



**City of Prospect Heights
CITY COUNCIL REGULAR MEETING**

Monday, May 12, 2025 at 6:30 PM

**Prospect Heights City Hall
8 North Elmhurst Road**

IN ACCORDANCE WITH THE APPLICABLE STATUTES OF THE STATE OF ILLINOIS AND ORDINANCES OF THE CITY OF PROSPECT HEIGHTS, NOTICE IS HEREBY GIVEN THAT:

The City Council Meeting of the Mayor and City Council of the City of Prospect Heights will be held on MONDAY, MAY 12, 2025 AT 6:30 PM.

In Person in the Council Chambers, Prospect Heights City Hall, 8 North Elmhurst Road, Prospect Heights, Illinois, Mayor Patrick Ludvigsen presiding.

This meeting will be broadcast live on cable channels: COMCAST CHANNEL 17, ASTOUND CHANNEL 1176 and AT&T U-VERSE CHANNEL 99. It will also be recorded and rebroadcast on COMCAST CHANNEL 17, ASTOUND CHANNEL 1176 and AT&T U-VERSE CHANNEL 99.

Attendees who wish to speak on Agenda or non-agenda items will be provided an opportunity during the meeting. There is a FIVE-MINUTE TIME LIMIT for speakers.

- 1. CALL TO ORDER AND ROLL CALL**
- 2. PLEDGE OF ALLEGIANCE**
- 3. APPROVAL OF MINUTES**
 - A. April 28, 2025 City Council Regular Meeting Minutes**
Action Requested: (Motion, Second, Roll Call Vote)
 - B. April 28, 2025 City Council Budget Hearing Minutes**
Action Requested: (Motion, Second, Roll Call Vote)
- 4. INDUCTION OF RECENTLY ELECTED OFFICIALS**
 - A. City Council Member Ward 2, Terry Anderson 2-Year Term**
- 5. APPOINTMENTS, CONFIRMATIONS, AND PROCLAMATIONS**
- 6. PUBLIC COMMENTS ON AGENDA MATTERS (FIVE MINUTES TIME LIMIT)**
(Citizens are asked to identify the agenda item they would like to address and will be provided the opportunity to speak to the issue after its presentation and before City Council action)
- 7. CONSENT AGENDA**

This meeting will be recorded and made available on your local Cable Channel, Prospect Heights Television, and our PHTV YouTube Channel via a link on the City website.

(All items listed on the Consent Agenda are considered routine by the City Council and will be enacted by one motion. There will be no separate discussion of these items unless a City Council Member so requests, in which event the item will be removed from the general order of business and considered as a separate Agenda item.)

Action Requested: (Motion, Second, Voice Vote)

- A.** City of Prospect Heights Proclamation Honoring Youngchoon Kim (Mr. Kim) of the Dog Walk
- B.** City of Prospect Heights Proclamation Honoring Public Works Week May 18-24, 2025
- C.** **R-25-34** Staff Memo and Resolution Authorizing and Approving the execution of a Memorandum of Understanding (MOU) Concerning Police Enforcement Between the Prospect Heights Police Department and College District 512 - Harper College

8. OLD BUSINESS

9. NEW BUSINESS

- A.** **R-25-32** Staff Memo and Resolution Approving Land Use and Parking Agreement with the Prospect Heights Fire Protection District
Action Requested: (Motion, Second, Roll Call Vote)
- B.** ***Waiver of 1st Reading*** **O-25-10** Staff Memo and Ordinance Granting Special Use and Certain Variations for the Reconstruction and Expansion of the Prospect Heights Fire District Fire Station at 10 E. Camp McDonald Road **(1st Reading)**
Action Requested: (Motion, Second, Roll Call Vote)
- C.** **O-25-10** Staff Memo and Ordinance Granting Special Use and Certain Variations for the Reconstruction and Expansion of the Prospect Heights Fire District Fire Station at 10 E. Camp McDonald Road **(2nd Reading)**
Action Requested: (Motion, Second, Roll Call Vote)
- D.** ***Waiver of 1st Reading*** **O-25-11** Staff Memo and Ordinance Approving a Special Use Permit for an Automobile Rental Facility, Gitibin & Associates, LLC dba as “Go Rentals” at 750 Pinecrest Road **(1st Reading)**
Action Requested: (Motion, Second, Roll Call Vote)
- E.** **O-25-11** Staff Memo and Ordinance Approving a Special Use Permit for an Automobile Rental Facility, Gitibin & Associates, LLC dba as “Go Rentals” at 750 Pinecrest Road **(2nd Reading)**
Action Requested: (Motion, Second, Roll Call Vote)
- F.** **R-25-33** Resolution Authorizing and Awarding Bid Recommendation for the Purchase of a CR Mini Hydraulic Excavator with Altorfer Cat on the Sourcewell

Governmental Discount Program, for an Estimated Cost of \$80,734.00 and not to exceed \$82,000.00

Action Requested: (Motion, Second, Roll Call Vote)

- G.** Staff Memo and Request for City Council Approval of Saint Alphonsus Liguori Parish Special Event Permit to hold a Summer Carnival on June 12th to 15th

Action Requested: (Motion, Second, Roll Call Vote)

10. STAFF, ELECTED OFFICIALS, AND COMMISSION REPORTS

11. APPROVAL OF WARRANTS

A. Approval of Expenditures

General Fund	\$261,466.08
Motor Fuel Tax Fund	\$0.00
Tourism District	\$1,593.99
Solid Waste Fund	\$34,050.00
Drug Enforcement Agenda Fund	\$0.00
Special Service Area #1	\$0.00
Special Service Area #2	\$0.00
Special Service Area #3	\$0.00
Special Service Area #4	\$0.00
Special Service Area #5	\$110.42
Special Service Area - Constr #6 (Water Main)	\$0.00
Special Service Area - #8 Levee Wall #37	\$0.00
Capital Improvements	\$109,472.22
Special Service Area - Debt #6	\$600.00
Road Construction	\$0.00

This meeting will be recorded and made available on your local Cable Channel, Prospect Heights Television, and our PHTV YouTube Channel via a link on the City website.

