASEMENT SHALL BE REQUIRED OR THE SEWER SHALL BE CONSTRUCTED OF WATER MAIN QUALITY PIPE.
- WATER MAINS SHALL CROSS ABOVE SEWERS WITH A MINIMUM VERTICAL SEPARATION OF 18 INCHES WHILE STILL MAINTAINING THE REQUIRED DEPTH OF COVER. IF PROPER SEPARATION IS NOT POSSIBLE, OR IF THE WATER MAIN MUST BE ROUTED UNDER THE SEWER, WATER MAIN ENCASEMENT SHALL BE REQUIRED OR THE SEWER SHALL BE CONSTRUCTED OF WATER MAIN QUALITY PIPE.
- ALL SANITARY SEWERS SHALL BE TESTED FOR EXFILTRATION OF AIR UNDER PRESSURE, INFILTRATION OF WATER, AND/OR EXFILTRATION OF WATER AS PER STANDARD SPECIFICATIONS. ALL SANITARY SEWERS SHALL BE DEFLECTION TESTED NO SOONER THAN 30 DAYS AFTER INSTALLATION. ALL MANHOLES SHALL BE TESTED FOR WATERTIGHTNESS BY EITHER ASTM C 969 OR ASTM C 1244.
- STORM SEWER SHALL BE IN CONFORMANCE WITH THE FOLLOWING:

- REINFORCED CONCRETE PIPE (RCP), ASTM C76
    - GASKETS - ASTM C443
    - FITTINGS - ASTM C443
  - SMOOTH INTERIOR WALLED HIGH DENSITY POLYETHYLENE PIPE (HDPE), ASTM D3212, N-12 WT
    - WATER TIGHT JOINTS
    - JOINT SHALL BE SEALED SUFFICIENTLY TO PREVENT JETTING OR LEAKING AT THE JOINT
  - PVC STORM SEWER PIPING, ASTM D 3034, SDR 35
    - BELL-AND-SPIGOT ENDS
    - ASTM F 477, ELASTOMERIC SEALS FOR GASKETED JOINTS
  - FRAME AND GRATES
    - TYPE 1 CLOSED LID = NEENAH R-1713
    - TYPE 1 OPEN LID = NEENAH R-2504
    - TYPE 3 = NEENAH R-3281-A
    - DITCH GRATE = NEENAH R-4342
- SANITARY SEWER SHALL BE IN CONFORMANCE WITH THE FOLLOWING:
    - PIPE AND FITTING MATERIAL - POLYVINYL CHLORIDE (PVC) SDR 26, ASTM D 3034, TYPE PSM
    - GASKETS - FLEXIBLE ELASTOMERIC, ASTM F 477, ASTM D 3139
    - JOINTS - ASTM D 3212
    - BEDDING - CLASS II, ASTM 2321
  - ALL CLEANOUT RIMS SHALL BE CONSTRUCTED FLUSH WITH THE FINISHED GROUND SURFACE.
  - CONTRACTOR SHALL COORDINATE CONSTRUCTION OF SANITARY SEWER SERVICES WITH THE DEPARTMENT OF PUBLIC WORKS.
  - CONTRACTOR SHALL COORDINATE WATER MAIN, FIRE AND DOMESTIC WATER SERVICES WITH THE DEPARTMENT OF PUBLIC WORKS.
  - GENERAL CONTRACTOR SHALL COORDINATE ALL UTILITY LINES THAT ENTER THE BUILDING. IN GENERAL, PLUMBING PLANS SHOW ALL INTERIOR BUILDING PIPING AND PIPING UP TO 5-FEET OUTSIDE THE BUILDING. CIVIL PLANS SHOW SITE PIPING BEGINNING FROM 5-FEET OUTSIDE THE BUILDING. GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL UTILITY CONNECTIONS.
  - CONTRACTOR SHALL COORDINATE ALL UTILITY LINE CROSSINGS TO ENSURE ALL PIPES MAINTAIN MINIMUM COVER, MINIMUM CLEARANCES, AND PROPER SEPARATION. GRAVITY LINES SHALL HAVE PRECEDENCE OVER PRESSURIZED LINES.
  - ALL TRENCH BACKFILL SHALL BE IMPORTED GRANULAR MATERIAL UNLESS EXISTING GRANULAR MATERIALS ARE SPECIFICALLY APPROVED BY THE OWNER'S REPRESENTATIVE.
  - ALL MANHOLES AND INLET CASTINGS LOCATED WITHIN BITUMINOUS ASPHALT PAVEMENT SHALL BE CONSTRUCTED WITH A CONCRETE APRON AT THE SURFACE.
  - FOR ALL WATERMAIN CONSTRUCTION:
    - WATER MAIN AND SERVICES TO BE INSTALLED WITH A MINIMUM OF 5'-6" OF COVER FROM FINISHED GRADE TO TOP OF WATER PIPE.
    - TWO COMPLETE PIPE LENGTHS OF RESTRAINED JOINT PIPE SHALL BE CONSTRUCTED ON THE BRANCH LEG OF ALL TEES AND BOTH SIDES OF ALL 90 DEGREE BENDS.
    - ONE COMPLETE PIPE LENGTH OF RESTRAINED JOINT PIPE SHALL BE CONSTRUCTED ON BOTH SIDES OF ALL 11-1/4 AND 22-1/2 DEGREE BENDS.
    - ALL BENDS, TEES, PLUGS, VALVES AND HYDRANTS SHALL BE RESTRAINED JOINT.
    - ALL WATERMAIN PIPE 4" AND LARGER SHALL BE POLY WRAPPED DUCTILE IRON PIPE SPECIAL CLASS 52, 250 PSI RATING, WITH SINGLE GASKET JOINTS. CEMENT LINING SHALL BE PROVIDED FOR ALL PIPE.
    - ALL WATER SERVICE PIPE LESS THAN 4" SHALL BE COPPER PIPE, TYPE K OR PVC SDR 9 WITH A PRESSURE RATING OF 200 PSI.

**INDEMNIFICATION:**

THE CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE OWNER, THE VILLAGE OF ARLINGTON HEIGHTS, AND CAGE ENGINEERING, INC. FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES, INCLUDING ATTORNEY'S FEES ARISING OUT OF OR RESULTING FROM THE PERFORMANCE OF THE CONTRACTOR'S WORK. IN ANY AND ALL CLAIMS AGAINST THE OWNER OR CAGE ENGINEERING, INC. BY ANY EMPLOYEE OF THE CONTRACTOR, OR ANYONE DIRECTLY OR INDIRECTLY EMPLOYED BY THE CONTRACTOR, OR ANYONE FOR WHOM ACTS THE CONTRACTOR MAY BE LIABLE, THE INDEMNIFICATION OBLIGATION SHALL NOT BE LIMITED IN ANY WAY BY ANY LIMITATION ON THE AMOUNT OF DAMAGES, COMPENSATION OR BENEFITS PAYABLE BY OR FOR THE CONTRACTOR UNDER WORKER'S COMPENSATIONS ACTS, DISABILITY BENEFIT ACTS OR OTHER EMPLOYEE BENEFIT ACTS.

**CONSTRUCTION MEANS, METHODS, SAFETY**

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL FEDERAL, STATE AND LOCAL LAWS, INCLUDING OSHA STANDARDS AND WITH ANY OTHER APPLICABLE LAWS, ORDINANCES, RULES, REGULATIONS AND ORDERS OF ANY PUBLIC BODY HAVING JURISDICTION FOR THE SAFETY OF PERSONS OR PROPERTY OR TO PROTECT THEM FROM DAMAGE, INJURY OR LOSS. THE CONTRACTOR SHALL PROVIDE ALL SAFEGUARDS, SAFETY DEVICES AND PROTECTIVE EQUIPMENT AND SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING, AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS UTILIZED BY THE CONTRACTOR AND HIS SUB-CONTRACTORS IN THE PERFORMANCE OF THEIR WORK AND SHALL TAKE ANY OTHER ACTIONS NECESSARY TO PROTECT THE LIFE AND HEALTH OF EMPLOYEES ON THE JOB AND THE SAFETY OF THE PUBLIC AND TO PROTECT PROPERTY IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES OR PROCEDURES, EQUIPMENT, AND FOR SAFETY PRECAUTIONS OR PROGRAMS, UNLESS SUCH MEANS AND EQUIPMENT ARE SPECIFIED IN THESE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL COMPLY WITH SECTION 108.06 LABOR, METHODS, AND EQUIPMENT OF THE "STANDARD SPECIFICATIONS."

2200 CABOT DRIVE  
SUITE 325  
LISLE, IL 60532  
P. 630.598.0007  
WWW.CAGEVIL.COM



REVISIONS  
03/23/26  
PLAN REVISIONS

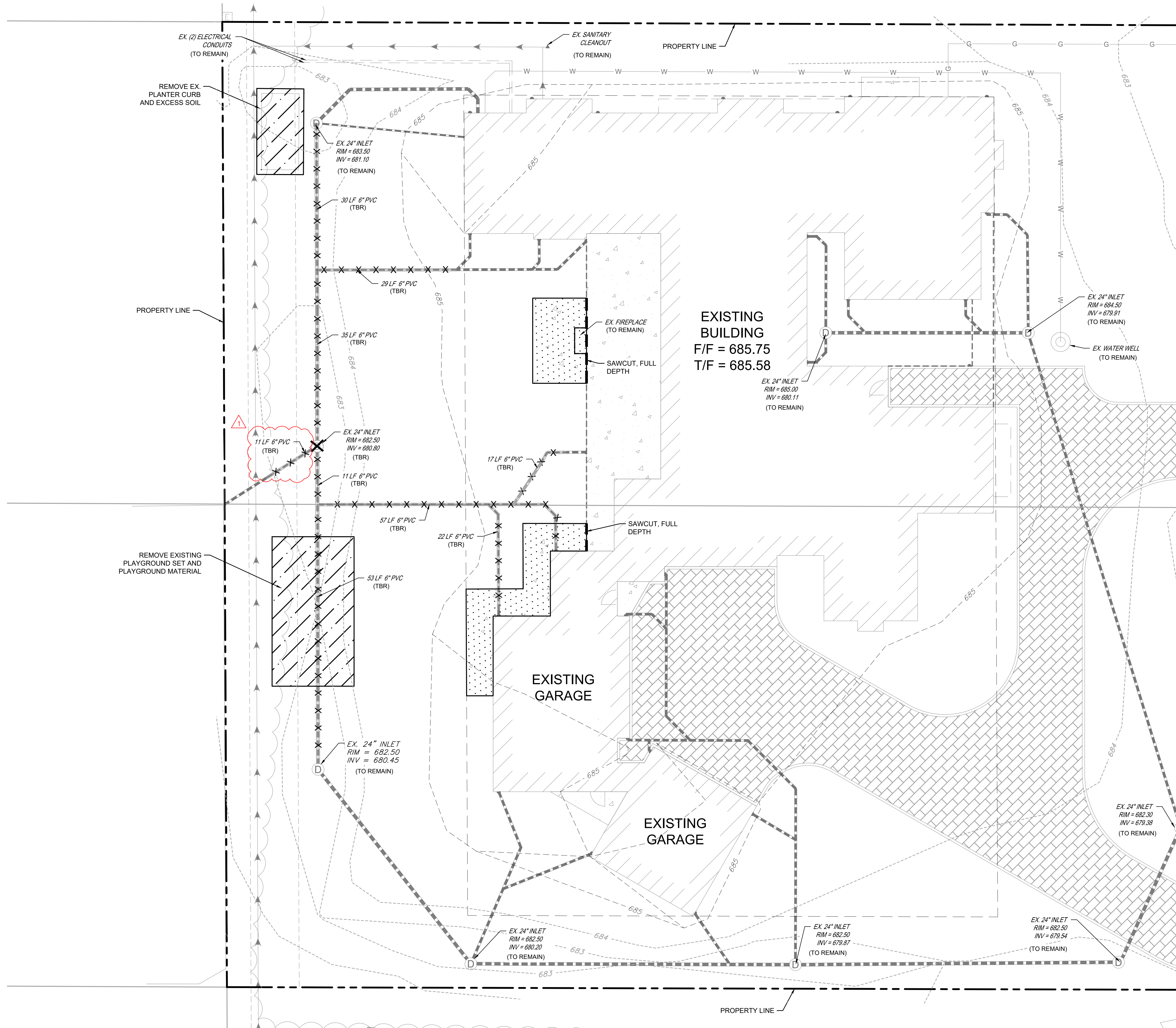
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BERTOLINI  
BERTOLINI RESIDENCE  
1120 NORTH DRURY LANE  
ARLINGTON HEIGHTS, IL

PROJ NO: 240449  
ENG: LES  
DATE: 05/16/2025

SHEET TITLE  
GENERAL NOTES & SPECIFICATIONS

SHEET NUMBER  
C0.1  
2 OF 6



**DEMOLITION LEGEND**

	CONCRETE PAVEMENT / SIDEWALK REMOVAL, FULL DEPTH
	SAWCUT PAVEMENT, FULL DEPTH
	UTILITY REMOVAL
(TBR)	TO BE REMOVED

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 SUITE 325  
 LISLE, IL 60532  
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**REVISIONS**

03/23/26	PLAN REVISIONS

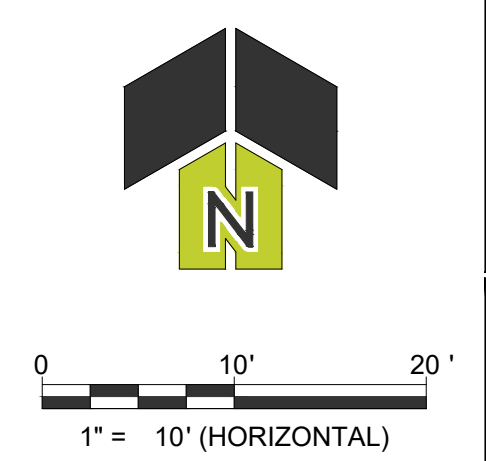
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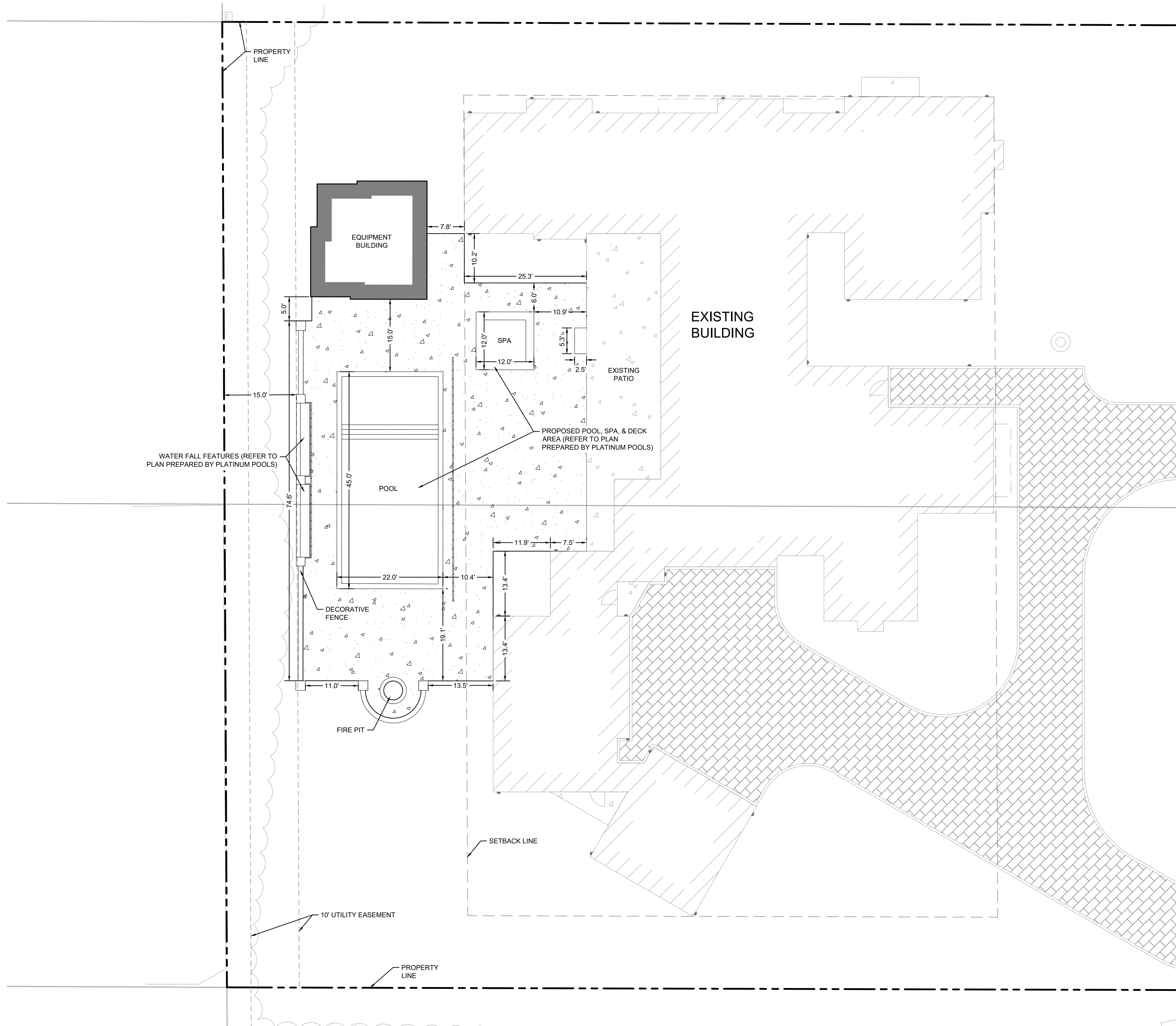
BERTOLINI  
**BERTOLINI RESIDENCE**  
 1120 NORTH DRURY LANE  
 ARLINGTON HEIGHTS, IL

PROJ NO: 240449  
 ENG: LES  
 DATE: 05/16/2025

SHEET TITLE  
**EXISTING CONDITIONS & DEMOLITION PLAN**

SHEET NUMBER  
**C1.0**  
 3 OF 6





PROPOSED LEGEND	
	PROPOSED BUILDING
	PCC PAVEMENT. REFER TO POOL PLANS FOR POOL DECK DETAILS

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 LISLE, IL 60532  
 P. 630.598.0007  
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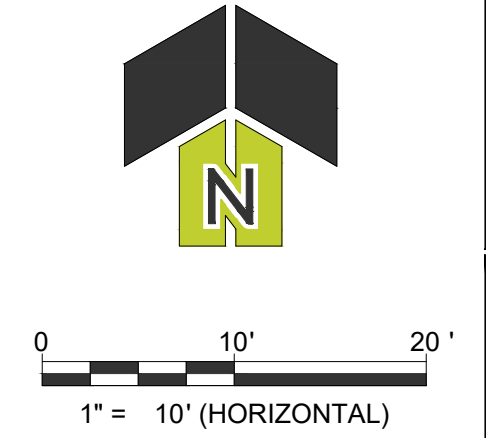
REVISIONS
03/23/26 PLAN REVISIONS

BERTOLINI  
**BERTOLINI RESIDENCE**  
 1120 NORTH DRURY LANE  
 ARLINGTON HEIGHTS, IL

PROJ NO: 240449  
 ENG: LES  
 DATE: 05/16/2025

SHEET TITLE  
**SITE LAYOUT PLAN**

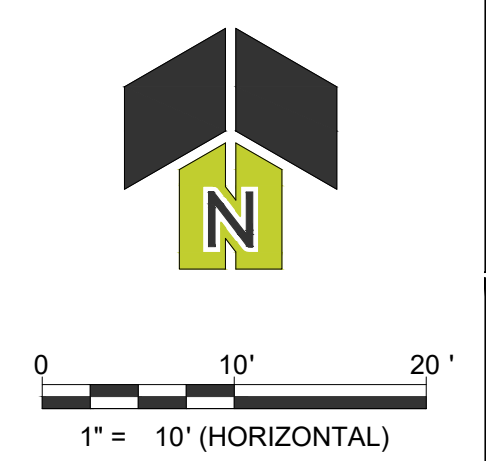
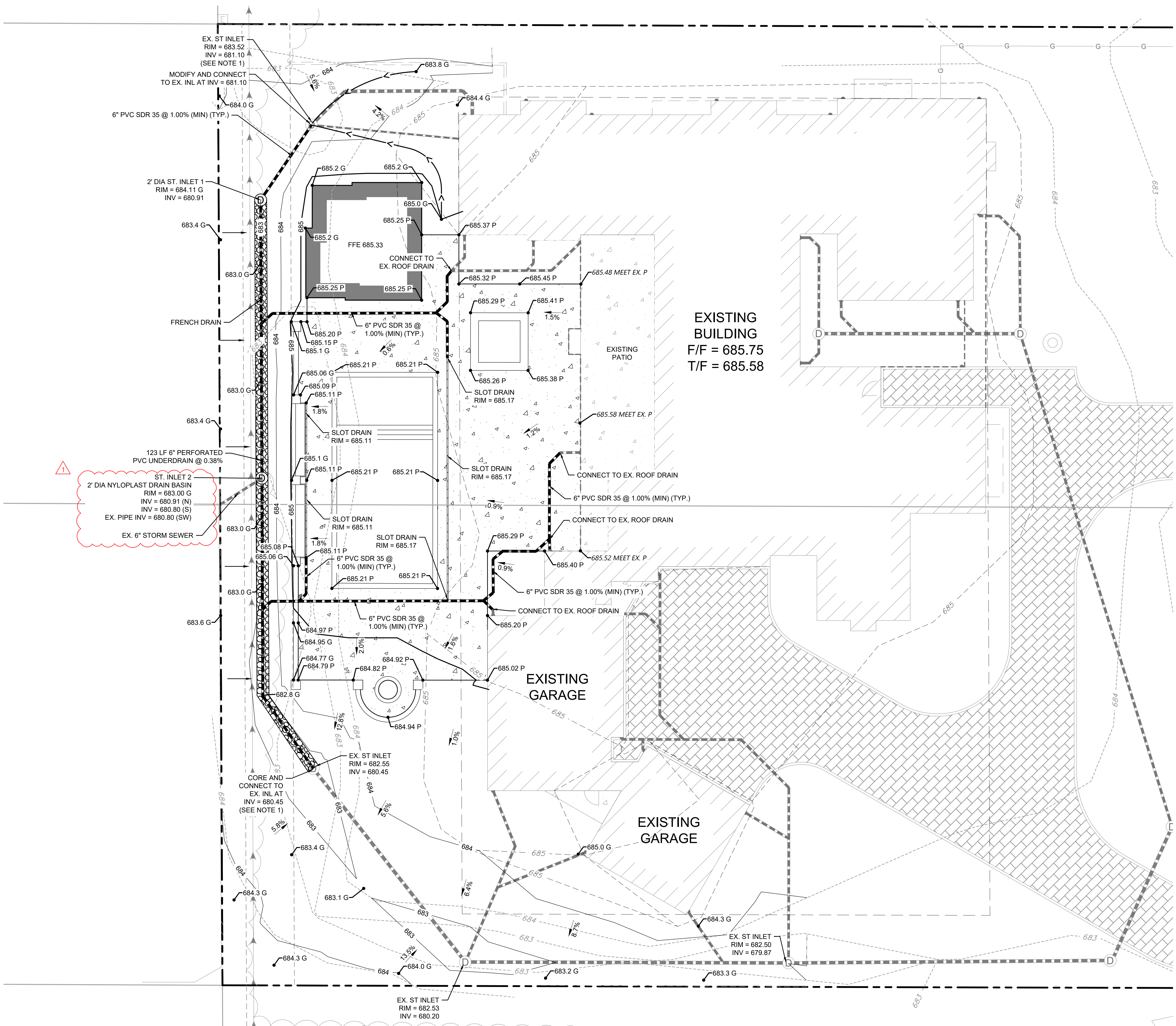
SHEET NUMBER  
**C2.0**  
 4 OF 6

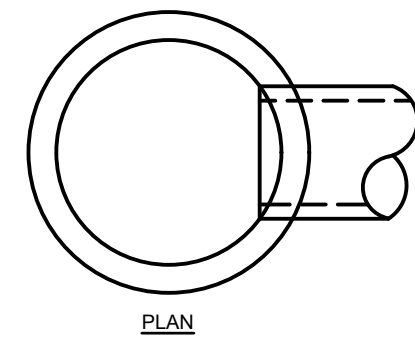


**PROPOSED LEGEND**

- STORM SEWER
- SANITARY SEWER
- STORM STRUCTURE
- FLOW ARROW
- BERM
- 100.00 P PAVEMENT GRADE
- 100.00 G GROUND GRADE
- MAJOR CONTOUR
- MINOR CONTOUR

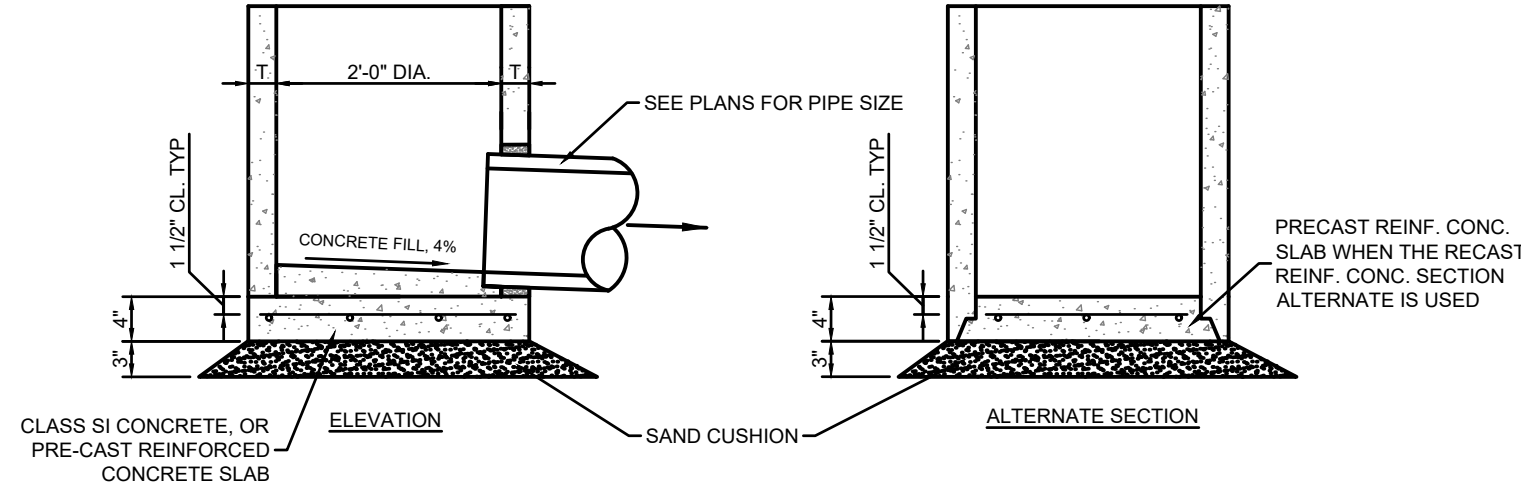
- GRADING & UTILITY NOTES:**
- CONTRACTOR SHALL CONFIRM EXISTING INVERTS AT ALL PROPOSED POINTS OF COMMUNICATION PRIOR TO ORDERING OR MANUFACTURING PROPOSED STORM STRUCTURES.
  - CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE IS PROVIDED AT ALL POINTS THROUGHOUT THE PROPOSED POOL DECK.





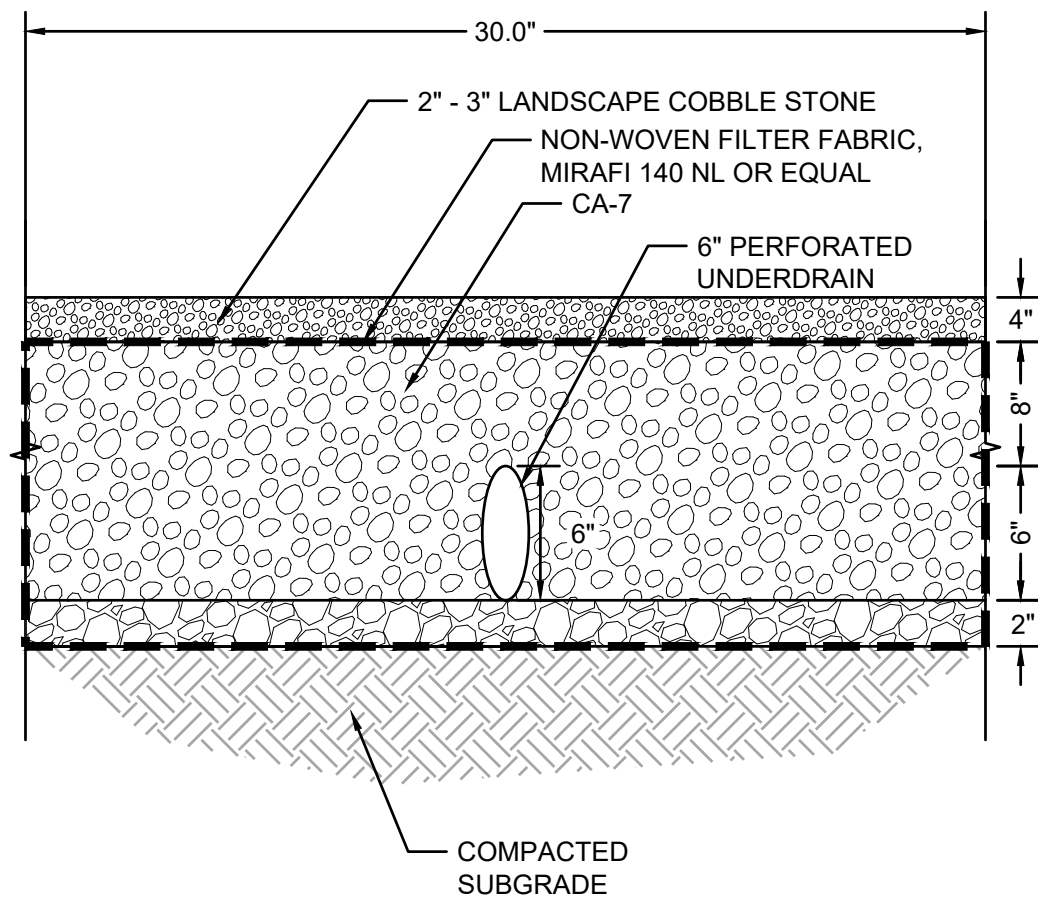
WALL SECTION	T
CAST IN PLACE CONCRETE	6"
PRECAST REINFORCED CONCRETE	3"

- GENERAL NOTES:**
- BOTTOM SLABS SHALL BE REINFORCED WITH A MINIMUM OF 0.24 SQ. IN./FT. IN BOTH DIRECTIONS WITH A MAXIMUM SPACING OF 10"
  - BOTTOM SLABS MAY BE CONNECTED TO THE RISER AS DETERMINED BY THE FABRICATOR; HOWEVER ONLY A SINGLE ROW OF REINFORCEMENT AROUND THE PERIMETER MAY BE UTILIZED.
  - ALL DIMENSIONS ARE IN INCHES.



**STORM INLET DETAIL**

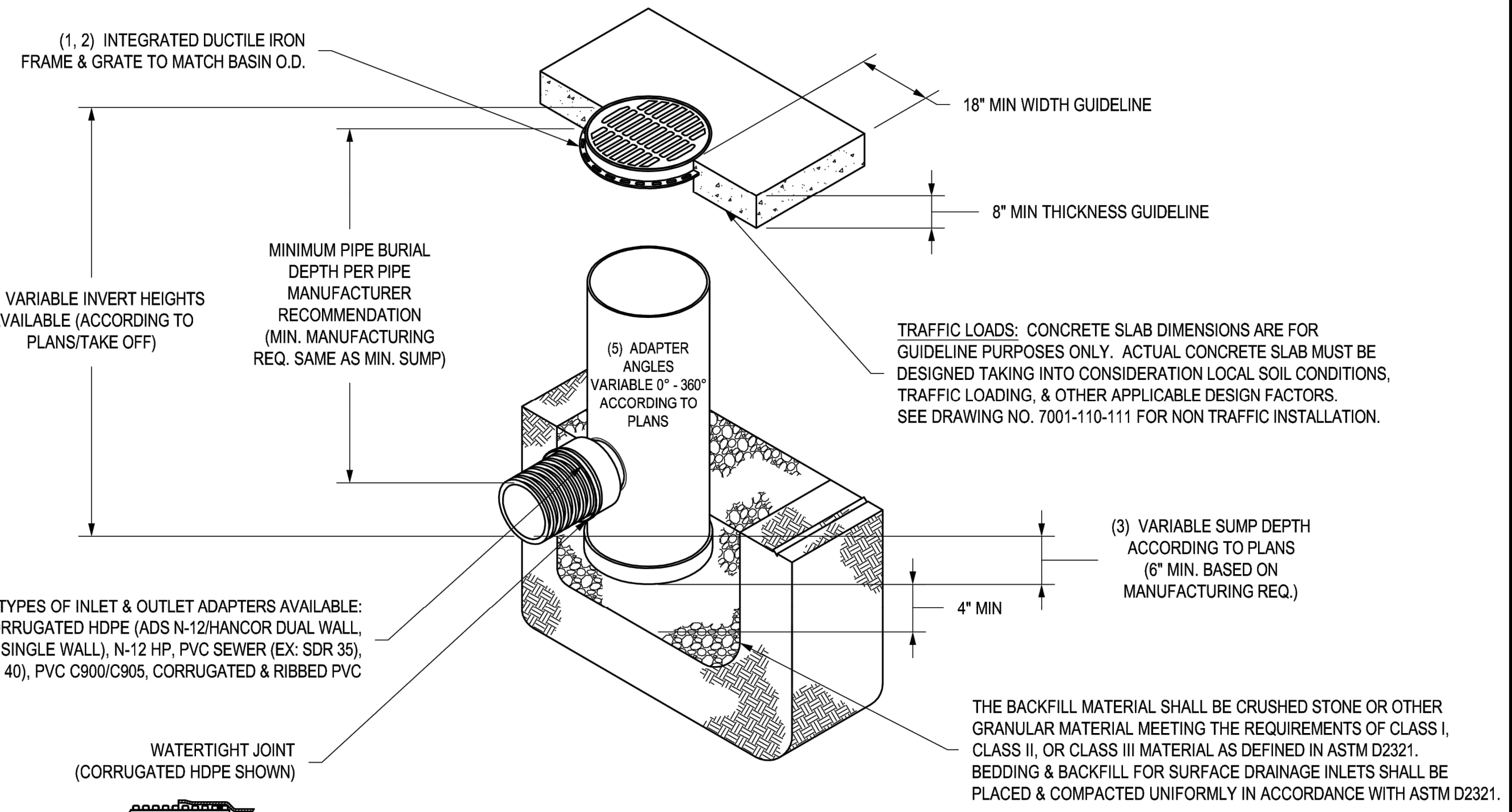
Scale: N.T.S.