Debt	
Water Fund	\$11,521.49
Parking Fund	\$782.38
Sanitary Sewer Fund	\$5,204.36
Road/Building Bond Escrow	\$11,083.90
TOTAL	\$435,884.84
Wire Payments	
05.02.25 Payroll	\$182,149.68
TOTAL WARRANT	\$618,034.52

12. **PUBLIC COMMENT ON NON-AGENDA MATTERS (FIVE MINUTE TIME LIMIT)**
13. **EXECUTIVE SESSION**
14. **ACTION ON EXECUTIVE SESSION ITEMS, IF REQUIRED**
15. **ADJOURNMENT**
Action Requested: (Motion, Second, Voice Vote)

Posted by 5:00 PM, May 9, 2025



**CITY OF PROSPECT HEIGHTS PROCLAMATION HONORING MR. KIM,
OWNER OF THE DOG WALK**

WHEREAS, for over 33 years, Mr. Kim, the successful owner of The Dog Walk, has served the Prospect Heights Community with kindness and care; and,

WHEREAS, Mr. Kim has contributed to the Prospect Heights community in multiple ways; and,

WHEREAS, Mr. Kim's demeanor has created friends throughout the City of Prospect Heights; and,

WHEREAS, Mr. Kim's successful ownership of The Dog Walk reflects the values of hard work, determination, integrity and significant care for the value of his product; and,

WHEREAS, Mr. Kim has earned a well-deserved retirement, and the community of Prospect Heights wishes him well for all future endeavors,

NOW, THEREFORE BE IT RESOLVED: the City of Prospect Heights Proclaims its gratitude and honor for our friend and neighbor, Mr. Kim, and recognizes his many contributions to our community.

DATED, this 12th day of May, 2025

Patrick Ludvigsen
Mayor, City of Prospect Heights



Proclamation

Public Works Week May 18–24, 2025



WHEREAS, public works professionals focus on infrastructure, facilities, and services that are of vital importance to sustainable and resilient communities and to public health, high quality of life, and well-being of the people of the City of Prospect Heights, Illinois; and,

WHEREAS, these infrastructure, facilities, and services could not be provided without the dedicated efforts of public works professionals, who are engineers, managers, and employees at all levels of government and the private sector, who are responsible for rebuilding, improving, and protecting our nation's transportation, water supply, water treatment and solid waste systems, public buildings, and other structures and facilities essential for our citizens; and,

WHEREAS, it is in the public interest for the citizens, civic leaders, and children in the City of Prospect Heights, Illinois to gain knowledge of and maintain an ongoing interest and understanding of the importance of public works and public works programs in their respective communities; and,

WHEREAS, the year 2025 marks the 65th annual National Public Works Week sponsored by the American Public Works Association/Canadian Public Works Association be it now,

RESOLVED, I, Mayor Patrick Ludvigsen, do hereby designate the week of May 18–24, 2025, as National Public Works Week. All citizens are urged to join with representatives of the American Public Works Association and government agencies in activities, events, and ceremonies designed to pay tribute to our public works professionals, engineers, managers, and employees and to recognize the substantial contributions they make to protecting our national health, safety, and advancing quality of life for all.

IN WITNESS WHEREOF, I have hereunto set my hand and caused the Seal of the City of Prospect Heights, Illinois, this 12th day of May 2025.

Mayor



TO: City Administrator Joe Wade
FROM: Chief Milorad Derman
DATE: May 06, 2025
SUBJECT: Memorandum of Agreement Between College District 512 and City of Prospect Heights

PURPOSE

The purpose of this memorandum of agreement is to enable the City of Prospect Heights to establish a formal arrangement with College District 512 (Harper College) concerning the regulation of vehicular and parking traffic enforcement, as well as the enforcement of all city codes and ordinances on the premises.

BACKGROUND

Since the inception of the Police Department and the establishment of the college campus, the Police Department has consistently patrolled the college grounds and provided police services as needed. However, an official agreement has not been previously formulated, which underscores the necessity for this current proposal.

RECOMMENDATION

It is recommended that the agreement be approved.

ENCLOSURE

Attached is a copy of the proposed agreement between the City of Prospect Heights and College District 512 (Harper College).

Respectfully,

Milorad Derman

Chief Milorad Derman

Milorad Derman | Chief of Police
PROSPECT HEIGHTS POLICE DEPARTMENT

RESOLUTION NO. R-25-34

**RESOLUTION AUTHORIZING AND APPROVING THE EXECUTION OF A
MEMORANDUM OF UNDERSTANDING (MOU) CONCERNING POLICE
ENFORCEMENT BETWEEN THE PROSPECT HEIGHTS POLICE DEPARTMENT
AND COLLEGE DISTRICT 512 – HARPER COLLEGE**

WHEREAS, the City of Prospect Heights Police Department has jurisdiction within, and is responsible for, providing Police services to the whole of the Prospect Heights community; and,

WHEREAS, College District 512 – Harper College maintains an onsite Police Department whose primary operational responsibility is to provide police service to the College’s campuses with all of the powers of police officers in cities and sheriffs in counties, when such is required for the protection of community college personnel, students, property, or interests, and;

WHEREAS, The City of Prospect Heights and College District 512 – Harper College both believe it is in the best interest of both parties to create a memorandum of understanding between the organizations concerning the regulation of vehicular and parking traffic enforcement, as well as the enforcement of all city codes and ordinances on the College District 512 premises.

Now, therefore, be it resolved by the City Council of the City of Prospect Heights, Cook County, Illinois as follows:

SECTION 1: The City Council finds that the above recitals are true and correct and incorporate the same as part of this resolution.

SECTION 2: The Mayor and City Council of the City of Prospect Heights authorize and approve the attached MOU (Exhibit “A”) and such other related documents that are necessary for the City of Prospect Heights to fulfill its obligations under the MOU.

SECTION 3: The Mayor and City Council authorize and direct the City Administrator, or their designees, to execute the attached MOU (Exhibit “A”), and to execute and deliver the signed MOU and all other instruments and documents necessary to fulfill the City of Prospect Heights’s obligations under the MOU.