**FRENCH DRAIN DETAIL**

Scale: N.T.S.

**NYLOPLAST 24" DRAIN BASIN: 2824AG \_\_X**



- (4) VARIOUS TYPES OF INLET & OUTLET ADAPTERS AVAILABLE:  
 4" - 24" FOR CORRUGATED HDPE (ADS N-12/HANCOR DUAL WALL, ADS/HANCOR SINGLE WALL), N-12 HP, PVC SEWER (EX: SDR 35), PVC DWV (EX: SCH 40), PVC C900/C905, CORRUGATED & RIBBED PVC

GRATE OPTIONS	LOAD RATING	PART #	DRAWING #
PEDESTRIAN	MEETS H-10	2499CGP	7001-110-216
STANDARD	MEETS H-20	2499CGS	7001-110-217
SOLID COVER	MEETS H-20	2499CGC	7001-110-218
DOME	N/A	2499CGD	7001-110-219
DROP IN GRATE	LIGHT DUTY	2401DI	7001-110-075

- GRATES/SOLID COVER SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05.
- FRAMES SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05.
- DRAIN BASIN TO BE CUSTOM MANUFACTURED ACCORDING TO PLAN DETAILS. RISERS ARE NEEDED FOR BASINS OVER 84" DUE TO SHIPPING RESTRICTIONS. SEE DRAWING NO. 7001-110-065.
- DRAINAGE CONNECTION STUB JOINT TIGHTNESS SHALL CONFORM TO ASTM D3212 FOR CORRUGATED HDPE (ADS N-12/HANCOR DUAL WALL), N-12 HP & PVC SEWER.
- ADAPTERS CAN BE MOUNTED ON ANY ANGLE 0° TO 360°. TO DETERMINE MINIMUM ANGLE BETWEEN ADAPTERS SEE DRAWING NO. 7001-110-012.

THIS PRINT DISCLOSES SUBJECT MATTER IN WHICH NYLOPLAST HAS PROPRIETARY RIGHTS. THE RECEIPT OR POSSESSION OF THIS PRINT DOES NOT CONFER, TRANSFER, OR LICENSE THE USE OF THE DESIGN OR TECHNICAL INFORMATION SHOWN HEREIN. REPRODUCTION OF THIS PRINT OR ANY INFORMATION CONTAINED HEREIN, OR MANUFACTURE OF ANY ARTICLE HEREFROM, FOR THE DISCLOSURE TO OTHERS IS FORBIDDEN, EXCEPT BY SPECIFIC WRITTEN PERMISSION FROM NYLOPLAST.

DRAWN BY	EBC	MATERIAL
DATE	04-03-06	
REVISED BY	NMH	PROJECT NO./NAME
DATE	03-14-16	
DWG SIZE	A	SCALE 1:40 SHEET 1 OF 1

**ADS Nyloplast**

3130 VERONA AVE  
 BUFORD, GA 30518  
 PHN (770) 932-2443  
 FAX (770) 932-2490  
 www.nyloplast-us.com

TITLE  
 24 IN DRAIN BASIN QUICK SPEC INSTALLATION DETAIL

DWG NO. 7001-110-192 REV E

**NYLOPLAST DRAIN BASIN DETAIL**

Scale: N.T.S.

2200 CABOT DRIVE  
 SUITE 325  
 LISLE, IL 60532  
 P. 630.598.0007  
 WWW.CAGECIVIL.COM

**CAGE**  
 CIVIL ENGINEERING

**REVISIONS**

NO.	DATE	DESCRIPTION
03/23/26		PLAN REVISIONS

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BERTOLINI  
**BERTOLINI RESIDENCE**  
 1120 NORTH DRURY LANE  
 ARLINGTON HEIGHTS, IL

PROJ NO: 240449  
 ENG: LES  
 DATE: 05/16/2025

SHEET TITLE  
**CONSTRUCTION DETAILS**

SHEET NUMBER  
**C4.0**  
 6 OF 6



# City of Prospect Heights

Department of Building & Development  
8 North Elmhurst Road, Prospect Heights Illinois, 60070-6070  
Office: 847/398-6070 x 211 FAX: 847/590-1854  
[www.prospect-heights.il.us](http://www.prospect-heights.il.us)

## MEMORANDUM

Date: April 9, 2026

To: Mayor Ludvigsen and City Council

Cc: Peter Falcone, City Administrator

From: Daniel A. Peterson, Director of Building & Development

Subject: Ordinance O-26-09 Amending Title 7, Chapter 1 of the City Code Regarding Variances for Flood Control Regulations

---

**ISSUE:** Title 7, Chapter 1 Flood Control Regulations of the City Code sets for the requirements for variances to the flood control regulations. Currently the compensatory storage ratio of 1.5 to 1.1 is not eligible for a reduction variation.

**BACKGROUND:** The City of Prospect Heights has evaluated the territory north of Old Willow Road, east of Wolf Road, and along the Milwaukee Avenue Commercial corridor for storm water impacts and have determined that a reduction of the compensatory storage ratio to meet the MWRD standard compensatory ratio of 1.1 would not impact the area.

The proposed ordinance allows for compensatory storage reduction as an eligible variation for future development. A developer would be required to submit a variation request to the Planning/Zoning Board of Appeals as part of their application for subdivision, and preliminary engineering and development plan. The PZBA will make formal recommendations to the city council for final approval.

**RECOMMENDATION:** Waiver of 1<sup>st</sup> Reading Adoption Ordinance #O-26-09 Amending Title 7 Chapter 1 of City Code Regarding Variances for Flood Control Regulations

**ORDINANCE NO. O-26-09**

**AN ORDINANCE AMENDING THE CITY CODE, TITLE 7, CHAPTER 1 OF THE CITY CODE REGARDING VARIANCES FOR FLOOD CONTROL REGULATIONS**

**WHEREAS**, the City of Prospect Heights (“City”) is an Illinois Municipal Corporation pursuant to the Illinois Constitution of 1970 and the Statutes of the State of Illinois; and

**WHEREAS**, the City has enacted a City Code for the purpose of improving and protecting the public health, safety, comfort, convenience and general welfare of the people; and

**WHEREAS**, Title 7, Chapter 1 of the City Code sets forth the requirements for variances to flood control regulations; and

**WHEREAS**, the Mayor and City Council have determined that an amendment of the City Code regarding variances to flood control regulations is necessary for the benefit of public health, safety, comfort, convenience and general welfare of the people;

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF PROSPECT HEIGHTS, COOK COUNTY, ILLINOIS** as follows:

**SECTION 1.** The City Council hereby finds and determines that the facts and statements set forth in the above recitals are true and correct, and do hereby, by reference, incorporate and make them a part of this ordinance.

**SECTION 2.** That the purpose of this ordinance shall include amending Title 7, Chapter 1 of the City Code as provided herein.

**SECTION 3:** That Section 7-1-12 of the City Code, “Variances”, be amended as set forth below with deletions in strikethrough and additions in bold, underline text so that the same shall be read as follows:

CHAPTER 7

7-1-12: VARIANCES:

No variances shall be granted to any development located in a "regulatory floodway" as defined in Section 7-1-3 of this Chapter. However, when a development proposal is located outside of a regulatory floodway but within the flood fringe, and whenever the standards of this Chapter place undue hardship on a specific development proposal, the applicant may apply to the site plan review, committee for a variance. The site plan review committee shall review the applicant's request for a variance and shall submit its recommendation to the City Council.

A. No variance shall be granted unless the applicant demonstrates that:

1. The development activity cannot be located outside the SFHA;
2. An exceptional hardship would result if the variance were not granted;
3. The relief requested is the minimum necessary;
4. There will be no additional threat to public health, safety, beneficial stream uses and

functions, especially aquatic habitat, or creation of a nuisance;

5. There will be no additional public expense for flood protection, lost environmental stream uses and functions, rescue or relief operations, policing, or repairs to stream beds and banks, roads, utilities, or other public facilities;

6. The provisions of subsections 7-1-7B and 7-1-9B2b of this Chapter shall still be met, **except that the compensatory storage ratio outlined in 7-1-7B2 may be reduced to one and one tenth (1.1) times the volume of storage due to fill or structure for all properties north of Old Willow Road, east of Wolf Road, and along the Milwaukee Avenue commercial corridor.**

7. The activity is not in a regulatory floodway;

8. The applicant's circumstances are unique and do not represent a general problem; and

9. The granting of the variance will not alter the essential character of the area involved including existing stream uses.

B. The City Engineer shall notify an applicant in writing that a variance from the requirements of Section 7-1-10 that would lessen the degree of protection to a building will:

1. Result in increased premium rates for flood insurance up to amounts as high as twenty-five dollars (\$25.00) for one hundred dollars (\$100.00) of insurance coverage;

2. Increase the risks to life and property; and

3. Require that the applicant proceed with knowledge of these risks and that he will acknowledge in writing that he assumes the risk and liability.

C. Variances requested in connection with restoration of a site or building listed on the National Register of Historical Places or documented as worthy of preservation by the Illinois Historic Preservation Agency may be granted using criteria more permissive than the requirements of subsections A and B of this Section. (Ord. 0-90-37, 8-20-1990)

\*\*\*

**SECTION 4:** That the City Clerk of the City of Prospect Heights be and is directed hereby to publish this Ordinance in pamphlet form, pursuant to the Statutes of the State of Illinois, made and provided.

**SECTION 5:** If any provision of this Ordinance or application thereof to any person or circumstances is ruled unconstitutional or otherwise invalid, such invalidity shall not affect other provisions or applications of this Ordinance that can be given effect without the invalid application or provision, and each invalid provision or invalid application of this Ordinance is severable.

**SECTION 6:** This Ordinance shall be in full force and effect upon its passage and approval as required by law.

**PASSED and APPROVED** this 13th day of April, 2026.

ATTEST:

\_\_\_\_\_  
Patrick Ludvigsen, Mayor

\_\_\_\_\_  
City Clerk

AYES: \_\_\_\_\_

NAYS: \_\_\_\_\_

ABSENT: \_\_\_\_\_

Published in pamphlet form:



**To:** Mayor Ludvigsen and City Council

**From:** Peter P. Falcone, City Administrator

**Subject:** Resolution supporting the City's Illinois Transportation Enhancement Program (ITEP) Grant Application for the Camp McDonald Road Sidewalk Project, between Wolf and Wheeling Road

**Date:** April 9, 2026

**Background:**

The City has received two Cook County "Invest in Cook" awards for preliminary (Phase I) and design engineering (Phase II) for the Camp McDonald sidewalk project. With these phases in the process of being completed, the next step in the process is to identify potential funding sources for construction engineering (Phase III) and construction.

The City applied for and was awarded an ITEP for \$1,590,318 and will be responsible for a local match of \$176,700. To show the City's commitment to this project and the ITEP application, the City is required to approve a resolution in support of the application and local match. Staff is hopeful for similar success with the Camp McDonald sidewalk.

**Analysis:**

This sidewalk project on Camp McDonald Road, from the Wolf to Wheeling Road, is referenced in the City's comprehensive plan as a community need to facilitate safe pedestrian access for residents to the River Trails Park District and area businesses. In addition, this project would assist the Comprehensive Plan's larger goal of providing pedestrian access to the Metra Station.

**Recommendation:**

Approve Resolution R-26-10 to be filed with the application demonstrating the City's authorization and support of the project.

**Resolution No. R-26-10**  
**A Council Resolution of Support for the City's Illinois Transportation Enhancement Program (ITEP) Grant Application for the Camp McDonald Sidewalk Project**

**WHEREAS**, the City of Prospect Heights is proposing to build a sidewalk project on Camp McDonald road from Wheeling to Wolf Roads; and

**WHEREAS**, the above-stated improvement will necessitate the use of funding provided through the Illinois Department of Transportation (IDOT); and signee

**WHEREAS**, the use of these funds requires a joint funding agreement (AGREEMENT) with IDOT; and

**WHEREAS**, the improvement requires matching funds; and

**NOW, THEREFORE**, be it resolved by the Prospect Heights City Council

**Section 1:** The City Council hereby appropriates \$176,700.00 or as much as may be needed to match the required funding to complete the proposed improvement from the City's Capital Fund and furthermore agree to pass a supplemental resolution if necessary to appropriate additional funds for completion of the project.

**Section 2:** The City Mayor is hereby authorized to execute an AGREEMENT with IDOT for the above-mentioned project.

**Section 3:** This resolution will become Attachment 3 of the AGREEMENT.

**Section 4:** The City Clerk of Prospect Heights is directed to transmit 3 (three) copies of the AGREEMENT and Resolution to IDOT District Bureau of Local Roads and Streets.

I, City Clerk in and for the City of Prospect Heights, Illinois, and keeper of the records and files thereof, as provided by statute, do hereby certify the forgoing to be a true, perfect and complete copy of the resolution approved by the City Council at its meeting on the 13th day of April, 2026.

IN TESTIMONY WEREOF; I have unto set my hand and seal, at my office, this 13th day of April, 2026.

Attest:

\_\_\_\_\_  
Patrick Ludvigsen, Mayor

\_\_\_\_\_  
City Clerk

Ayes: \_\_\_\_\_

Nays: \_\_\_\_\_

Absent: \_\_\_\_\_

**CITY OF PROSPECT HEIGHTS  
WARRANT LIST SUMMARY  
4/13/2026**

**Checks**

General Fund	\$	185,727.65
Motor Fuel Tax Fund		-
Tourism District		4,119.39
Solid Waste Fund		101,599.13
Drug Enforcement Agency Fund		3,438.00
Special Service Area #1		-
Special Service Area #2		-
Special Service Area #3		-
Special Service Area #4		-
Special Service Area #5		172.55
Special Service Area-Constr#6(Water Main)		-
Special Service Area #8 - Levee Wall #37		98.06
Capital Improvements		-
Special Service Area-Debt#6		-
Road Construction Debt		-
Water Fund		46,696.86
Parking Fund		769.16
Sanitary Sewer Fund		12,603.05
Road/Building Bond Escrow		-
	<b>TOTAL \$</b>	<b>355,223.85</b>

**Wire Payments**

04.03.26 PAYROLL	\$	284,326.64
03.20.26 PAYROLL	\$	195,108.83

**Manual Checks**

WIGHT & COMPANY(Beyond Your Base Bond Referendum Resources)	\$	14,648.17
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<b>TOTAL WARRANT</b>	<b>\$</b>	<b>849,307.49</b>
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Report Criteria:

Detail report.  
 Invoices with totals above \$0.00 included.  
 Only unpaid invoices included.

Vendor Name	Invoice Number	Description	Invoice Date	GL Account Number	Net Invoice Amt	Amount Paid	Date Paid
AKERMAN LLP	10155824	LABOR ATTORNEY - MAP GRIE	03/18/2026	01-324-5123	2,997.49	.00	
Total AKERMAN LLP:					2,997.49	.00	
ALLEGRA MARKETING	222927	REGULAR ENVELOPES	12/29/2025	01-320-5700	257.00	.00	
ALLEGRA MARKETING	224642	WINDOW ENVELOPES	03/31/2026	01-320-5700	321.00	.00	
ALLEGRA MARKETING	224644	BUSINESS CARDS - COALTER	03/31/2026	01-320-5700	114.00	.00	
Total ALLEGRA MARKETING:					692.00	.00	
ARLINGTON HEIGHTS FORD IN	175741H	VEHICLE 850	04/01/2026	01-350-5020	32.89	.00	
ARLINGTON HEIGHTS FORD IN	175742H	VEHICLE 692	04/07/2026	01-350-5020	1,205.60	.00	
ARLINGTON HEIGHTS FORD IN	175894H	VEHICLE 692	04/07/2026	01-350-5020	833.00	.00	
ARLINGTON HEIGHTS FORD IN	217434	SQUAD 604	03/23/2026	01-350-5020	287.75	.00	
Total ARLINGTON HEIGHTS FORD INC.:					2,359.24	.00	
B & F CONSTRUCTION CODE S	70877	PLBG PLAN REVIEW 412 W OLI	03/18/2026	01-340-5100	160.00	.00	
B & F CONSTRUCTION CODE S	70880	PLBG PLAN REVIEW 10 E CAMP	03/18/2026	01-340-5100	277.50	.00	
B & F CONSTRUCTION CODE S	71084	PLBG PLAN REVIEW 604 E CAM	04/06/2026	01-340-5100	160.00	.00	
Total B & F CONSTRUCTION CODE SERVICE INC.:					597.50	.00	
BEATA ZAGORSKA	Refund Replac	REFUND REPLACEMENT STICK	04/03/2026	01-120-3300	30.00	.00	
Total BEATA ZAGORSKA:					30.00	.00	
BLUECROSS BLUESHIEDL OF I	APR 26	APR 26 HMO/MEDICAL	04/01/2026	01-360-4100	5,769.11	.00	
Total BLUECROSS BLUESHIEDL OF IL:					5,769.11	.00	
BUILDERS ASPHALT	184528	COLD PATCH	04/01/2026	01-350-5634	131.35	.00	
Total BUILDERS ASPHALT:					131.35	.00	
CANON FINANCIAL SERVICES	42972560	APR 26 BLDG COPIER	04/04/2026	01-340-7020	198.97	.00	
Total CANON FINANCIAL SERVICES:					198.97	.00	
CARDMEMBER SERVICE	01.22.26-02.19	IL TOLLWAY	03/31/2026	01-350-5020	30.00	.00	
Total CARDMEMBER SERVICE:					30.00	.00	
CARLIN SALES CORPORATION	3086653-00	NRC SUPPLIES	03/13/2026	01-310-5650	1,076.56	.00	
Total CARLIN SALES CORPORATION:					1,076.56	.00	
CARY MAGES	04.02.26-VS	SENIOR STICKER REFUND	04/08/2026	01-120-3300	60.00	.00	
Total CARY MAGES:					60.00	.00	
CHI-TOWN CLEANING SERVICE	26-03-154	CUSTODIAL MARCH 2026	04/03/2026	01-350-5104	1,220.90	.00	

Vendor Name	Invoice Number	Description	Invoice Date	GL Account Number	Net Invoice Amt	Amount Paid	Date Paid
Total CHI-TOWN CLEANING SERVICES:					1,220.90	.00	
COMED - ACCT #1165283000	02.13.26-03.16	02.13.26-03.16.26 PIPER/WIMBL	03/17/2026	25-300-5050	137.55	.00	
Total COMED - ACCT #1165283000:					137.55	.00	
COMED - ACCT #4546302111	02.13.26-03.16	02.13.26-03.16.26 101 S WOLF R	03/17/2026	52-300-5410	232.91	.00	
Total COMED - ACCT #4546302111:					232.91	.00	
COMED - ACCT #5019434111	02.13.26-03.16	02.13.26-03.16.26 WOLF/EUCLID	03/17/2026	52-300-5410	145.55	.00	
Total COMED - ACCT #5019434111:					145.55	.00	
COMED - ACCT #5306644000	02.13.26-03.16	02.13.26-03.16.26 1 S APPLE DR	03/17/2026	01-350-5410	76.27	.00	
Total COMED - ACCT #5306644000:					76.27	.00	
COMED - ACCT #6717033111	02.12.26-03.13	02.12.26-03.13.26 1221 FORRES	03/16/2026	01-350-5410	76.23	.00	
Total COMED - ACCT #6717033111:					76.23	.00	
COMED #3615882000	01.17.26-03.18	01.17.26-02.17.26 0 COR EUCLI	03/19/2026	01-350-5411	189.94	.00	
COMED #3615882000	01.17.26-03.18	02.17.26-03.18.26 0 COR EUCLI	03/19/2026	01-350-5411	227.34	.00	
Total COMED #3615882000:					417.28	.00	
COMED #6059851222	02.13.26-03.16	02.13.26-03.16.26 900 E OLD WI	03/17/2026	25-300-5050	35.00	.00	
Total COMED #6059851222:					35.00	.00	
COMED #6912705000	01.24.26-03.18	01.24.26-02.16.26 US RT 45	03/19/2026	01-350-5411	276.41	.00	
COMED #6912705000	01.24.26-03.18	02.17.26-03.18.26 US RT45	03/19/2026	01-350-5411	399.55	.00	
Total COMED #6912705000:					675.96	.00	
COMED-ACCT #271664222	03172026	LEVEE 37	03/24/2026	28-300-7020	98.06	.00	
Total COMED-ACCT #271664222:					98.06	.00	
COMED-ACCT#0519321222	02.13.26-03.16	02.13.26-03.16.26 218 FAIRWAY	03/16/2026	51-300-5410	12.65	.00	
Total COMED-ACCT#0519321222:					12.65	.00	
COMED-ACCT#2563032000	02.13.26-03.16	02.13.26-03.16.26 604 N MIWAU	03/17/2026	13-300-5410	50.61	.00	
Total COMED-ACCT#2563032000:					50.61	.00	
COMED-ACCT#9272525000	02.13.26-03.16	02.13.26-03.16.26 1250 S RIVER	03/17/2026	13-300-5410	45.11	.00	
Total COMED-ACCT#9272525000:					45.11	.00	
CONRAD POLYGRAPH INC.	7017	POLYGRAPH - THIBEAULT	04/02/2026	01-360-5100	225.00	.00	
Total CONRAD POLYGRAPH INC.:					225.00	.00	
CONSERV FS INC.	101035351	FUEL 3/25/26	04/01/2026	01-350-5751	4,233.41	.00	

Vendor Name	Invoice Number	Description	Invoice Date	GL Account Number	Net Invoice Amt	Amount Paid	Date Paid
Total CONSERV FS INC.:					4,233.41	.00	
CONSTELLATION NEWENERGY	72489262701	02.04.26-03.05.26 711 ELM ST	03/28/2026	01-350-5411	299.92	.00	
Total CONSTELLATION NEWENERGY INC.:					299.92	.00	
CPS ELK GROVE VILLAGE	40V0119373	VEHICLE 603	04/01/2026	01-350-5020	316.86	.00	
CPS ELK GROVE VILLAGE	47V0002479	ALL VEHICLES STOCK BATTERI	04/03/2026	01-350-5020	514.29	.00	
Total CPS ELK GROVE VILLAGE:					831.15	.00	
DEKIND COMPUTER CONSULT	44800	DEKIND MAY 26	05/01/2026	01-320-5130	729.30	.00	
DEKIND COMPUTER CONSULT	44800	DEKIND MAY 26	05/01/2026	01-350-5100	729.30	.00	
DEKIND COMPUTER CONSULT	44800	DEKIND MAY 26	05/01/2026	01-360-5100	1,701.68	.00	
DEKIND COMPUTER CONSULT	44800	DEKIND MAY 26	05/01/2026	51-300-5100	729.30	.00	
DEKIND COMPUTER CONSULT	44800	DEKIND MAY 26	05/01/2026	53-300-5100	972.40	.00	
DEKIND COMPUTER CONSULT	44908	MYZIA OFFICER - MONITORS	03/27/2026	01-340-7020	402.97	.00	
DEKIND COMPUTER CONSULT	44985	PW NETWORK CABLES	04/03/2026	01-350-5100	720.00	.00	
Total DEKIND COMPUTER CONSULTANTS:					5,984.95	.00	
DELTA DENTAL INSURANCE CO	BE006996720	APR 26 - HMO DENTAL	04/01/2026	01-360-4100	106.60	.00	
Total DELTA DENTAL INSURANCE COMPANY:					106.60	.00	
DELTA DENTAL OF ILLINOIS	2027239	PPO VISION - ADMIN APR 26	04/01/2026	01-320-4100	21.21	.00	
DELTA DENTAL OF ILLINOIS	2027239	PPO VISION - BUILD APR 26	04/01/2026	01-340-4100	11.76	.00	
DELTA DENTAL OF ILLINOIS	2027239	PPO VISION - POLICE APR 26	04/01/2026	01-360-4100	26.93	.00	
DELTA DENTAL OF ILLINOIS	2027239	PPO VISION - COUNCIL APR 26	04/01/2026	01-310-4100	6.66	.00	
DELTA DENTAL OF ILLINOIS	2027239	PPO VISION - RETIREE APR 26	04/01/2026	01-370-4101	45.63	.00	
DELTA DENTAL OF ILLINOIS	2027239	PPO VISION - PW APR 26	04/01/2026	01-350-4100	34.00	.00	
DELTA DENTAL OF ILLINOIS	2027254	HMO VISION APR 26	04/01/2026	01-370-4101	12.99	.00	
DELTA DENTAL OF ILLINOIS	2027254	HMO VISION APR 26	04/01/2026	01-360-4100	40.99	.00	
Total DELTA DENTAL OF ILLINOIS:					200.17	.00	
DES PLAINES JOURNAL INC	196102	PZBA NOTICE 26-02	04/01/2026	01-340-5222	151.65	.00	
DES PLAINES JOURNAL INC	196103	LEGAL NOTICE PZBA 26-04	04/01/2026	01-340-5222	151.65	.00	
Total DES PLAINES JOURNAL INC:					303.30	.00	
DES PLAINES MATERIAL & SUP	53892	WATER MAIN SUPPLIES & MAT	04/06/2026	51-300-5634	498.60	.00	
DES PLAINES MATERIAL & SUP	54305	WATER MAIN DUMP	04/07/2026	51-300-5634	891.26	.00	
DES PLAINES MATERIAL & SUP	54336	WATER MAIN SUPPLIES & MAT	04/07/2026	51-300-5634	883.24	.00	
Total DES PLAINES MATERIAL & SUPPLY:					2,273.10	.00	
EAGLE UNIFORM CO.	48335-3	UNIFORMS - VASQUEZ	03/20/2026	01-360-5741	43.00	.00	
EAGLE UNIFORM CO.	48356-3	UNIFORMS - NEW OFFICER ISS	03/20/2026	01-360-5741	79.00	.00	
EAGLE UNIFORM CO.	48442-3	UNIFORMS-MENDEZ	03/20/2026	01-360-5741	8.00	.00	
EAGLE UNIFORM CO.	48772-3	UNIFORMS - DERMAN	03/26/2026	01-360-5741	15.00	.00	
EAGLE UNIFORM CO.	48775-3	UNIFORMS - NEW OFFICER ISS	03/26/2026	01-360-5741	364.00	.00	
EAGLE UNIFORM CO.	49168-3	UNIFORMS - COLLINS	03/31/2026	01-360-5741	484.00	.00	
EAGLE UNIFORM CO.	49173-3	UNIFORMS - NEW OFFICER ISS	03/31/2026	01-360-5741	144.00	.00	
EAGLE UNIFORM CO.	49276-3	UNIFORMS - MENDEZ	04/02/2026	01-360-5741	11.00	.00	

Vendor Name	Invoice Number	Description	Invoice Date	GL Account Number	Net Invoice Amt	Amount Paid	Date Paid
Total EAGLE UNIFORM CO.:					1,148.00	.00	
EL-COR INDUSTRIES INC	285553	SHOP SUPPLIES	04/01/2026	01-350-5000	230.11	.00	
Total EL-COR INDUSTRIES INC:					230.11	.00	
ENDEAVOR OMEGA	203137328-03	PRE-EMPLOYMENT MEDICAL T	04/02/2026	01-360-5100	859.00	.00	
Total ENDEAVOR OMEGA:					859.00	.00	
FOOD & ALCOHOL SERVICE TR	2026-06	MARCH 26 HEALTH INSPECTIO	04/01/2026	01-340-5100	1,260.00	.00	
FOOD & ALCOHOL SERVICE TR	2026-4	FEB 26 HEALTH INSPECTIONS	04/01/2026	01-340-5100	1,035.00	.00	
Total FOOD & ALCOHOL SERVICE TRAINING INC:					2,295.00	.00	
FP FINANCE PROGRAM	41562209	APR 26 POSTAGE MACHINE	03/22/2026	01-320-5200	185.95	.00	
Total FP FINANCE PROGRAM:					185.95	.00	
GW BERKHEIMER CO INC	8199494	GUN RANGE AIR FILTERS	03/24/2026	01-350-5710	282.72	.00	
Total GW BERKHEIMER CO INC:					282.72	.00	
HIGHSTAR TRAFFIC	19591	ROAD SIGNS	04/02/2026	01-350-5721	620.10	.00	
HIGHSTAR TRAFFIC	50707	MESSAGE BOARD	04/02/2026	01-350-5721	1,040.00	.00	
HIGHSTAR TRAFFIC	50708	MESSAGE BOARD 2	04/02/2026	01-350-5721	1,040.00	.00	
Total HIGHSTAR TRAFFIC:					2,700.10	.00	
HOME DEPOT CREDIT SERVIC	03.27.26	PW PAINT	04/03/2026	01-350-5710	36.93	.00	
HOME DEPOT CREDIT SERVIC	03.27.26	PW CEILING TILES	04/03/2026	01-350-5710	59.88	.00	
HOME DEPOT CREDIT SERVIC	03.27.26	PD BATTERIES	04/03/2026	01-350-5710	14.87	.00	
HOME DEPOT CREDIT SERVIC	03.27.26	BLDG SUPPLIES	04/03/2026	01-350-5710	30.45	.00	
HOME DEPOT CREDIT SERVIC	03.27.26	PD ELECTRICAL	04/03/2026	01-350-5710	44.26	.00	
HOME DEPOT CREDIT SERVIC	03.27.26	PD & PW SUPPLY	04/03/2026	01-350-5710	41.20	.00	
HOME DEPOT CREDIT SERVIC	03.27.26	SHOP SUPPLIES	04/03/2026	01-350-5710	283.97	.00	
HOME DEPOT CREDIT SERVIC	03.27.26	PD KEY	04/03/2026	01-350-5710	6.97	.00	
HOME DEPOT CREDIT SERVIC	03.27.26	PD CEILING TILES	04/03/2026	01-350-5710	56.89	.00	
Total HOME DEPOT CREDIT SERVICES:					575.42	.00	
ILLINOIS DEPARTMENT OF EM	CNxxx1563216	UNEMPLOYMENT INSURANCE	04/08/2026	01-360-4120	4,310.19	.00	
Total ILLINOIS DEPARTMENT OF EMPLOYMENT:					4,310.19	.00	
ILLINOIS PUBLIC RISK FUND	100286	MAY 26 WC PREMIUMS	05/01/2026	01-320-5530	235.34	.00	
ILLINOIS PUBLIC RISK FUND	100286	MAY 26 WC PREMIUMS	05/01/2026	01-340-5530	294.18	.00	
ILLINOIS PUBLIC RISK FUND	100286	MAY 26 WC PREMIUMS	05/01/2026	01-350-5530	1,412.03	.00	
ILLINOIS PUBLIC RISK FUND	100286	MAY 26 WC PREMIUMS	05/01/2026	01-360-5530	9,413.60	.00	
ILLINOIS PUBLIC RISK FUND	100286	MAY 26 WC PREMIUMS	05/01/2026	51-300-5530	294.18	.00	
ILLINOIS PUBLIC RISK FUND	100286	MAY 26 WC PREMIUMS	05/01/2026	53-300-5530	117.67	.00	
ILLINOIS PUBLIC RISK FUND	Refund of Lang	REIMB CHK 439623	04/07/2026	01-155-3730	3,583.20	.00	
ILLINOIS PUBLIC RISK FUND	Refund of Lang	REIMB CHK 438166	04/07/2026	01-155-3730	767.82	.00	
Total ILLINOIS PUBLIC RISK FUND:					16,118.02	.00	
ILLINOIS-AMERICAN WATER C	MAR 25 #6353	1250 S RVR MAR 26	04/08/2026	13-300-5410	106.24	.00	

Vendor Name	Invoice Number	Description	Invoice Date	GL Account Number	Net Invoice Amt	Amount Paid	Date Paid
ILLINOIS-AMERICAN WATER C	Mar 26 #1674	MAR 26 1217 E CAMP MCDONA	04/01/2026	51-300-5412	31,299.27	.00	
ILLINOIS-AMERICAN WATER C	MAR 26 #5667	MAR 26 401 PIPER LN	04/01/2026	01-350-5410	54.92	.00	
ILLINOIS-AMERICAN WATER C	MAR 26#55629	401 PIPER LN MAR 26	04/08/2026	01-350-5410	244.96	.00	
ILLINOIS-AMERICAN WATER C	MAR 26-#6353	700 MIWLK MAR 26	04/08/2026	13-300-5410	106.24	.00	
Total ILLINOIS-AMERICAN WATER CO.:					31,811.63	.00	
Image Systems & Business Soluti	438601	COLOR PRINTING	03/20/2026	01-360-5220	133.51	.00	
Total Image Systems & Business Solutions:					133.51	.00	
INNOVATIVE TELEPHONE & DA	10613	PD PHONE RECONNECT	01/11/2026	01-360-5410	189.00	.00	
INNOVATIVE TELEPHONE & DA	1250471	APR 26 SERVICE	04/01/2026	01-320-5410	521.18	.00	
INNOVATIVE TELEPHONE & DA	1250471	APR 26 SERVICE	04/01/2026	51-300-5412	22.36	.00	
INNOVATIVE TELEPHONE & DA	1250471	APR 26 SERVICE	04/01/2026	01-350-5410	201.22	.00	
INNOVATIVE TELEPHONE & DA	1250471	APR 26 SERVICE	04/01/2026	01-360-5410	624.82	.00	
Total INNOVATIVE TELEPHONE & DATA SOLUTION:					1,558.58	.00	
IUOE LOCAL 150 ADMIN	MAR 2026	MAR 26 LOCAL 150 ADMIN	04/08/2026	01-000-2050	760.54	.00	
IUOE LOCAL 150 ADMIN	MAR 2026	MAR 26 LOCAL 150 MEMBER	04/08/2026	01-000-2050	146.76	.00	
Total IUOE LOCAL 150 ADMIN:					907.30	.00	
JOSEPHINE CAMPOBASSO	Refund Vehicle	REFUND VEHICLE STICKER	03/31/2026	01-120-3300	75.00	.00	
Total JOSEPHINE CAMPOBASSO:					75.00	.00	
JUST TIRES MP INC.	0000129646	SQUAD 692	04/01/2026	01-350-5020	140.00	.00	
Total JUST TIRES MP INC.:					140.00	.00	
LANDSCAPE CONCEPTS MANA	72215	APRIL LANDSCAPE MAINTENA	04/02/2026	13-300-5108	1,567.00	.00	
Total LANDSCAPE CONCEPTS MANAGEMENT:					1,567.00	.00	
LAUTERBACH & AMEN LLP	116752	MAR 2026 FINCL SRVC	04/01/2026	01-322-5102	12,100.00	.00	
LAUTERBACH & AMEN LLP	116752	MAR 2026 FINCL SRVC	04/01/2026	13-300-5102	1,300.00	.00	
LAUTERBACH & AMEN LLP	116752	MAR 2026 FINCL SRVC	04/01/2026	51-300-5102	5,400.00	.00	
LAUTERBACH & AMEN LLP	116752	MAR 2026 FINCL SRVC	04/01/2026	53-300-5102	8,000.00	.00	
Total LAUTERBACH & AMEN LLP:					26,800.00	.00	
Law Offices of John L. Fioti	MARCH 2026	MARCH 26 ADJUDICATION	03/29/2026	01-324-5122	750.00	.00	
Total Law Offices of John L. Fioti:					750.00	.00	
LINDA BECKMAN	Refund Vehicle	REFUND VEHICLE STICKERS	03/19/2026	01-120-3300	185.00	.00	
Total LINDA BECKMAN:					185.00	.00	
LIUBOV DANYLENKO	Refund Vehicle	REFUND VEHICLE STICKER	03/30/2026	01-120-3300	135.00	.00	
Total LIUBOV DANYLENKO:					135.00	.00	
MADISON NATIONAL LIFE	1761079	EMPLOYEE LIEF INS APR 26 - A	04/01/2026	01-320-4110	140.25	.00	
MADISON NATIONAL LIFE	1761079	EMPLOYEE LIEF INS APR 26 - B	04/01/2026	01-340-4110	16.50	.00	
MADISON NATIONAL LIFE	1761079	EMPLOYEE LIEF INS APR 26 - P	04/01/2026	01-350-4110	80.25	.00	