SECTION 4: This Resolution shall be in full force and effect from and after its passage as provided by law and that the City Administrator is directed to take any action necessary to carry out the purpose of this Resolution.

PASSED and APPROVED this 12th day of May, 2025

Pat Ludvigsen, Mayor

Attest:

Deputy Clerk

AYES: _____

NAYS: _____

ABSENT: _____

MEMORANDUM OF AGREEMENT

BETWEEN COMMUNITY COLLEGE DISTRICT 512 AND
CITY OF PROSPECT HEIGHTS, ILLINOIS

THIS AGREEMENT ("Agreement") made this ____ day of ____, 2025 ("Effective Date"), by and among the CITY OF PROSPECT HEIGHTS, ILLINOIS (hereinafter "CITY") and COMMUNITY COLLEGE DISTRICT 512 d/b/a WILLIAM RAINEY HARPER COLLEGE (hereinafter "COLLEGE") (collectively, the "Parties").

WHEREAS, the College has established the Harper College Police Department (hereinafter "HCPD") as its campus police department pursuant to the Illinois Public Community College Act, as amended, 110 ILCS 805/3-42.1 (the "Act"); and

WHEREAS, the HCPD has primary operational responsibility for providing police service to the College's campuses and, pursuant to the Act, has "all of the powers of police officers in cities and sheriffs in counties, including the power to make arrests on view or on warrants for violations of State statutes and to enforce county or city ordinances in all counties that lie within the community college district, when such is required for the protection of community college personnel, students, property, or interests. Such officers shall have no power to serve and execute civil process"; and

WHEREAS, the HCPD has concurrent jurisdiction with the City of Prospect Heights Police Department (hereinafter "Prospect Heights Police") on property owned and/or controlled by the College within the boundaries of the City of Prospect Heights, and in all other locations and under all other circumstances as provided by the Act; and

WHEREAS, the purpose of this Agreement is to define the scope of coverage and support provided by the Prospect Heights Police to the College's Prospect Heights campus, establish facilities sharing opportunities, and authorize the Prospect Heights Police to enforce traffic rules, as well as to enforce all City codes and ordinances on the College's campus.

NOW, THEREFORE, the Parties agree as follows concerning the relationship between the Prospect Heights Police and the HCPD:

A. HARPER COLLEGE PROSPECT HEIGHTS CAMPUS STAFF COVERAGE

During the hours of 2300–0700 when HCPD is staffed by non-sworn Community Service Officers ("CSOs") at the main campus, the Prospect Heights Police shall respond to all requests for police assistance on the College's campus and determine the appropriate course of action in response to the underlying request. An appropriate course of action may include requesting that an HCPD Police Officer be assigned to address the underlying request.

B. FACILITIES USE

The Prospect Heights Police Department allows the HCPD to use its detention facilities, including the prisoner processing booking room, when staffing permits, and only in the presence of a Prospect Heights Police Officer.

C. ENFORCEMENT OF VEHICLE STICKER VIOLATIONS

The College hereby authorizes and requests the Prospect Heights Police to enforce City vehicle sticker violations on its campus.

D. MISCELLANEOUS

1. **Entire Agreement and Amendment.** This Agreement represents the complete understanding between the Parties with respect to the matters discussed herein and supersedes all prior oral or written agreements, understandings, and commitments concerning the subject matter of this Agreement. This Agreement shall not be amended, modified, altered, or changed except by mutual agreement confirmed in writing and duly executed by the Parties.
2. **Effective Date and Termination.** This Agreement is effective immediately upon execution by the authorized representatives of the Parties. Either Party may terminate this Agreement for any reason by providing at least ten (10) days advance written notice.
3. **Notices.** All notices which are required or permitted to be given by either Party pursuant to any provisions of this Agreement shall be in writing.

The notice addresses of the Parties are as follows:

For Harper College Police Department:
Chief of Police
Harper College Police Department
Bldg. D, Room 281
1200 W. Algonquin Rd.
Palatine, IL 60067

For Prospect Heights Police Department:
Chief of Police
Prospect Heights Police Department
14 E Camp McDonald Road
Prospect Heights, IL 60070

4. **Severability.** If any term or provision of this Agreement or the application thereof to any person or circumstances shall be held invalid or unenforceable, the remainder of this

Agreement shall not be affected thereby, and each remaining term and provision hereof shall be deemed valid and enforceable to the fullest extent permitted by law.

- 5. **Choice of Law.** This Agreement is governed by and construed in accordance with the laws of the State of Illinois.

- 6. **Authorization.** Both Parties hereto acknowledge and represent that their respective governing boards have fully approved this Agreement.

- 7. **Indemnification.** To the fullest extent permitted by law, the Parties shall protect, indemnify, defend, indemnify, save, defend, and hold harmless the other Party, including its, officers, individual board members, directors, officials, volunteers, employees and agents, from and against any and all claims, losses, liabilities, damages, obligations, penalties, causes of action, costs and expenses (including reasonable attorney and other professional fees), for which the other Party and for which its officers, individual board members, directors, officials, volunteers, employees and agents may become obligated by reason of any accident, bodily injury, death of person, or loss of or damage to tangible property, arising directly or indirectly in connection with, under, or as a result of this Agreement, but only to the extent caused in whole or in part by any negligent or willful act or omission of the indemnifying Party. The Party providing the indemnification shall be allowed to raise on behalf of the other Party any and all statutory and/or common law defenses to such claim or action which the other Party might have raised, including but not limited to any defense contained within the Illinois Local Governmental and Governmental Employees Tort Immunity Act, 745 ILCS 10/1-101 et seq., as amended. Harper College shall procure insurance to protect, save harmless and indemnify the City and such insurance shall have policy limits of not less than five hundred thousand and no/100 dollars (\$500,000.00).

IN WITNESS WHEREOF, the Parties have executed this Memorandum of Agreement as of the date set forth below.

**BOARD OF TRUSTEES OF
COMMUNITY COLLEGE DISTRICT 512**

CITY OF PROSPECT HEIGHTS

By: _____
Its: _____

By: _____
Its: _____

ATTEST:

ATTEST:

By: _____
Its: _____

By: _____
Its: _____



City of Prospect Heights

Department of Building & Zoning
 8 North Elmhurst Road, Prospect Heights Illinois, 60070-6070
 Office: 847/398-6070 x 211-FAX: 847/590-1854
www.prospect-heights.il.us

MEMORANDUM

Date: May 7, 2025

To: Mayor Ludvigsen & City Council

Cc: Joe Wade, City Administrator

From: Daniel A. Peterson, Director of Building & Development

Subject: Resolution No. R-25-32: Approving Land Use and Parking Agreement with the Prospect Heights Fire District to Construct and Use Parking Spaces on City Property at 14 E. Camp McDonald Rd

Background: The Prospect Heights Fire District is proposing a major addition and remodeling of the current fire station at 10 E. Camp McDonald Road. The Fire District requested a parking variation of 15 parking spaces. A public hearing was held on January 29, 2025, at the regular meeting of the PZBA. The PZBA unanimously voted to recommend approval of the special use and variations conditioned upon the Fire District and City approving a parking agreement that would address the parking needs of the Fire District.

The City and Fire District met and negotiated an agreement where the district would construct 15 new parking spaces on the Police Department property that would benefit both the City and Fire District. This proposed agreement meets the conditions of the PZBA.

Prior to issuance of building permits for the remodeling of the Fire Station, the City and Fire District will finalize temporary construction easement and permanent access easement agreements.

Authorize the City Administrator to Execute the Resolution after final attorney review.

Recommendation: Approve Resolution No. R-25-32 Approving Land Use and Parking Agreement with the Prospect Heights Fire District for the construction and use of new parking spaces on city property at 14 E. Camp McDonald Road

RESOLUTION NO. R-25-32

A RESOLUTION APPROVING LAND USE AND PARKING AGREEMENT WITH THE PROSPECT HEIGHTS FIRE DISTRICT

WHEREAS, the City of Prospect Heights, Cook County (the “City”) is an Illinois Municipal Corporation pursuant to the Illinois Constitution of 1970 and the Statutes of the State of Illinois; and

WHEREAS, the Fire District has applied for variations, including a reduction in off- street parking; and

WHEREAS, The Planning Zoning Board of Appeals (PZBA) held a public hearing and made the finding that the application met the standards for approval conditioned upon the Fire District entering into a parking agreement with the City for off-site parking pursuant to the City Code; and

WHEREAS, the City negotiated an agreement (“Parking Agreement”) with Prospect Heights Fire Prevention District (“Fire District”) is an Illinois Municipal Corporation, allowing the Fire District to construct and use new parking spaces on City property; and

WHEREAS, the City finds it necessary, advisable, and in the best interests of the City and Fire District to enter into and approve the land use and parking agreement.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF PROSPECT HEIGHTS, COOK COUNTY, ILLINOIS, AS FOLLOWS:

SECTION 1: The above recitals are hereby incorporated into this Resolution as if set forth verbatim.

SECTION 2: The City Council of the City of Prospect Heights approves and authorizes the Land Use and Parking Agreement, attached hereto as Exhibit A, and direct the Mayor, City Administrator, or City Attorney to take all necessary step to execute the same.

SECTION 3: That this Resolution shall take effect from and after its adoption and approval.

[Intentionally Left Blank]

Passed and Approved this 12th day of May 2025.

Patrick Ludvigsen, Mayor

Attest:

Lloyd Austin, Deputy Clerk

Ayes:

Nays:

Absent:

EXHIBIT A

10 E. Camp McDonald Road Land Use and Parking Agreement

10 E. Camp McDonald Road Land Use and Parking Agreement

This Land Use and Parking Agreement (the “Agreement”) is made and entered into this _____ day of _____, 2025, by and between the City of Prospect Heights, an Illinois non-home rule municipal corporation (the “City”), and the Prospect Heights Fire Prevention District, an Illinois municipal corporation (the “Fire District”), (at times herein referred to collectively as the “Parties”).

WHEREAS, the Fire District has proposed an expansion of the existing Fire Station (“Fire Station Development”) located at 10 E. Camp McDonald Road, Prospect Heights, Illinois, as legally described on Exhibit 1 attached hereto; and

WHEREAS, the Fire District has applied for variations, including a reduction in off- street parking and received a positive recommendation from the Planning Zoning Board of Appeals (PZBA) conditioned upon the Fire District entering into a parking agreement with the City for off-site parking pursuant to the City Code; and

WHEREAS, the City owns property at 14 E. Camp McDonald Road (Police Department Parcel) property legally described on Exhibit 2 adjacent to the Fire Station property where additional parking spaces are proposed as shown in Exhibit 3, to provide off-street parking and detention, and

WHEREAS, the Mayor and City Council find that it is in the best interests of the City to ensure public safety and welfare through the expansion of the Fire Station will be promoted by the City’s agreement to permit the Fire District to meet off-street parking requirements through the use of City-owned and maintained parking spaces to the extent provided for in this Agreement;

NOW, THEREFORE, in consideration of the foregoing and the mutual understandings, promises, consideration and agreements as set forth below, the Parties hereby agree, and covenant as follows:

1. The Fire District at their expense shall design, obtain necessary permits and perform the construction of the off-site parking spaces, site and drainage improvements as depicted in Exhibit 3.
2. Prior to the issuance of a building permit a Temporary Construction Easement Agreement and Access Easement Agreement will be executed between the City and Fire District.