Vendor Name	Invoice Number	Description	Invoice Date	GL Account Number	Net Invoice Amt	Amount Paid	Date Paid
MADISON NATIONAL LIFE	1761079	EMPLOYEE LIEF INS APR 26 - P	04/01/2026	01-360-4110	321.75	.00	
MADISON NATIONAL LIFE	1761079	EMPLOYEE LIEF INS APR 26 - C	04/01/2026	01-310-4110	8.14	.00	
MADISON NATIONAL LIFE	1761079	EMPLOYEE LIEF INS APR 26 - S	04/01/2026	01-000-2030	199.70	.00	
Total MADISON NATIONAL LIFE:					766.59	.00	
MATTHEW CROST	Refund Senior	REFUND SENIOR DISC AMT	04/07/2026	01-120-3300	40.00	.00	
Total MATTHEW CROST:					40.00	.00	
MEADE ELECTRIC COMPANY I	715628	MILWAUKEE/PALATINE SIGNAL	04/01/2026	01-350-5031	1,285.56	.00	
MEADE ELECTRIC COMPANY I	716205	INSTALL LIGHT POLES	04/01/2026	01-350-7011	4,707.12	.00	
Total MEADE ELECTRIC COMPANY INC:					5,992.68	.00	
MENARDS	31310283	BACK HOE	04/06/2026	01-350-5020	6.99	.00	
MENARDS	8611	SHOP & VEHICLE SUPPLIES	04/07/2026	01-350-5020	6.99	.00	
Total MENARDS:					13.98	.00	
METROPOLITAN ALLIANCE OF	#252 03/2026	MAR 26 MAP 252	04/08/2026	01-000-2050	752.00	.00	
METROPOLITAN ALLIANCE OF	#253 03/2026	MAR 26 MAP 253	04/08/2026	01-000-2050	188.00	.00	
Total METROPOLITAN ALLIANCE OF POLICE:					940.00	.00	
METROPOLITAN INDUSTRIES I	INV082431	WATER DATA	03/23/2026	51-300-5100	258.00	.00	
Total METROPOLITAN INDUSTRIES INC:					258.00	.00	
METROPOLITAN MAYORS CAU	2025-205	2025-2026 CAUCUS DUES	02/15/2026	01-310-5310	722.61	.00	
Total METROPOLITAN MAYORS CAUCUS:					722.61	.00	
MICROSYSTEMS INC	20260164	OTSD PLATS AND DRAWING 20	04/01/2026	01-340-5100	1,951.29	.00	
Total MICROSYSTEMS INC:					1,951.29	.00	
Midwest Print & Imaging	54317	CITATION AND NOTICE FORMS	03/30/2026	01-360-5221	1,105.00	.00	
Midwest Print & Imaging	54318	PD COURT FOLDERS	03/30/2026	01-360-5221	718.73	.00	
Total Midwest Print & Imaging:					1,823.73	.00	
MOE FUNDS	4208889	MAY 26 GARCIA	05/01/2026	51-300-4100	1,099.00	.00	
MOE FUNDS	4208890	MAY 26 SIARA	05/01/2026	51-300-4100	1,099.00	.00	
MOE FUNDS	4208890	MAY 26 SIARA	05/01/2026	53-300-4100	1,099.00	.00	
MOE FUNDS	4208892	MAY 26 FAMILY	05/01/2026	01-350-4100	10,056.00	.00	
MOE FUNDS	4208892	MAY 26 FAMILY	05/01/2026	51-300-4100	1,676.00	.00	
MOE FUNDS	4208892	MAY 26 FAMILY	05/01/2026	53-300-4100	1,676.00	.00	
Total MOE FUNDS:					16,705.00	.00	
MORTON SALT INC.	5404172012	ROAD SALT 3/30/26	04/01/2026	01-350-5632	13,460.68	.00	
Total MORTON SALT INC.:					13,460.68	.00	
NAPA AUTO PARTS	437201	VEHICLE 692	04/01/2026	01-350-5020	278.10	.00	
NAPA AUTO PARTS	438782	VEHICLE MX STOCK	04/03/2026	01-350-5020	126.57	.00	

Vendor Name	Invoice Number	Description	Invoice Date	GL Account Number	Net Invoice Amt	Amount Paid	Date Paid
Total NAPA AUTO PARTS:					404.67	.00	
NATIONAL TESTING NETWORK	28386	POLICE TESTING SERVICE	03/30/2026	01-360-5100	500.00	.00	
Total NATIONAL TESTING NETWORK:					500.00	.00	
NICOR GAS	02.23.26-03.24	02.23.26-03.24.26 401 PIPER LN	03/24/2026	01-350-5410	697.73	.00	
NICOR GAS	02.23.26-03.24	02.23.26-03.24.26 14 E CAMP M	03/24/2026	01-360-5410	458.54	.00	
NICOR GAS	02.23.26-03.24	02.23.26-03.24.26 101 S WOLF R	03/24/2026	52-300-5410	187.05	.00	
NICOR GAS	03132026	NICOR CH	04/01/2026	01-320-5410	553.51	.00	
NICOR GAS	03242026	WELL HOUSE	04/01/2026	51-300-5410	285.53	.00	
Total NICOR GAS:					2,182.36	.00	
NORTH SUBURBAN EMPLOYEE	#03.2026D	PPO DENTAL ADMIN - MAR 26	04/01/2026	01-320-4100	25.00	.00	
NORTH SUBURBAN EMPLOYEE	#03.2026D	PPO DENTAL BUILD - MAR 26	04/01/2026	01-340-4100	13.00	.00	
NORTH SUBURBAN EMPLOYEE	#03.2026D	PPO DENTAL PW - MAR 26	04/01/2026	01-350-4100	13.00	.00	
NORTH SUBURBAN EMPLOYEE	#03.2026D	PPO DENTAL POLICE - MAR 26	04/01/2026	01-360-4100	37.00	.00	
NORTH SUBURBAN EMPLOYEE	#03.2026D	PPO DENTAL RETIREE - MAR 2	04/01/2026	01-370-4101	28.00	.00	
NORTH SUBURBAN EMPLOYEE	#03.2026D	PPO DENTAL COUNCIL - MAR 2	04/01/2026	01-310-4100	3.00	.00	
NORTH SUBURBAN EMPLOYEE	#03.2026D	PPO DENTAL WATER - MAR 26	04/01/2026	51-300-5410	3.00	.00	
Total NORTH SUBURBAN EMPLOYEE BENEFIT COOPERAT:					122.00	.00	
PACE ANALYTICAL SERVICES	267209161	WATER TESTING	04/01/2026	51-300-5100	1,400.00	.00	
Total PACE ANALYTICAL SERVICES:					1,400.00	.00	
PERSONNEL STRATEGIES LLC	GUYANT	PRE-EMPLOYMENT PSCY ASS	03/26/2026	01-360-5100	700.00	.00	
Total PERSONNEL STRATEGIES LLC:					700.00	.00	
RACHEL KRAMER	Refund Vehicle	REFUND VEHICLE STICKER	04/07/2026	01-120-3300	63.00	.00	
Total RACHEL KRAMER:					63.00	.00	
RAKAN AMMARI	AMMARI MAR	EXPENSE REIMBURSEMENT F	03/26/2026	01-360-5741	165.39	.00	
Total RAKAN AMMARI:					165.39	.00	
RAY O'HERRON CO INC	2466029-IN	BALLISTIC SHIELDS	04/02/2026	16-300-5710	3,218.00	.00	
Total RAY O'HERRON CO INC:					3,218.00	.00	
REDSPEED ILLINOIS	TICKET #1702	TICKET #1702600817100867	04/07/2026	01-140-3500	100.00	.00	
REDSPEED ILLINOIS	TICKET #1702	TICKET #1702600821332645	04/07/2026	01-140-3500	100.00	.00	
Total REDSPEED ILLINOIS:					200.00	.00	
ROY'S TREE SERVICE	03262026	204 LONSDALE TREE REMOVA	04/01/2026	01-350-5103	2,500.00	.00	
Total ROY'S TREE SERVICE:					2,500.00	.00	
SANDRA VAINISI	Refund Alarm	REFUND ALARM REGISTRATIO	04/01/2026	01-140-3525	40.00	.00	
Total SANDRA VAINISI:					40.00	.00	

Vendor Name	Invoice Number	Description	Invoice Date	GL Account Number	Net Invoice Amt	Amount Paid	Date Paid
SAQ CONSULTING INC	004	APRIL 2026 MONTHLY CONSUL	04/07/2026	01-320-5100	3,500.00	.00	
Total SAQ CONSULTING INC:					3,500.00	.00	
SCOT DECAL COMPANY INC	26700	2026 BUSINESS LICENSE DECA	04/06/2026	01-320-5221	1,160.00	.00	
Total SCOT DECAL COMPANY INC:					1,160.00	.00	
SCOTT DEGRAF	3-9-2026	SANITARY SEWER INSPEC FEB	03/17/2026	01-340-5100	980.00	.00	
Total SCOTT DEGRAF:					980.00	.00	
SEAN HEBER	04012026	ICE FOR WATER SAMPLES	04/01/2026	51-300-5050	14.28	.00	
Total SEAN HEBER:					14.28	.00	
SOLID WASTE AGENCY	8041	FY2026 O&M COSTS - MAR 202	02/01/2026	17-300-5420	32,933.33	.00	
SOLID WASTE AGENCY	8064	FY2026 O&M COSTS - APR 2026	03/01/2026	17-300-5420	33,185.80	.00	
SOLID WASTE AGENCY	8087	MAY 26 FY2027 O&M COSTS	05/01/2026	17-300-5420	35,480.00	.00	
Total SOLID WASTE AGENCY:					101,599.13	.00	
SPRINGFIELD CLINIC LLP	168452	ACADEMY CLINIC VISIT - DELG	03/26/2026	01-360-5100	341.00	.00	
Total SPRINGFIELD CLINIC LLP:					341.00	.00	
THOMPSON ELEVATOR INSPEC	26-0652	ELEVATOR INSP 1301 S WOLF	04/06/2026	01-340-5100	43.00	.00	
Total THOMPSON ELEVATOR INSPECT SVC INC:					43.00	.00	
T-MOBILE	02.21.26-03.20	02.21.26-03.20.26 CELLPHONE	03/31/2026	01-340-7020	81.48	.00	
T-MOBILE	02.21.26-03.20	02.21.26-03.20.26 CELLPHONE	03/31/2026	01-350-5410	274.98	.00	
T-MOBILE	02.21.26-03.20	02.21.26-03.20.26 CELLPHONE	03/31/2026	01-360-5410	687.45	.00	
T-MOBILE	02.21.26-03.20	02.21.26-03.20.26 CELLPHONE	03/31/2026	13-300-5410	45.83	.00	
T-MOBILE	02.21.26-03.20	02.21.26-03.20.26 CELLPHONE	03/31/2026	01-350-5410	64.02	.00	
Total T-MOBILE:					1,153.76	.00	
TRESSLER LLP	519785	SEP 25 GEN LITIGATION MATTE	10/27/2025	01-324-5122	397.50	.00	
TRESSLER LLP	520761	OCT 25 CITY ATTORNEY	11/07/2025	01-324-5120	24,566.00	.00	
TRESSLER LLP	520761	OCT 25 PROSECUTION	11/07/2025	01-324-5122	2,720.50	.00	
TRESSLER LLP	523147	NOV 25 CITY ATTORNEY	12/15/2025	01-324-5122	2,397.00	.00	
TRESSLER LLP	523147	NOV 25 PRSECUTION	12/15/2025	01-324-5120	20,683.00	.00	
Total TRESSLER LLP:					50,764.00	.00	
TRUGREEN PROCESSING CEN	221333190	LAWN SERVICE CH	04/07/2026	01-350-5650	54.60	.00	
Total TRUGREEN PROCESSING CENTER:					54.60	.00	
UNIFIRST CORPORATION	1320301339	PW UNIFORMS	03/23/2026	01-350-5104	209.23	.00	
UNIFIRST CORPORATION	1320303440	PW UNIFORMS	04/01/2026	01-350-5104	209.23	.00	
UNIFIRST CORPORATION	1320305379	PW UNIFORMS	04/06/2026	01-350-5104	211.26	.00	
Total UNIFIRST CORPORATION:					629.72	.00	
Wintrust-Cardmember Services	02.26-03.26.20	AMAZON	04/03/2026	01-310-7020	184.57	.00	
Wintrust-Cardmember Services	02.26-03.26.20	AMAZON	04/03/2026	01-360-5700	15.98	.00	

Vendor Name	Invoice Number	Description	Invoice Date	GL Account Number	Net Invoice Amt	Amount Paid	Date Paid
Wintrust-Cardmember Services	02.26-03.26.20	AMAZON	04/03/2026	01-360-5700	20.80	.00	
Wintrust-Cardmember Services	02.26-03.26.20	AMAZON	04/03/2026	01-360-5700	69.99	.00	
Wintrust-Cardmember Services	02.26-03.26.20	AMAZON	04/03/2026	01-360-5710	144.61	.00	
Wintrust-Cardmember Services	02.26-03.26.20	AMAZON	04/03/2026	01-360-7022	798.99	.00	
Wintrust-Cardmember Services	02.26-03.26.20	AMAZON	04/03/2026	01-360-5700	24.69	.00	
Wintrust-Cardmember Services	02.26-03.26.20	AMAZON	04/03/2026	01-360-5710	865.85	.00	
Wintrust-Cardmember Services	02.26-03.26.20	AMAZON	04/03/2026	01-360-5700	12.12	.00	
Wintrust-Cardmember Services	02.26-03.26.20	AMAZON	04/03/2026	01-360-5700	150.00	.00	
Wintrust-Cardmember Services	02.26-03.26.20	AMAZON	04/03/2026	01-360-5710	23.55	.00	
Wintrust-Cardmember Services	02.26-03.26.20	AMAZON	04/03/2026	01-350-5020	8.99	.00	
Wintrust-Cardmember Services	02.26-03.26.20	AMAZON	04/03/2026	01-350-5710	23.98	.00	
Wintrust-Cardmember Services	02.26-03.26.20	AMAZON	04/03/2026	01-350-5700	24.99	.00	
Wintrust-Cardmember Services	02.26-03.26.20	AMAZON	04/03/2026	01-350-7023	3.19	.00	
Wintrust-Cardmember Services	02.26-03.26.20	AMAZON	04/03/2026	01-350-7023	67.29	.00	
Wintrust-Cardmember Services	02.26-03.26.20	AMAZON	04/03/2026	01-350-7023	31.90	.00	
Wintrust-Cardmember Services	02.26-03.26.20	AMAZON	04/03/2026	01-350-5700	173.89	.00	
Wintrust-Cardmember Services	02.26-03.26.20	AMAZON	04/03/2026	01-350-7023	1,007.17	.00	
Wintrust-Cardmember Services	02.26-03.26.20	AMAZON	04/03/2026	01-350-5710	207.66	.00	
Wintrust-Cardmember Services	02.26-03.26.20	AMAZON	04/03/2026	01-350-7020	1,209.99	.00	
Wintrust-Cardmember Services	02.26-03.26.20	AMAZON	04/03/2026	01-350-5700	116.89	.00	
Wintrust-Cardmember Services	02.26-03.26.20	AMAZON	04/03/2026	01-350-5700	269.99	.00	
Wintrust-Cardmember Services	02.26-03.26.20	AMAZON	04/03/2026	01-350-5020	27.99	.00	
Wintrust-Cardmember Services	02.26-03.26.20	AMAZON	04/03/2026	01-350-5020	59.90	.00	
Wintrust-Cardmember Services	02.26-03.26.20	AMAZON	04/03/2026	01-350-5710	154.69	.00	
Wintrust-Cardmember Services	02.26-03.26.20	B2B PRIME	04/03/2026	01-360-5310	129.00	.00	
Wintrust-Cardmember Services	02.26-03.26.20	ANNA'S RED APPLE	04/03/2026	01-360-5100	41.47	.00	
Wintrust-Cardmember Services	02.26-03.26.20	APPLE	04/03/2026	01-350-7025	.99	.00	
Wintrust-Cardmember Services	02.26-03.26.20	APWA	04/03/2026	01-350-5310	844.00	.00	
Wintrust-Cardmember Services	02.26-03.26.20	APWA	04/03/2026	01-350-5721	21.00	.00	
Wintrust-Cardmember Services	02.26-03.26.20	AT&T	04/03/2026	01-360-5410	197.84	.00	
Wintrust-Cardmember Services	02.26-03.26.20	AT&T	04/03/2026	01-320-5410	648.93	.00	
Wintrust-Cardmember Services	02.26-03.26.20	AT&T	04/03/2026	01-350-5410	197.84	.00	
Wintrust-Cardmember Services	02.26-03.26.20	AT&T	04/03/2026	51-300-5410	611.49	.00	
Wintrust-Cardmember Services	02.26-03.26.20	IL AWWA	04/03/2026	51-300-5310	56.00	.00	
Wintrust-Cardmember Services	02.26-03.26.20	BEST BUY	04/03/2026	01-360-5710	240.85	.00	
Wintrust-Cardmember Services	02.26-03.26.20	BOB BARKER	04/03/2026	01-360-5140	474.92	.00	
Wintrust-Cardmember Services	02.26-03.26.20	BULB AMERICA	04/03/2026	01-360-5700	157.29	.00	
Wintrust-Cardmember Services	02.26-03.26.20	CHICK FIL A	04/03/2026	53-300-5330	13.06	.00	
Wintrust-Cardmember Services	02.26-03.26.20	COMCAST - 501 E CAMP MCDN	04/03/2026	51-300-5410	163.70	.00	
Wintrust-Cardmember Services	02.26-03.26.20	COMCAST - 101 N WOLF	04/03/2026	52-300-5410	203.65	.00	
Wintrust-Cardmember Services	02.26-03.26.20	COMCAST - PW DATA	04/03/2026	01-350-5410	263.65	.00	
Wintrust-Cardmember Services	02.26-03.26.20	COMCAST - 3 MO CHNG OVER	04/03/2026	01-320-5410	1,211.18	.00	
Wintrust-Cardmember Services	02.26-03.26.20	IPARK	04/03/2026	53-300-5330	96.00	.00	
Wintrust-Cardmember Services	02.26-03.26.20	DUNKIN	04/03/2026	01-350-5710	30.08	.00	
Wintrust-Cardmember Services	02.26-03.26.20	EMBASSY SUITES	04/03/2026	53-300-5330	535.86	.00	
Wintrust-Cardmember Services	02.26-03.26.20	EVIDENT	04/03/2026	01-360-7022	246.62	.00	
Wintrust-Cardmember Services	02.26-03.26.20	FIRE PENNY	04/03/2026	01-350-7023	229.15	.00	
Wintrust-Cardmember Services	02.26-03.26.20	HOME DEPOT	04/03/2026	01-360-5710	177.76	.00	
Wintrust-Cardmember Services	02.26-03.26.20	HOME DEPOT	04/03/2026	01-360-5710	266.64	.00	
Wintrust-Cardmember Services	02.26-03.26.20	IND CONVENTION CNTR	04/03/2026	53-300-5330	28.52	.00	
Wintrust-Cardmember Services	02.26-03.26.20	JEWEL OSCO	04/03/2026	01-320-5951	24.53	.00	
Wintrust-Cardmember Services	02.26-03.26.20	JEWEL OSCO	04/03/2026	01-360-5710	50.29	.00	
Wintrust-Cardmember Services	02.26-03.26.20	JEWEL OSCO	04/03/2026	01-360-5140	53.80	.00	
Wintrust-Cardmember Services	02.26-03.26.20	KILROY'S BAR & GRILL	04/03/2026	53-300-5330	15.25	.00	
Wintrust-Cardmember Services	02.26-03.26.20	LED LIGHTING SOLUTIONS	04/03/2026	13-300-5108	898.36	.00	
Wintrust-Cardmember Services	02.26-03.26.20	LEOFOTO USA	04/03/2026	01-360-5710	411.67	.00	
Wintrust-Cardmember Services	02.26-03.26.20	CONSTANT CONTACT	04/03/2026	01-320-5100	109.00	.00	
Wintrust-Cardmember Services	02.26-03.26.20	MOCIC	04/03/2026	01-360-5100	150.00	.00	

Vendor Name	Invoice Number	Description	Invoice Date	GL Account Number	Net Invoice Amt	Amount Paid	Date Paid
Wintrust-Cardmember Services	02.26-03.26.20	PAR DREAMS HOTEL	04/03/2026	16-300-5330	220.00	.00	
Wintrust-Cardmember Services	02.26-03.26.20	COMCAST PD	04/03/2026	01-360-5410	394.14	.00	
Wintrust-Cardmember Services	02.26-03.26.20	SIRCHIE	04/03/2026	01-360-7022	189.89	.00	
Wintrust-Cardmember Services	02.26-03.26.20	SUN BADGE COMPANY	04/03/2026	01-360-5710	421.25	.00	
Wintrust-Cardmember Services	02.26-03.26.20	THORNTONS	04/03/2026	01-360-5751	49.00	.00	
Wintrust-Cardmember Services	02.26-03.26.20	ULINE	04/03/2026	01-360-7022	379.43	.00	
Wintrust-Cardmember Services	02.26-03.26.20	SHELL OIL	04/03/2026	53-300-5330	49.29	.00	
Wintrust-Cardmember Services	02.26-03.26.20	ZOOM	04/03/2026	01-320-5100	219.90	.00	
Total Wintrust-Cardmember Services:					16,422.95	.00	
Grand Totals:					355,223.85	.00	

Dated: \_\_\_\_\_

Mayor: \_\_\_\_\_

City Council: \_\_\_\_\_

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City Recorder: \_\_\_\_\_

Report Criteria:

- Detail report.
- Invoices with totals above \$0.00 included.
- Only unpaid invoices included.

GL Account and Title	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid
<b>GENERAL FUND</b>							
01-000-2030 WITHHOLDING INSURAN	MADISON NATIONAL LIFE	1761079	EMPLOYEE LIEF INS APR 26 - S	04/01/2026	199.70	.00	
01-000-2050 UNION DUES	IUOE LOCAL 150 ADMIN	MAR 2026	MAR 26 LOCAL 150 ADMIN	04/08/2026	760.54	.00	
01-000-2050 UNION DUES	IUOE LOCAL 150 ADMIN	MAR 2026	MAR 26 LOCAL 150 MEMBER	04/08/2026	146.76	.00	
01-000-2050 UNION DUES	METROPOLITAN ALLIANCE OF	#252 03/2026	MAR 26 MAP 252	04/08/2026	752.00	.00	
01-000-2050 UNION DUES	METROPOLITAN ALLIANCE OF	#253 03/2026	MAR 26 MAP 253	04/08/2026	188.00	.00	
Total :					2,047.00	.00	
<b>LICENSES &amp; FEES</b>							
01-120-3300 VEHICLE STICKERS	BEATA ZAGORSKA	Refund Replac	REFUND REPLACEMENT STICK	04/03/2026	30.00	.00	
01-120-3300 VEHICLE STICKERS	CARY MAGES	04.02.26-VS	SENIOR STICKER REFUND	04/08/2026	60.00	.00	
01-120-3300 VEHICLE STICKERS	JOSEPHINE CAMPOBASSO	Refund Vehicle	REFUND VEHICLE STICKER	03/31/2026	75.00	.00	
01-120-3300 VEHICLE STICKERS	LINDA BECKMAN	Refund Vehicle	REFUND VEHICLE STICKERS	03/19/2026	185.00	.00	
01-120-3300 VEHICLE STICKERS	LIUBOV DANYLENKO	Refund Vehicle	REFUND VEHICLE STICKER	03/30/2026	135.00	.00	
01-120-3300 VEHICLE STICKERS	MATTHEW CROST	Refund Senior	REFUND SENIOR DISC AMT	04/07/2026	40.00	.00	
01-120-3300 VEHICLE STICKERS	RACHEL KRAMER	Refund Vehicle	REFUND VEHICLE STICKER	04/07/2026	63.00	.00	
Total LICENSES & FEES:					588.00	.00	
<b>PUBLIC SAFETY FINES &amp; FEES</b>							
01-140-3500 TRAFFIC FINES	REDSPEED ILLINOIS	TICKET #1702	TICKET #1702600817100867	04/07/2026	100.00	.00	
01-140-3500 TRAFFIC FINES	REDSPEED ILLINOIS	TICKET #1702	TICKET #1702600821332645	04/07/2026	100.00	.00	
01-140-3525 POLICE ALARM LICENSE	SANDRA VAINISI	Refund Alarm	REFUND ALARM REGISTRATIO	04/01/2026	40.00	.00	
Total PUBLIC SAFETY FINES & FEES:					240.00	.00	
<b>REIMBURSABLE INCOME</b>							
01-155-3730 INSURANCE REIMBURS	ILLINOIS PUBLIC RISK FUND	Refund of Lang	REIMB CHK 439623	04/07/2026	3,583.20	.00	
01-155-3730 INSURANCE REIMBURS	ILLINOIS PUBLIC RISK FUND	Refund of Lang	REIMB CHK 438166	04/07/2026	767.82	.00	
Total REIMBURSABLE INCOME:					4,351.02	.00	
<b>CITY COUNCIL &amp; BOARDS</b>							
01-310-4100 HEALTH INSURANCE	DELTA DENTAL OF ILLINOIS	2027239	PPO VISION - COUNCIL APR 26	04/01/2026	6.66	.00	
01-310-4100 HEALTH INSURANCE	NORTH SUBURBAN EMPLOYEE	#03.2026D	PPO DENTAL COUNCIL - MAR 2	04/01/2026	3.00	.00	
01-310-4110 LIFE INSURANCE COUN	MADISON NATIONAL LIFE	1761079	EMPLOYEE LIEF INS APR 26 - C	04/01/2026	8.14	.00	
01-310-5310 MEMBERSHIPS	METROPOLITAN MAYORS CAU	2025-205	2025-2026 CAUCUS DUES	02/15/2026	722.61	.00	
01-310-5650 LANDSCAPE SUPPLIES -	CARLIN SALES CORPORATION	3086653-00	NRC SUPPLIES	03/13/2026	1,076.56	.00	
01-310-7020 EQUIPMENT	Wintrust-Cardmember Services	02.26-03.26.20	AMAZON	04/03/2026	184.57	.00	

GL Account and Title	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid
Total CITY COUNCIL & BOARDS:					2,001.54	.00	
<b>ADMINISTRATION</b>							
01-320-4100 HEALTH INSURANCE	DELTA DENTAL OF ILLINOIS	2027239	PPO VISION - ADMIN APR 26	04/01/2026	21.21	.00	
01-320-4100 HEALTH INSURANCE	NORTH SUBURBAN EMPLOYEE	#03.2026D	PPO DENTAL ADMIN - MAR 26	04/01/2026	25.00	.00	
01-320-4110 LIFE INSURANCE	MADISON NATIONAL LIFE	1761079	EMPLOYEE LIEF INS APR 26 - A	04/01/2026	140.25	.00	
01-320-5100 PROFESSIONAL SERVIC	SAQ CONSULTING INC	004	APRIL 2026 MONTHLY CONSUL	04/07/2026	3,500.00	.00	
01-320-5100 PROFESSIONAL SERVIC	Wintrust-Cardmember Services	02.26-03.26.20	CONSTANT CONTACT	04/03/2026	109.00	.00	
01-320-5100 PROFESSIONAL SERVIC	Wintrust-Cardmember Services	02.26-03.26.20	ZOOM	04/03/2026	219.90	.00	
01-320-5130 COMPUTER CONSULTAN	DEKIND COMPUTER CONSULT	44800	DEKIND MAY 26	05/01/2026	729.30	.00	
01-320-5200 POSTAGE	FP FINANCE PROGRAM	41562209	APR 26 POSTAGE MACHINE	03/22/2026	185.95	.00	
01-320-5221 PRINTING	SCOT DECAL COMPANY INC	26700	2026 BUSINESS LICENSE DECA	04/06/2026	1,160.00	.00	
01-320-5410 UTILITIES	INNOVATIVE TELEPHONE & DA	1250471	APR 26 SERVICE	04/01/2026	521.18	.00	
01-320-5410 UTILITIES	NICOR GAS	03132026	NICOR CH	04/01/2026	553.51	.00	
01-320-5410 UTILITIES	Wintrust-Cardmember Services	02.26-03.26.20	AT&T	04/03/2026	648.93	.00	
01-320-5410 UTILITIES	Wintrust-Cardmember Services	02.26-03.26.20	COMCAST - 3 MO CHNG OVER	04/03/2026	1,211.18	.00	
01-320-5530 WORKERS COMPENSATI	ILLINOIS PUBLIC RISK FUND	100286	MAY 26 WC PREMIUMS	05/01/2026	235.34	.00	
01-320-5700 OFFICE SUPPLIES	ALLEGRA MARKETING	222927	REGULAR ENVELOPES	12/29/2025	257.00	.00	
01-320-5700 OFFICE SUPPLIES	ALLEGRA MARKETING	224642	WINDOW ENVELOPES	03/31/2026	321.00	.00	
01-320-5700 OFFICE SUPPLIES	ALLEGRA MARKETING	224644	BUSINESS CARDS - COALTER	03/31/2026	114.00	.00	
01-320-5951 EMPLOYEE RECOGNITI	Wintrust-Cardmember Services	02.26-03.26.20	JEWEL OSCO	04/03/2026	24.53	.00	
Total ADMINISTRATION:					9,977.28	.00	
<b>FINANCE</b>							
01-322-5102 FINANCIAL SERVICES	LAUTERBACH & AMEN LLP	116752	MAR 2026 FINCL SRVC	04/01/2026	12,100.00	.00	
Total FINANCE:					12,100.00	.00	
<b>LEGAL</b>							
01-324-5120 CITY ATTORNEY	TRESSLER LLP	520761	OCT 25 CITY ATTORNEY	11/07/2025	24,566.00	.00	
01-324-5120 CITY ATTORNEY	TRESSLER LLP	523147	NOV 25 PRSECUTION	12/15/2025	20,683.00	.00	
01-324-5122 CITY PROSECUTOR	Law Offices of John L. Fiotti	MARCH 2026	MARCH 26 ADJUDICATION	03/29/2026	750.00	.00	
01-324-5122 CITY PROSECUTOR	TRESSLER LLP	519785	SEP 25 GEN LITIGATION MATTE	10/27/2025	397.50	.00	
01-324-5122 CITY PROSECUTOR	TRESSLER LLP	520761	OCT 25 PROSECUTION	11/07/2025	2,720.50	.00	
01-324-5122 CITY PROSECUTOR	TRESSLER LLP	523147	NOV 25 CITY ATTORNEY	12/15/2025	2,397.00	.00	
01-324-5123 LABOR ATTORNEY	AKERMAN LLP	10155824	LABOR ATTORNEY - MAP GRIE	03/18/2026	2,997.49	.00	
Total LEGAL:					54,511.49	.00	