3. The City will, upon receipt of construction and permit plans shall perform the plan reviews, issue permits and inspect the project in accordance with approved plans and city standards in a timely manner at City expense.
4. The City grants and authorizes the Fire District a temporary easement to access and use City property, commonly known as 14 E. Camp McDonald Rd. Prospect Heights, Illinois, for construction per approved plans as agreed.
5. The parking spaces shall be used for the Fire District, City and public use for the non-exclusive use of the parties and the public.
6. The parking spaces referred to in this Agreement have been determined to meet the Off-Street Parking Requirements as recommended by the PZBA for the Fire Station use.
7. Any Notice required under this Agreement shall be made in writing and given in person, by overnight delivery or by certified mail, return receipt requested, addressed to the Parties as follows, or at such other place as either of them may hereafter designate for itself by notice in writing to the other:

To: City

To: Fire District

City Administrator
City of Prospect Heights
8 N. Elmhurst Rd.
Prospect Heights, IL 60070

Prospect Heights Fire District
Attn: Fire Chief
10 E. Camp McDonald Rd.
Prospect Heights, IL 60070

8. This Agreement shall run with the land for so long as the Fire District operates a Fire Station on the property. In the event the Fire District wishes to transfer its interest in this Agreement, and the new owner operates a different use, then the City shall be free to determine whether it will enter into a similar agreement with the proposed transferee.
9. If any provision of this Agreement is found to be invalid, illegal or unenforceable, that provision shall be severable from the rest of this Agreement and the validity, legality and enforceability of the remaining provision will in no way be affected or impaired.

10. This Agreement shall be governed by, and construed in accordance with, the laws of the State of Illinois. Venue shall only be proper in a court of competent jurisdiction located within the County of Cook, Illinois.

IN WITNESS WHEREOF, THE Parties hereto have executed this Agreement as of the dates set forth below, and the date of the last signatory below shall be inserted on page 1 of this Agreement, as the Effective Date of this Agreement.

CITY OF PROSPECT HEIGHTS,
an Illinois no-home rule municipal
corporation

By: _____

Name: _____

Title: _____

Date: _____

PROSPECT HEIGHTS FIRE DISTRICT
an Illinois municipal corporation

By: _____

Name: _____

Title: _____

Date: _____

Exhibit 1

Legal Description: 10 E. Camp McDonald Rd.

LOT 69, THE SOUTH 73.20 FEET OF THE EAST 25 FEET OF LOT 70, THE WEST 73 FEET OF THE SOUTH 203.2 FEET OF LOT 51 TOGETHER WITH THAT PORTION OF THE VACATED 20 FOOT ALLEY WHICH LIES IMMEDIATELY WEST OF THE WEST LINE OF LOT 51 AND THAT PORTION OF THE VACATED COURT WHICH LIES IMMEDIATELY WEST OF THE WEST LINE OF LOT 51, NORTH OF THE NORTH LINE OF LOT 69 AND SOUTH OF THE SOUTH LINE OF THE EAST 25 FEET OF LOT 70, IN SMITH AND DAWSON SECOND ADDITION TO COUNTRY CLUB ACRES, PROSPECT HEIGHTS, ILLINOIS, A SUBDIVISION OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER AND THE WEST 10 ACRES OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 22, TOWNSHIP 42 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF REGISTERED IN THE OFFICE OF THE REGISTRAR OF TITLES OF COOK COUNTY, ILLINOIS ON MAY 23, 1938 AS DOCUMENT NO. LR791719, IN COOK COUNTY, ILLINOIS

PIN # 03-22-408-031-0000

Exhibit 2

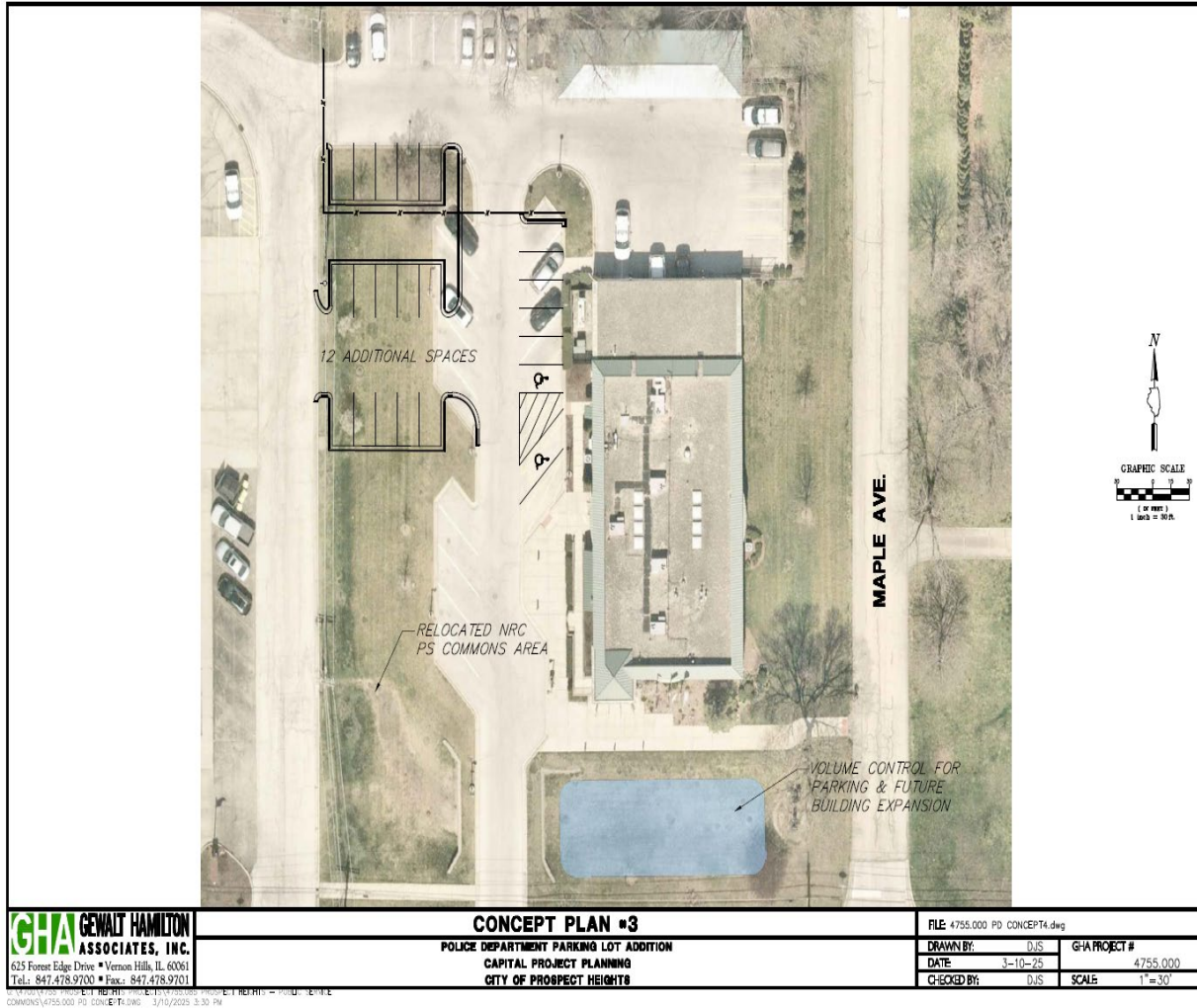
Legal Description: 14 E. Camp McDonald Rd.