GL Account and Title	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid
<b>BUILDING DEPARTMENT</b>							
01-340-4100 HEALTH INSURANCE	DELTA DENTAL OF ILLINOIS	2027239	PPO VISION - BUILD APR 26	04/01/2026	11.76	.00	
01-340-4100 HEALTH INSURANCE	NORTH SUBURBAN EMPLOYEE	#03.2026D	PPO DENTAL BUILD - MAR 26	04/01/2026	13.00	.00	
01-340-4110 LIFE INSURANCE	MADISON NATIONAL LIFE	1761079	EMPLOYEE LIEF INS APR 26 - B	04/01/2026	16.50	.00	
01-340-5100 PROFESSIONAL SERVIC	B & F CONSTRUCTION CODE S	70877	PLBG PLAN REVIEW 412 W OLI	03/18/2026	160.00	.00	
01-340-5100 PROFESSIONAL SERVIC	B & F CONSTRUCTION CODE S	70880	PLBG PLAN REVIEW 10 E CAMP	03/18/2026	277.50	.00	
01-340-5100 PROFESSIONAL SERVIC	B & F CONSTRUCTION CODE S	71084	PLBG PLAN REVIEW 604 E CAM	04/06/2026	160.00	.00	
01-340-5100 PROFESSIONAL SERVIC	FOOD & ALCOHOL SERVICE TR	2026-06	MARCH 26 HEALTH INSPECTIO	04/01/2026	1,260.00	.00	
01-340-5100 PROFESSIONAL SERVIC	FOOD & ALCOHOL SERVICE TR	2026-4	FEB 26 HEALTH INSPECTIONS	04/01/2026	1,035.00	.00	
01-340-5100 PROFESSIONAL SERVIC	MICROSYSTEMS INC	20260164	OTSD PLATS AND DRAWING 20	04/01/2026	1,951.29	.00	
01-340-5100 PROFESSIONAL SERVIC	SCOTT DEGRAF	3-9-2026	SANITARY SEWER INSPEC FEB	03/17/2026	980.00	.00	
01-340-5100 PROFESSIONAL SERVIC	THOMPSON ELEVATOR INSPEC	26-0652	ELEVATOR INSP 1301 S WOLF	04/06/2026	43.00	.00	
01-340-5222 LEGAL NOTICES	DES PLAINES JOURNAL INC	196102	PZBA NOTICE 26-02	04/01/2026	151.65	.00	
01-340-5222 LEGAL NOTICES	DES PLAINES JOURNAL INC	196103	LEGAL NOTICE PZBA 26-04	04/01/2026	151.65	.00	
01-340-5530 WORKERS COMP INSUR	ILLINOIS PUBLIC RISK FUND	100286	MAY 26 WC PREMIUMS	05/01/2026	294.18	.00	
01-340-7020 EQUIPMENT	CANON FINANCIAL SERVICES	42972560	APR 26 BLDG COPIER	04/04/2026	198.97	.00	
01-340-7020 EQUIPMENT	DEKIND COMPUTER CONSULT	44908	MYZIA OFFICER - MONITORS	03/27/2026	402.97	.00	
01-340-7020 EQUIPMENT	T-MOBILE	02.21.26-03.20	02.21.26-03.20.26 CELLPHONE	03/31/2026	81.48	.00	
Total BUILDING DEPARTMENT:					7,188.95	.00	
<b>PUBLIC WORKS</b>							
01-350-4100 HEALTH INSURANCE	DELTA DENTAL OF ILLINOIS	2027239	PPO VISION - PW APR 26	04/01/2026	34.00	.00	
01-350-4100 HEALTH INSURANCE	MOE FUNDS	4208892	MAY 26 FAMILY	05/01/2026	10,056.00	.00	
01-350-4100 HEALTH INSURANCE	NORTH SUBURBAN EMPLOYEE	#03.2026D	PPO DENTAL PW - MAR 26	04/01/2026	13.00	.00	
01-350-4110 LIFE INSURANCE	MADISON NATIONAL LIFE	1761079	EMPLOYEE LIEF INS APR 26 - P	04/01/2026	80.25	.00	
01-350-5000 BUILDING MAINTENANC	EL-COR INDUSTRIES INC	285553	SHOP SUPPLIES	04/01/2026	230.11	.00	
01-350-5020 VEHICLE MAINTENANCE	ARLINGTON HEIGHTS FORD IN	175741H	VEHICLE 850	04/01/2026	32.89	.00	
01-350-5020 VEHICLE MAINTENANCE	ARLINGTON HEIGHTS FORD IN	175742H	VEHICLE 692	04/07/2026	1,205.60	.00	
01-350-5020 VEHICLE MAINTENANCE	ARLINGTON HEIGHTS FORD IN	175894H	VEHICLE 692	04/07/2026	833.00	.00	
01-350-5020 VEHICLE MAINTENANCE	ARLINGTON HEIGHTS FORD IN	217434	SQUAD 604	03/23/2026	287.75	.00	
01-350-5020 VEHICLE MAINTENANCE	CARDMEMBER SERVICE	01.22.26-02.19	IL TOLLWAY	03/31/2026	30.00	.00	
01-350-5020 VEHICLE MAINTENANCE	CPS ELK GROVE VILLAGE	40V0119373	VEHICLE 603	04/01/2026	316.86	.00	
01-350-5020 VEHICLE MAINTENANCE	CPS ELK GROVE VILLAGE	47V0002479	ALL VEHICLES STOCK BATTERI	04/03/2026	514.29	.00	
01-350-5020 VEHICLE MAINTENANCE	JUST TIRES MP INC.	0000129646	SQUAD 692	04/01/2026	140.00	.00	
01-350-5020 VEHICLE MAINTENANCE	MENARDS	31310283	BACK HOE	04/06/2026	6.99	.00	
01-350-5020 VEHICLE MAINTENANCE	MENARDS	8611	SHOP & VEHICLE SUPPLIES	04/07/2026	6.99	.00	
01-350-5020 VEHICLE MAINTENANCE	NAPA AUTO PARTS	437201	VEHICLE 692	04/01/2026	278.10	.00	
01-350-5020 VEHICLE MAINTENANCE	NAPA AUTO PARTS	438782	VEHICLE MX STOCK	04/03/2026	126.57	.00	
01-350-5020 VEHICLE MAINTENANCE	Wintrust-Cardmember Services	02.26-03.26.20	AMAZON	04/03/2026	8.99	.00	
01-350-5020 VEHICLE MAINTENANCE	Wintrust-Cardmember Services	02.26-03.26.20	AMAZON	04/03/2026	27.99	.00	

GL Account and Title	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid
01-350-5020 VEHICLE MAINTENANCE	Wintrust-Cardmember Services	02.26-03.26.20	AMAZON	04/03/2026	59.90	.00	
01-350-5031 SIGNAL MAINTENANCE	MEADE ELECTRIC COMPANY I	715628	MILWAUKEE/PALATINE SIGNAL	04/01/2026	1,285.56	.00	
01-350-5100 PROFESSIONAL SERVIC	DEKIND COMPUTER CONSULT	44800	DEKIND MAY 26	05/01/2026	729.30	.00	
01-350-5100 PROFESSIONAL SERVIC	DEKIND COMPUTER CONSULT	44985	PW NETWORK CABLES	04/03/2026	720.00	.00	
01-350-5103 PROF SERVICES - FORE	ROY'S TREE SERVICE	03262026	204 LONSDALE TREE REMOVA	04/01/2026	2,500.00	.00	
01-350-5104 PROF SERVICES - BUILD	CHI-TOWN CLEANING SERVICE	26-03-154	CUSTODIAL MARCH 2026	04/03/2026	1,220.90	.00	
01-350-5104 PROF SERVICES - BUILD	UNIFIRST CORPORATION	1320301339	PW UNIFORMS	03/23/2026	209.23	.00	
01-350-5104 PROF SERVICES - BUILD	UNIFIRST CORPORATION	1320303440	PW UNIFORMS	04/01/2026	209.23	.00	
01-350-5104 PROF SERVICES - BUILD	UNIFIRST CORPORATION	1320305379	PW UNIFORMS	04/06/2026	211.26	.00	
01-350-5310 MEMBERSHIPS	Wintrust-Cardmember Services	02.26-03.26.20	APWA	04/03/2026	844.00	.00	
01-350-5410 UTILITIES	COMED - ACCT #5306644000	02.13.26-03.16	02.13.26-03.16.26 1 S APPLE DR	03/17/2026	76.27	.00	
01-350-5410 UTILITIES	COMED - ACCT #6717033111	02.12.26-03.13	02.12.26-03.13.26 1221 FORRES	03/16/2026	76.23	.00	
01-350-5410 UTILITIES	ILLINOIS-AMERICAN WATER C	MAR 26 #5667	MAR 26 401 PIPER LN	04/01/2026	54.92	.00	
01-350-5410 UTILITIES	ILLINOIS-AMERICAN WATER C	MAR 26#55629	401 PIPER LN MAR 26	04/08/2026	244.96	.00	
01-350-5410 UTILITIES	INNOVATIVE TELEPHONE & DA	1250471	APR 26 SERVICE	04/01/2026	201.22	.00	
01-350-5410 UTILITIES	NICOR GAS	02.23.26-03.24	02.23.26-03.24.26 401 PIPER LN	03/24/2026	697.73	.00	
01-350-5410 UTILITIES	T-MOBILE	02.21.26-03.20	02.21.26-03.20.26 CELLPHONE	03/31/2026	274.98	.00	
01-350-5410 UTILITIES	T-MOBILE	02.21.26-03.20	02.21.26-03.20.26 CELLPHONE	03/31/2026	64.02	.00	
01-350-5410 UTILITIES	Wintrust-Cardmember Services	02.26-03.26.20	AT&T	04/03/2026	197.84	.00	
01-350-5410 UTILITIES	Wintrust-Cardmember Services	02.26-03.26.20	COMCAST - PW DATA	04/03/2026	263.65	.00	
01-350-5411 WATER AND ELECTRIC P	COMED #3615882000	01.17.26-03.18	01.17.26-02.17.26 0 COR EUCLI	03/19/2026	189.94	.00	
01-350-5411 WATER AND ELECTRIC P	COMED #3615882000	01.17.26-03.18	02.17.26-03.18.26 0 COR EUCLI	03/19/2026	227.34	.00	
01-350-5411 WATER AND ELECTRIC P	COMED #6912705000	01.24.26-03.18	01.24.26-02.16.26 US RT 45	03/19/2026	276.41	.00	
01-350-5411 WATER AND ELECTRIC P	COMED #6912705000	01.24.26-03.18	02.17.26-03.18.26 US RT45	03/19/2026	399.55	.00	
01-350-5411 WATER AND ELECTRIC P	CONSTELLATION NEWENERGY	72489262701	02.04.26-03.05.26 711 ELM ST	03/28/2026	299.92	.00	
01-350-5530 WORKERS COMP INSUR	ILLINOIS PUBLIC RISK FUND	100286	MAY 26 WC PREMIUMS	05/01/2026	1,412.03	.00	
01-350-5632 ICE CONTROL MAINTEN	MORTON SALT INC.	5404172012	ROAD SALT 3/30/26	04/01/2026	13,460.68	.00	
01-350-5634 STONE & CONCRETE	BUILDERS ASPHALT	184528	COLD PATCH	04/01/2026	131.35	.00	
01-350-5650 LANDSCAPE SUPPLIES	TRUGREEN PROCESSING CEN	221333190	LAWN SERVICE CH	04/07/2026	54.60	.00	
01-350-5700 OFFICE SUPPLIES	Wintrust-Cardmember Services	02.26-03.26.20	AMAZON	04/03/2026	24.99	.00	
01-350-5700 OFFICE SUPPLIES	Wintrust-Cardmember Services	02.26-03.26.20	AMAZON	04/03/2026	173.89	.00	
01-350-5700 OFFICE SUPPLIES	Wintrust-Cardmember Services	02.26-03.26.20	AMAZON	04/03/2026	116.89	.00	
01-350-5700 OFFICE SUPPLIES	Wintrust-Cardmember Services	02.26-03.26.20	AMAZON	04/03/2026	269.99	.00	
01-350-5710 OPERATING SUPPLIES	GW BERKHEIMER CO INC	8199494	GUN RANGE AIR FILTERS	03/24/2026	282.72	.00	
01-350-5710 OPERATING SUPPLIES	HOME DEPOT CREDIT SERVIC	03.27.26	PW PAINT	04/03/2026	36.93	.00	
01-350-5710 OPERATING SUPPLIES	HOME DEPOT CREDIT SERVIC	03.27.26	PW CEILING TILES	04/03/2026	59.88	.00	
01-350-5710 OPERATING SUPPLIES	HOME DEPOT CREDIT SERVIC	03.27.26	PD BATTERIES	04/03/2026	14.87	.00	
01-350-5710 OPERATING SUPPLIES	HOME DEPOT CREDIT SERVIC	03.27.26	BLDG SUPPLIES	04/03/2026	30.45	.00	
01-350-5710 OPERATING SUPPLIES	HOME DEPOT CREDIT SERVIC	03.27.26	PD ELECTRICAL	04/03/2026	44.26	.00	
01-350-5710 OPERATING SUPPLIES	HOME DEPOT CREDIT SERVIC	03.27.26	PD & PW SUPPLY	04/03/2026	41.20	.00	
01-350-5710 OPERATING SUPPLIES	HOME DEPOT CREDIT SERVIC	03.27.26	SHOP SUPPLIES	04/03/2026	283.97	.00	

GL Account and Title	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid
01-350-5710 OPERATING SUPPLIES	HOME DEPOT CREDIT SERVIC	03.27.26	PD KEY	04/03/2026	6.97	.00	
01-350-5710 OPERATING SUPPLIES	HOME DEPOT CREDIT SERVIC	03.27.26	PD CEILING TILES	04/03/2026	56.89	.00	
01-350-5710 OPERATING SUPPLIES	Wintrust-Cardmember Services	02.26-03.26.20	AMAZON	04/03/2026	23.98	.00	
01-350-5710 OPERATING SUPPLIES	Wintrust-Cardmember Services	02.26-03.26.20	AMAZON	04/03/2026	207.66	.00	
01-350-5710 OPERATING SUPPLIES	Wintrust-Cardmember Services	02.26-03.26.20	AMAZON	04/03/2026	154.69	.00	
01-350-5710 OPERATING SUPPLIES	Wintrust-Cardmember Services	02.26-03.26.20	DUNKIN	04/03/2026	30.08	.00	
01-350-5721 SIGNS	HIGHSTAR TRAFFIC	19591	ROAD SIGNS	04/02/2026	620.10	.00	
01-350-5721 SIGNS	HIGHSTAR TRAFFIC	50707	MESSAGE BOARD	04/02/2026	1,040.00	.00	
01-350-5721 SIGNS	HIGHSTAR TRAFFIC	50708	MESSAGE BOARD 2	04/02/2026	1,040.00	.00	
01-350-5721 SIGNS	Wintrust-Cardmember Services	02.26-03.26.20	APWA	04/03/2026	21.00	.00	
01-350-5751 GASOLINE	CONSERV FS INC.	101035351	FUEL 3/25/26	04/01/2026	4,233.41	.00	
01-350-7011 IMPROVEMENTS - PW	MEADE ELECTRIC COMPANY I	716205	INSTALL LIGHT POLES	04/01/2026	4,707.12	.00	
01-350-7020 EQUIPMENT	Wintrust-Cardmember Services	02.26-03.26.20	AMAZON	04/03/2026	1,209.99	.00	
01-350-7023 SAFETY EQUIPMENT	Wintrust-Cardmember Services	02.26-03.26.20	AMAZON	04/03/2026	3.19	.00	
01-350-7023 SAFETY EQUIPMENT	Wintrust-Cardmember Services	02.26-03.26.20	AMAZON	04/03/2026	67.29	.00	
01-350-7023 SAFETY EQUIPMENT	Wintrust-Cardmember Services	02.26-03.26.20	AMAZON	04/03/2026	31.90	.00	
01-350-7023 SAFETY EQUIPMENT	Wintrust-Cardmember Services	02.26-03.26.20	AMAZON	04/03/2026	1,007.17	.00	
01-350-7023 SAFETY EQUIPMENT	Wintrust-Cardmember Services	02.26-03.26.20	FIRE PENNY	04/03/2026	229.15	.00	
01-350-7025 SOFTWARE	Wintrust-Cardmember Services	02.26-03.26.20	APPLE	04/03/2026	.99	.00	
Total PUBLIC WORKS:					56,894.02	.00	
<b>PUBLIC SAFETY</b>							
01-360-4100 HEALTH INSURANCE	BLUECROSS BLUESHIEDL OF I	APR 26	APR 26 HMO/MEDICAL	04/01/2026	5,769.11	.00	
01-360-4100 HEALTH INSURANCE	DELTA DENTAL INSURANCE CO	BE006996720	APR 26 - HMO DENTAL	04/01/2026	106.60	.00	
01-360-4100 HEALTH INSURANCE	DELTA DENTAL OF ILLINOIS	2027239	PPO VISION - POLICE APR 26	04/01/2026	26.93	.00	
01-360-4100 HEALTH INSURANCE	DELTA DENTAL OF ILLINOIS	2027254	HMO VISION APR 26	04/01/2026	40.99	.00	
01-360-4100 HEALTH INSURANCE	NORTH SUBURBAN EMPLOYEE	#03.2026D	PPO DENTAL POLICE - MAR 26	04/01/2026	37.00	.00	
01-360-4110 LIFE INSURANCE	MADISON NATIONAL LIFE	1761079	EMPLOYEE LIEF INS APR 26 - P	04/01/2026	321.75	.00	
01-360-4120 UNEMPLOYMENT INSUR	ILLINOIS DEPARTMENT OF EM	CNxxx1563216	UNEMPLOYMENT INSURANCE	04/08/2026	4,310.19	.00	
01-360-5100 PROFESSIONAL SERVIC	CONRAD POLYGRAPH INC.	7017	POLYGRAPH - THIBEAULT	04/02/2026	225.00	.00	
01-360-5100 PROFESSIONAL SERVIC	DEKIND COMPUTER CONSULT	44800	DEKIND MAY 26	05/01/2026	1,701.68	.00	
01-360-5100 PROFESSIONAL SERVIC	ENDEAVOR OMEGA	203137328-03	PRE-EMPLOYMENT MEDICAL T	04/02/2026	859.00	.00	
01-360-5100 PROFESSIONAL SERVIC	NATIONAL TESTING NETWORK	28386	POLICE TESTING SERVICE	03/30/2026	500.00	.00	
01-360-5100 PROFESSIONAL SERVIC	PERSONNEL STRATEGIES LLC	GUYANT	PRE-EMPLOYMENT PSCY ASS	03/26/2026	700.00	.00	
01-360-5100 PROFESSIONAL SERVIC	SPRINGFIELD CLINIC LLP	168452	ACADEMY CLINIC VISIT - DELG	03/26/2026	341.00	.00	
01-360-5100 PROFESSIONAL SERVIC	Wintrust-Cardmember Services	02.26-03.26.20	ANNA'S RED APPLE	04/03/2026	41.47	.00	
01-360-5100 PROFESSIONAL SERVIC	Wintrust-Cardmember Services	02.26-03.26.20	MOCIC	04/03/2026	150.00	.00	
01-360-5140 PRISONERS CARE	Wintrust-Cardmember Services	02.26-03.26.20	BOB BARKER	04/03/2026	474.92	.00	
01-360-5140 PRISONERS CARE	Wintrust-Cardmember Services	02.26-03.26.20	JEWEL OSCO	04/03/2026	53.80	.00	
01-360-5220 PHOTOCOPY	Image Systems & Business Soluti	438601	COLOR PRINTING	03/20/2026	133.51	.00	

GL Account and Title	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid
01-360-5221 PRINTING	Midwest Print & Imaging	54317	CITATION AND NOTICE FORMS	03/30/2026	1,105.00	.00	
01-360-5221 PRINTING	Midwest Print & Imaging	54318	PD COURT FOLDERS	03/30/2026	718.73	.00	
01-360-5310 MEMBERSHIPS	Wintrust-Cardmember Services	02.26-03.26.20	B2B PRIME	04/03/2026	129.00	.00	
01-360-5410 UTILITIES	INNOVATIVE TELEPHONE & DA	10613	PD PHONE RECONNECT	01/11/2026	189.00	.00	
01-360-5410 UTILITIES	INNOVATIVE TELEPHONE & DA	1250471	APR 26 SERVICE	04/01/2026	624.82	.00	
01-360-5410 UTILITIES	NICOR GAS	02.23.26-03.24	02.23.26-03.24.26 14 E CAMP M	03/24/2026	458.54	.00	
01-360-5410 UTILITIES	T-MOBILE	02.21.26-03.20	02.21.26-03.20.26 CELLPHONE	03/31/2026	687.45	.00	
01-360-5410 UTILITIES	Wintrust-Cardmember Services	02.26-03.26.20	AT&T	04/03/2026	197.84	.00	
01-360-5410 UTILITIES	Wintrust-Cardmember Services	02.26-03.26.20	COMCAST PD	04/03/2026	394.14	.00	
01-360-5530 WORKERS COMP INSUR	ILLINOIS PUBLIC RISK FUND	100286	MAY 26 WC PREMIUMS	05/01/2026	9,413.60	.00	
01-360-5700 OFFICE SUPPLIES	Wintrust-Cardmember Services	02.26-03.26.20	AMAZON	04/03/2026	15.98	.00	
01-360-5700 OFFICE SUPPLIES	Wintrust-Cardmember Services	02.26-03.26.20	AMAZON	04/03/2026	20.80	.00	
01-360-5700 OFFICE SUPPLIES	Wintrust-Cardmember Services	02.26-03.26.20	AMAZON	04/03/2026	69.99	.00	
01-360-5700 OFFICE SUPPLIES	Wintrust-Cardmember Services	02.26-03.26.20	AMAZON	04/03/2026	24.69	.00	
01-360-5700 OFFICE SUPPLIES	Wintrust-Cardmember Services	02.26-03.26.20	AMAZON	04/03/2026	12.12	.00	
01-360-5700 OFFICE SUPPLIES	Wintrust-Cardmember Services	02.26-03.26.20	AMAZON	04/03/2026	150.00	.00	
01-360-5700 OFFICE SUPPLIES	Wintrust-Cardmember Services	02.26-03.26.20	BULB AMERICA	04/03/2026	157.29	.00	
01-360-5710 OPERATING SUPPLIES	Wintrust-Cardmember Services	02.26-03.26.20	AMAZON	04/03/2026	144.61	.00	
01-360-5710 OPERATING SUPPLIES	Wintrust-Cardmember Services	02.26-03.26.20	AMAZON	04/03/2026	865.85	.00	
01-360-5710 OPERATING SUPPLIES	Wintrust-Cardmember Services	02.26-03.26.20	AMAZON	04/03/2026	23.55	.00	
01-360-5710 OPERATING SUPPLIES	Wintrust-Cardmember Services	02.26-03.26.20	BEST BUY	04/03/2026	240.85	.00	
01-360-5710 OPERATING SUPPLIES	Wintrust-Cardmember Services	02.26-03.26.20	HOME DEPOT	04/03/2026	177.76	.00	
01-360-5710 OPERATING SUPPLIES	Wintrust-Cardmember Services	02.26-03.26.20	HOME DEPOT	04/03/2026	266.64	.00	
01-360-5710 OPERATING SUPPLIES	Wintrust-Cardmember Services	02.26-03.26.20	JEWEL OSCO	04/03/2026	50.29	.00	
01-360-5710 OPERATING SUPPLIES	Wintrust-Cardmember Services	02.26-03.26.20	LEOFOTO USA	04/03/2026	411.67	.00	
01-360-5710 OPERATING SUPPLIES	Wintrust-Cardmember Services	02.26-03.26.20	SUN BADGE COMPANY	04/03/2026	421.25	.00	
01-360-5741 CLOTHING	EAGLE UNIFORM CO.	48335-3	UNIFORMS - VASQUEZ	03/20/2026	43.00	.00	
01-360-5741 CLOTHING	EAGLE UNIFORM CO.	48356-3	UNIFORMS - NEW OFFICER ISS	03/20/2026	79.00	.00	
01-360-5741 CLOTHING	EAGLE UNIFORM CO.	48442-3	UNIFORMS-MENDEZ	03/20/2026	8.00	.00	
01-360-5741 CLOTHING	EAGLE UNIFORM CO.	48772-3	UNIFORMS - DERMAN	03/26/2026	15.00	.00	
01-360-5741 CLOTHING	EAGLE UNIFORM CO.	48775-3	UNIFORMS - NEW OFFICER ISS	03/26/2026	364.00	.00	
01-360-5741 CLOTHING	EAGLE UNIFORM CO.	49168-3	UNIFORMS - COLLINS	03/31/2026	484.00	.00	
01-360-5741 CLOTHING	EAGLE UNIFORM CO.	49173-3	UNIFORMS - NEW OFFICER ISS	03/31/2026	144.00	.00	
01-360-5741 CLOTHING	EAGLE UNIFORM CO.	49276-3	UNIFORMS - MENDEZ	04/02/2026	11.00	.00	
01-360-5741 CLOTHING	RAKAN AMMARI	AMMARI MAR	EXPENSE REIMBURSEMENT F	03/26/2026	165.39	.00	
01-360-5751 GASOLINE	Wintrust-Cardmember Services	02.26-03.26.20	THORNTONS	04/03/2026	49.00	.00	
01-360-7022 POLICE - SMALL EQUIPM	Wintrust-Cardmember Services	02.26-03.26.20	AMAZON	04/03/2026	798.99	.00	
01-360-7022 POLICE - SMALL EQUIPM	Wintrust-Cardmember Services	02.26-03.26.20	EVIDENT	04/03/2026	246.62	.00	
01-360-7022 POLICE - SMALL EQUIPM	Wintrust-Cardmember Services	02.26-03.26.20	SIRCHIE	04/03/2026	189.89	.00	
01-360-7022 POLICE - SMALL EQUIPM	Wintrust-Cardmember Services	02.26-03.26.20	ULINE	04/03/2026	379.43	.00	

GL Account and Title	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid
Total PUBLIC SAFETY:					35,741.73	.00	
<b>REIMBURSABLE EXP</b>							
01-370-4101 RETIREE HEALTH INSUR	DELTA DENTAL OF ILLINOIS	2027239	PPO VISION - RETIREE APR 26	04/01/2026	45.63	.00	
01-370-4101 RETIREE HEALTH INSUR	DELTA DENTAL OF ILLINOIS	2027254	HMO VISION APR 26	04/01/2026	12.99	.00	
01-370-4101 RETIREE HEALTH INSUR	NORTH SUBURBAN EMPLOYEE	#03.2026D	PPO DENTAL RETIREE - MAR 2	04/01/2026	28.00	.00	
Total REIMBURSABLE EXP:					86.62	.00	
Total GENERAL FUND:					185,727.65	.00	

GL Account and Title	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid
<b>TOURISM DISTRICT EXPENSES</b>							
13-300-5102 FINANCIAL SERVICES	LAUTERBACH & AMEN LLP	116752	MAR 2026 FINCL SRVC	04/01/2026	1,300.00	.00	
13-300-5108 BEAUTIFICATION	LANDSCAPE CONCEPTS MANA	72215	APRIL LANDSCAPE MAINTENA	04/02/2026	1,567.00	.00	
13-300-5108 BEAUTIFICATION	Wintrust-Cardmember Services	02.26-03.26.20	LED LIGHTING SOLUTIONS	04/03/2026	898.36	.00	
13-300-5410 UTILITIES	COMED-ACCT#2563032000	02.13.26-03.16	02.13.26-03.16.26 604 N MIWAU	03/17/2026	50.61	.00	
13-300-5410 UTILITIES	COMED-ACCT#9272525000	02.13.26-03.16	02.13.26-03.16.26 1250 S RIVER	03/17/2026	45.11	.00	
13-300-5410 UTILITIES	ILLINOIS-AMERICAN WATER C	MAR 25 #6353	1250 S RVR MAR 26	04/08/2026	106.24	.00	
13-300-5410 UTILITIES	ILLINOIS-AMERICAN WATER C	MAR 26-#6353	700 MIWLK MAR 26	04/08/2026	106.24	.00	
13-300-5410 UTILITIES	T-MOBILE	02.21.26-03.20	02.21.26-03.20.26 CELLPHONE	03/31/2026	45.83	.00	
Total EXPENSES:					4,119.39	.00	
Total TOURISM DISTRICT:					4,119.39	.00	

GL Account and Title	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid
<b>DEA SEIZURE FUND</b>							
<b>EXPENSES</b>							
16-300-5330 TRAINING	Wintrust-Cardmember Services	02.26-03.26.20	PAR DREAMS HOTEL	04/03/2026	220.00	.00	
16-300-5710 OPERATING SUPPLIES	RAY O'HERRON CO INC	2466029-IN	BALLISTIC SHIELDS	04/02/2026	3,218.00	.00	
Total EXPENSES:					3,438.00	.00	
Total DEA SEIZURE FUND:					3,438.00	.00	

GL Account and Title	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid
<b>SOLID WASTE DISPOSAL FUND EXPENSES</b>							
17-300-5420 SWANCC CHARGES	SOLID WASTE AGENCY	8041	FY2026 O&M COSTS - MAR 202	02/01/2026	32,933.33	.00	
17-300-5420 SWANCC CHARGES	SOLID WASTE AGENCY	8064	FY2026 O&M COSTS - APR 2026	03/01/2026	33,185.80	.00	
17-300-5420 SWANCC CHARGES	SOLID WASTE AGENCY	8087	MAY 26 FY2027 O&M COSTS	05/01/2026	35,480.00	.00	
Total EXPENSES:					101,599.13	.00	
Total SOLID WASTE DISPOSAL FUND:					101,599.13	.00	

GL Account and Title	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid
<b>SSA #5</b>							
<b>EXPENSES</b>							
25-300-5050 SYSTEM MAINTENANCE	COMED - ACCT #1165283000	02.13.26-03.16	02.13.26-03.16.26 PIPER/WIMBL	03/17/2026	137.55	.00	
25-300-5050 SYSTEM MAINTENANCE	COMED #6059851222	02.13.26-03.16	02.13.26-03.16.26 900 E OLD WI	03/17/2026	35.00	.00	
Total EXPENSES:					<u>172.55</u>	<u>.00</u>	
Total SSA #5:					<u>172.55</u>	<u>.00</u>	

GL Account and Title	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid
<b>SSA #8</b>							
<b>EXPENSES</b>							
28-300-7020 EQUIPMENT	COMED-ACCT #271664222	03172026	LEVEE 37	03/24/2026	98.06	.00	
Total EXPENSES:					98.06	.00	
Total SSA #8:					98.06	.00	

GL Account and Title	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid
<b>WATER FUND EXPENSES</b>							
51-300-4100 HEALTH INSURANCE	MOE FUNDS	4208889	MAY 26 GARCIA	05/01/2026	1,099.00	.00	
51-300-4100 HEALTH INSURANCE	MOE FUNDS	4208890	MAY 26 SIARA	05/01/2026	1,099.00	.00	
51-300-4100 HEALTH INSURANCE	MOE FUNDS	4208892	MAY 26 FAMILY	05/01/2026	1,676.00	.00	
51-300-5050 SYSTEM MAINTENANCE	SEAN HEBER	04012026	ICE FOR WATER SAMPLES	04/01/2026	14.28	.00	
51-300-5100 PROFESSIONAL SERVIC	DEKIND COMPUTER CONSULT	44800	DEKIND MAY 26	05/01/2026	729.30	.00	
51-300-5100 PROFESSIONAL SERVIC	METROPOLITAN INDUSTRIES I	INV082431	WATER DATA	03/23/2026	258.00	.00	
51-300-5100 PROFESSIONAL SERVIC	PACE ANALYTICAL SERVICES	267209161	WATER TESTING	04/01/2026	1,400.00	.00	
51-300-5102 FINANCIAL SERVICES	LAUTERBACH & AMEN LLP	116752	MAR 2026 FINCL SRVC	04/01/2026	5,400.00	.00	
51-300-5310 MEMBERSHIPS	Wintrust-Cardmember Services	02.26-03.26.20	IL AWWA	04/03/2026	56.00	.00	
51-300-5410 UTILITIES	COMED-ACCT#0519321222	02.13.26-03.16	02.13.26-03.16.26 218 FAIRWAY	03/16/2026	12.65	.00	
51-300-5410 UTILITIES	NICOR GAS	03242026	WELL HOUSE	04/01/2026	285.53	.00	
51-300-5410 UTILITIES	NORTH SUBURBAN EMPLOYEE	#03.2026D	PPO DENTAL WATER - MAR 26	04/01/2026	3.00	.00	
51-300-5410 UTILITIES	Wintrust-Cardmember Services	02.26-03.26.20	AT&T	04/03/2026	611.49	.00	
51-300-5410 UTILITIES	Wintrust-Cardmember Services	02.26-03.26.20	COMCAST - 501 E CAMP MCDN	04/03/2026	163.70	.00	
51-300-5412 WATER	ILLINOIS-AMERICAN WATER C	Mar 26 #1674	MAR 26 1217 E CAMP MCDONA	04/01/2026	31,299.27	.00	
51-300-5412 WATER	INNOVATIVE TELEPHONE & DA	1250471	APR 26 SERVICE	04/01/2026	22.36	.00	
51-300-5530 WORKERS COMPENSATI	ILLINOIS PUBLIC RISK FUND	100286	MAY 26 WC PREMIUMS	05/01/2026	294.18	.00	
51-300-5634 STONE AND CONCRETE	DES PLAINES MATERIAL & SUP	53892	WATER MAIN SUPPLIES & MAT	04/06/2026	498.60	.00	
51-300-5634 STONE AND CONCRETE	DES PLAINES MATERIAL & SUP	54305	WATER MAIN DUMP	04/07/2026	891.26	.00	
51-300-5634 STONE AND CONCRETE	DES PLAINES MATERIAL & SUP	54336	WATER MAIN SUPPLIES & MAT	04/07/2026	883.24	.00	
Total EXPENSES:					46,696.86	.00	
Total WATER FUND:					46,696.86	.00	

GL Account and Title	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid
<b>PARKING FUND</b>							
<b>EXPENSES</b>							
52-300-5410 UTILITIES	COMED - ACCT #4546302111	02.13.26-03.16	02.13.26-03.16.26 101 S WOLF R	03/17/2026	232.91	.00	
52-300-5410 UTILITIES	COMED - ACCT #5019434111	02.13.26-03.16	02.13.26-03.16.26 WOLF/EUCLID	03/17/2026	145.55	.00	
52-300-5410 UTILITIES	NICOR GAS	02.23.26-03.24	02.23.26-03.24.26 101 S WOLF R	03/24/2026	187.05	.00	
52-300-5410 UTILITIES	Wintrust-Cardmember Services	02.26-03.26.20	COMCAST - 101 N WOLF	04/03/2026	203.65	.00	
Total EXPENSES:					769.16	.00	
Total PARKING FUND:					769.16	.00	

GL Account and Title	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid
<b>SANITARY SEWER FUND EXPENSES</b>							
53-300-4100 HEALTH INSURANCE	MOE FUNDS	4208890	MAY 26 SIARA	05/01/2026	1,099.00	.00	
53-300-4100 HEALTH INSURANCE	MOE FUNDS	4208892	MAY 26 FAMILY	05/01/2026	1,676.00	.00	
53-300-5100 PROFESSIONAL SERVIC	DEKIND COMPUTER CONSULT	44800	DEKIND MAY 26	05/01/2026	972.40	.00	
53-300-5102 FINANCIAL SERVICES	LAUTERBACH & AMEN LLP	116752	MAR 2026 FINCL SRVC	04/01/2026	8,000.00	.00	
53-300-5330 TRAINING	Wintrust-Cardmember Services	02.26-03.26.20	CHICK FIL A	04/03/2026	13.06	.00	
53-300-5330 TRAINING	Wintrust-Cardmember Services	02.26-03.26.20	IPARK	04/03/2026	96.00	.00	
53-300-5330 TRAINING	Wintrust-Cardmember Services	02.26-03.26.20	EMBASSY SUITES	04/03/2026	535.86	.00	
53-300-5330 TRAINING	Wintrust-Cardmember Services	02.26-03.26.20	IND CONVENTION CNTR	04/03/2026	28.52	.00	
53-300-5330 TRAINING	Wintrust-Cardmember Services	02.26-03.26.20	KILROY'S BAR & GRILL	04/03/2026	15.25	.00	
53-300-5330 TRAINING	Wintrust-Cardmember Services	02.26-03.26.20	SHELL OIL	04/03/2026	49.29	.00	
53-300-5530 WORKER'S COMP INSUR	ILLINOIS PUBLIC RISK FUND	100286	MAY 26 WC PREMIUMS	05/01/2026	117.67	.00	
Total EXPENSES:					12,603.05	.00	
Total SANITARY SEWER FUND:					12,603.05	.00	
Grand Totals:					355,223.85	.00	

GL Account and Title	Net Invoice Amount	Amount Paid	Date Paid
<b>GENERAL FUND</b>			
Total GENERAL FUND:	185,727.65	.00	
<b>TOURISM DISTRICT</b>			
Total TOURISM DISTRICT:	4,119.39	.00	
<b>DEA SEIZURE FUND</b>			
Total DEA SEIZURE FUND:	3,438.00	.00	
<b>SOLID WASTE DISPOSAL FUND</b>			
Total SOLID WASTE DISPOSAL FUND:	101,599.13	.00	
<b>SSA #5</b>			
Total SSA #5:	172.55	.00	
<b>SSA #8</b>			
Total SSA #8:	98.06	.00	
<b>WATER FUND</b>			
Total WATER FUND:	46,696.86	.00	
<b>PARKING FUND</b>			
Total PARKING FUND:	769.16	.00	
<b>SANITARY SEWER FUND</b>			
Total SANITARY SEWER FUND:	12,603.05	.00	
Grand Totals:	355,223.85	.00	