LOT ONE IN CITY OF PROSPECT HEIGHTS FIRST CONSOLIDATION PLAT OF THE WEST
HALF OF THE SOUTHEAST QUARTER OR SECTION TWENTY-TWO, TOWNSHIP FORTY-
TWO NORTH, RANGE ELEVEN, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK
COUNTY, ILLINOIS.

Pin #03-22-408-034-0000

Exhibit 3

Concept Plan #3
Prepared by GeWalt Hamilton Associates, Inc
Dated 3/10/2025





City of Prospect Heights

Department of Building & Zoning
 8 North Elmhurst Road, Prospect Heights Illinois, 60070-6070
 Office: 847/398-6070 x 211-FAX: 847/590-1854
www.prospect-heights.il.us

MEMORANDUM

Date: May 7, 2025

To: Mayor Ludvigsen & City Council

Cc: Joe Wade, City Administrator

From: Daniel A. Peterson, Director of Building & Development

Subject: ZBA Case No. 25-02 SU/V – Special Use and Certain Variations for the Reconstruction and Expansion of the Prospect Heights Fire District Fire Station at 10 E. Camp McDonald Road.

Background: The Prospect Heights Fire District is proposing a major addition and remodeling of the current fire station at 10 E. Camp McDonald Road. Fire Chief Drew Smith is requesting an expansion of the special use in the R-1 District, Section 5-6-1 B and variations to Sections 5-6-1 E Yard Areas and 5-8-6 Table of Off Street Parking of the City of Prospect Heights Zoning Code to construct an addition and remodel the existing legal non-conforming fire station.

A public hearing was held on January 29, 2025, at the regular meeting of the PZBA.

Testimony:

Jamie Zauer, Principal 845 Design Group P.C, the project architect, described the project and the requested approvals they are seeking. The existing property is an existing non-conforming lot where three of the four setbacks do not meet current code requirements. Additionally, the current parking is non-conforming to the zoning code, but meets the staffing needs of the district. The proposed design of the project adds square footage that requires the elimination of the parking area along the east side and the two parking spaces on the south side of the property to accommodate the addition. The variations being requested are:

1. Reduction of the interior side yard on the east side of the property from 15' to 7' 8"
2. Reduction of the north rear yard from 50' to 45' 11". This confirms the current condition of the property. (Now change)
3. Reduction of the required parking from 27 to 9.

Ms. Zauer provided testimony on how the project meets the standards for the variations requested. She presented a presentation of the design and functionalities of the redesigned fire station.

Fire Chief Smith provided historical information pertaining to the creation of the current property lines with the City and Walgreens. He also explained that the district pursued other options to try and find a location to build a new fire station. Ultimately, the decision to remodel was made to meet the needs of the district.

Chief Smith indicated that the fire district staffing needs are approximately 15 spaces and that is when a shift change happens. Otherwise, there is very little public parking needed by the district. He indicated that he has contacted the City to reach an agreement regarding parking that the City owns.

Scott Lehor – 9 E Clarendon, states his property is directly to the north of the fire station and receives some back splash of light into his house if the drapes are not closed. He asks for consideration with the lighting and blocking any lighting from entering his backyard. He asks if there is a possibility of making the current fence higher as the proposed entrance is moving from the front of the building to the back of the building.

Director Peterson commented that the lighting would meet all the current code requirements. The fence is owned by the City and is constructed to the maximum height allowed.

Board Comments & Findings:

Commissioner Patel requests there be a stipulation added in regard to the lighting being downlighting toward the building and controlled by motion detection.

Chairman Kempa stated that the required parking of 27 spaces was probably more than the needs of the district and that the remaining 9 spaces was not enough. He would approve the variation with the condition that the District and City reach an agreement regarding parking.

Director Peterson indicated that discussions have been ongoing to reach an agreement regarding parking.

Decisions:

The PZBA voted of 5 – 0 with 2 absent to recommend to the approval of the following:

1. Grant and amendment for the reconstruction expansion of the Special Use per Section 5-6-1 C; and
2. Grant the rear yard setback variation from 50' to 45' 11" per Section 5-6-1 E5 and the side yard setback from 15' to 7' 8" per Section 5-6-1 E2; and
3. Grant the reduction in parking from 27 spaces to 9 spaces with the condition that the Fire District and City reach an agreement for shared parking to meet the staffing needs of 15 parking spaces for the Fire District.

Staff concur with the PZBA recommendations.

Recommendation: Approve Ordinance #O-25-10 Granting Special Use and Certain Variations for the Reconstruction and Expansion of the Prospect Heights Fire District Fire Station at 10 E. Camp McDonald Road.

ORDINANCE NO. O-25-10

**AN ORDINANCE GRANTING A SPECIAL USE PERMIT AND CERTAIN
VARIATIONS FOR THE PROPERTY AT 10 E. CAMP MCDONALD ROAD**

(PZBA Case #25-02 SUP/V)

WHEREAS, the Prospect Height Fire District (Applicant) has filed a petition for a amendment to their special use permit and certain variations for the purpose to construct a $\pm$ 3,855 sq. ft. addition to the existing 9,981 square foot fire station at the property commonly known as 10 E. Camp McDonald Road , Prospect Heights, Illinois and legally described in exhibit A (the "Property"); and

WHEREAS, section 5-10-9 A. of the Zoning Ordinance requires a new special use permit when structural alteration of any use for which a special use permit is required; and

WHEREAS, the Zoning Ordinance further provides as follows:

1. Section 5-6-1E 2 requires an interior side yard to be a minimum of 15' in the R-1 Single Family Residential District.
2. Section 5-6-1 E5 requires a rear yard to be a minimum of 50 feet.
3. Section 5-8-6 Table of Off Street Parking requires a minimum of 27 parking spaces for the proposed use.

WHEREAS, the Applicant has also applied for variations from sections 5-6-1. E2, 5-6-1 E5 and 5-8-6 ("Requested Variations) as specified below:

1. To reduce the required interior side yard from 15' to 7'8" in the R-1.
2. To reduce the required rear yard from 50' to 45' 11".
3. Reduce the required parking from 27 to 9 parking spaces with condition of a parking agreement with the City to meet the staff parking needs.

WHEREAS, the Plan/Zoning Board of Appeals held a public hearing on January 29, 2025 regarding said application; and

WHEREAS, the Plan/Zoning Board of Appeals has found the application meets the standards for a special use permit, and for variations and has recommended that the City Council grant such relief; and

WHEREAS, t **WHEREAS**, the City Council has reviewed the documents pertinent to the application and the recommendations of the PZBA, concurs with the findings of the PZBA and hereby grants the special use permit, the Requested Variations;

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF PROSPECT HEIGHTS, COOK COUNTY, ILLINOIS as follows:

Section 1. The City Council hereby finds and determines that the facts set forth in the preamble hereto are true and correct and hereby incorporates them as part of this Ordinance.

Section 2. That a Special Use Permit is hereby granted for an Fire Station in the R-1 Single Family Residential District on the Property and shall run with the Applicant's use and not with the land.

Section 3. The Requested Variations are hereby granted:

1. To reduce the required interior side yard from 15' to 7'8" in the R-1.
2. To reduce the required rear yard from 50' to 45' 11".
3. Reduce the required parking from 27 to 9 parking spaces with condition of a parking agreement with the City to meet the staff parking needs.

Section 4. That the yard variations are conditioned upon applicant's construction of the addition substantially in accordance with the approved site plans, Exhibit B, and documents submitted at the public hearing on this matter with applicable codes and following conditions.

Section 5. The parking variations are condition upon the execution of a use and parking agreement with the City, Exhibit C.

Section 6. That this Ordinance and all exhibits attached hereto shall be recorded at the Cook County Recorder's Office at the expense of the Owners.

Section 7. The City Clerk is directed to publish this ordinance in pamphlet form and this Ordinance shall be in full force and effect from and after its passage and approval as required by law.

PASSED AND APPROVED this 12th day of May 2025.

Patrick Ludvigsen, Mayor

ATTEST:

Lloyd Austin, Deputy Clerk

AYES:

NAYS:

ABSENT:

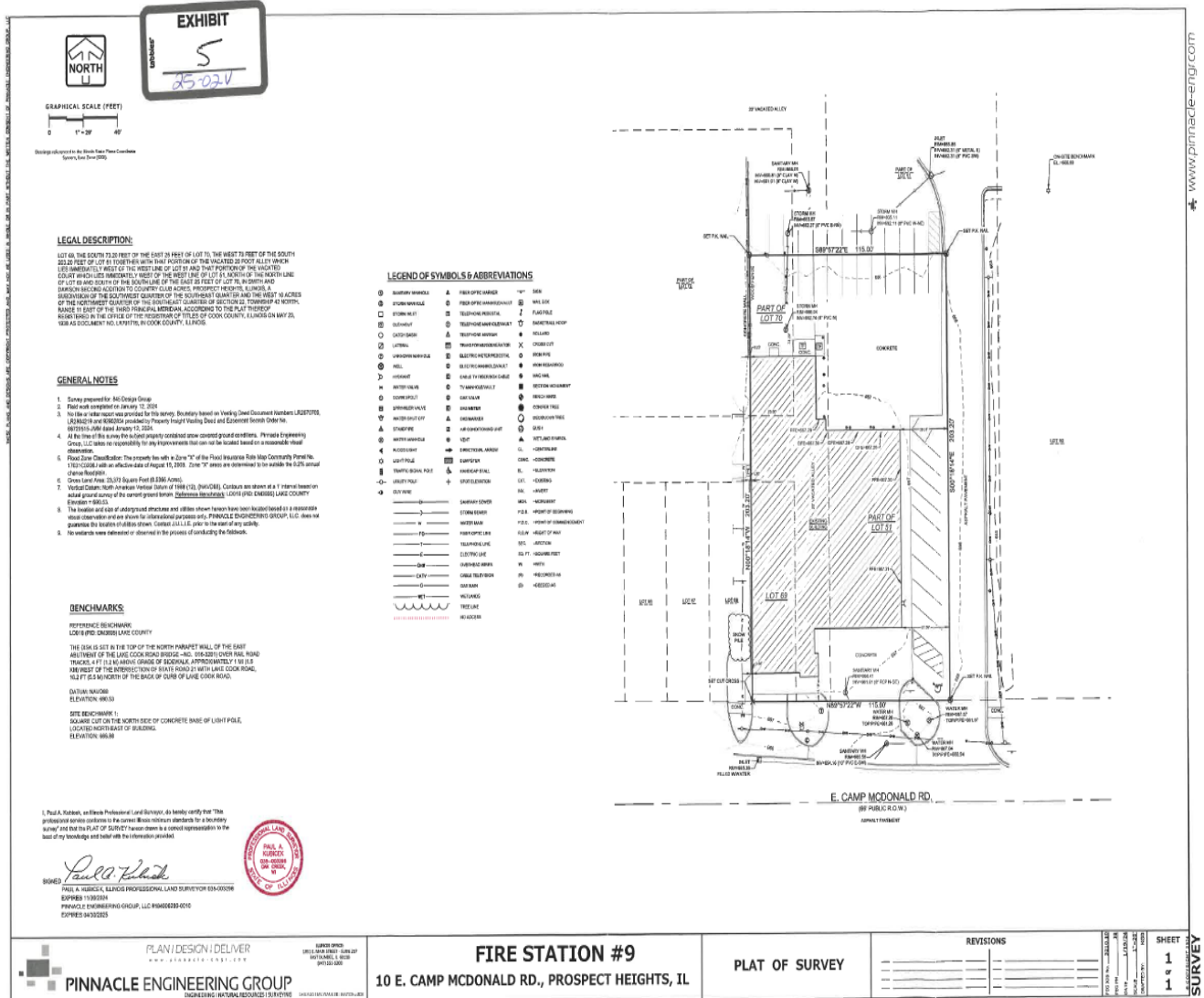
Published in pamphlet form: May 13th, 2025.

Exhibit A

Legal Description of 10 E. Camp McDonald., Prospect Heights, IL

LOT 69, THE SOUTH 73.20 FEET OF THE EAST 25 FEET OF LOT 70, THE WEST 73 FEET OF THE SOUTH 203.2 FEET OF LOT 51 TOGETHER WITH THAT PORTION OF THE VACATED 20 FOOT ALLEY WHICH LIES IMMEDIATELY WEST OF THE WEST LINE OF LOT 51 AND THAT PORTION OF THE VACATED COURT WHICH LIES IMMEDIATELY WEST OF THE WEST LINE OF LOT 51, NORTH OF THE NORTH LINE OF LOT 69 AND SOUTH OF THE SOUTH LINE OF THE EAST 25 FEET OF LOT 70, IN SMITH AND DAWSON SECOND ADDITION TO COUNTRY CLUB ACRES, PROSPECT HEIGHTS, ILLINOIS, A SUBDIVISION OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER AND THE WEST 10 ACRES OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 22, TOWNSHIP 42 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF REGISTERED IN THE OFFICE OF THE REGISTRAR OF TITLES OF COOK COUNTY, ILLINOIS ON MAY 23, 1938 AS DOCUMENT NO. LR791719, IN COOK COUNTY, ILLINOIS

PIN # 03-22-408-031-0000



Proposed site plan prepared by 845 Design Group



Exhibit C

10 E. Camp McDonald Road Land Use & Parking Agreement



City of Prospect Heights

Department of Building & Zoning
8 North Elmhurst Road, Prospect Heights Illinois, 60070-6070
Office: 847/398-6070 x 211-FAX: 847/590-1854
www.prospect-heights.il.us

MEMORANDUM

Date: January 2, 2025

To: Chairman Kempa and Planning/Zoning Board of Appeals

From: Daniel A. Peterson, Director of Building & Development

Subject: ZBA Case No. 25-02 SU/V – Special Use and Certain Variations for the Reconstruction and Expansion of the Prospect Heights Fire District Fire Station at 10 E. Camp McDonald Road.

Please be advised that the Prospect Heights Fire Protection District, represented by Fire Chief Drew Smith, is requesting an expansion the special use in the R-1 District, Section 5-6-1 B and variations to Sections 5-6-1 E Yard Areas and 5-8-6 Table of Off Street Parking of the City of Prospect Heights Zoning Code to construct an addition and remodel the existing legal non-conforming fire station.

A public hearing has been scheduled for Wednesday January 29, 2024, to hear PZBA Case #25-02 SU/V.

Please contact me should you have any questions regarding this application.

Thank you.



RECEIVED DEC 19 2024

FOR OFFICE USE ONLY:

FEE PAID _____
DATE _____
RECV'D BY _____
CASE # _____
MEETING DATE _____

PLAN/ZONING BOARD OF APPEALS

APPLICATION

Special use (\$400)
☒ Variation (\$150)
Text Amendment (\$300)

Map Amendment (Refer to Ord. 0-03-18)
Subdivision/PUD (Refer to Ord. 0-03-18)
Lot Consolidation (Refer to Ord. 0-03-18)
Appearance Review

In addition to the application fee a refundable deposit not ~~<\$500 nor~~ >\$5,000 shall be required for all zoning applications to offset the direct costs of the application incurred by the City. If costs exceed the available escrow balance applicant will be required to replenish account. If balance remains the money will be refunded or applied to any building permit cost. (Refer to Ord. 0-18-06: 5-10-7(D))

APPLICANT: PROSPECT HEIGHTS FIRE PROTECTION DISTRICT
ADDRESS: 10 E. CAMP McDONALD ROAD
PROSPECT HEIGHTS, IL 60070

PHONE: CHIEF DREW SMITH (224) 318-1720

E-MAIL: DSMITH@phfire.com

ARCHITECT JAMIE ZAURA, (708) 268-9719 jamiez@845designgroup.com
ADDRESS OF SUBJECT PROPERTY: 10 E. CAMP McDONALD ROAD

PROPERTY IS LOCATED IN THE R-1 ZONING DISTRICT.

APPLICABLE SECTION OF ORDINANCE: 5-6-13 Special Use 5-6-13 Lot Size

DESCRIPTION OF REQUEST: 5-8-6 Table of Off Street Parking

Are there any covenants, conditions, restrictions or floodplain issues concerning type of improvements, setbacks, area or height requirements, occupancy or use limitations, etc. placed on the property and now of record: YES _____ NO ☒
If yes, please describe: _____

Has the property been the subject of previous or pending administrative legislative or court action:
YES _____ NO ☒ If yes, give details: _____

The follow items MUST be submitted at time of filing:

1. Application (12 copies) —
2. Plat of Survey (12 copies) – must be drawn to scale and indicate the location of the proposed addition or construction and must contain the legal description of the property, along with additional information to support the application. (12 copies) *Note - please include one copy for file no longer than 11x17.
3. Proof of Ownership (1 copy)
4. Letter indicating Hardship (for variations only 12 copies)
5. Application Fee (cash or check made payable to: City of Prospect Heights)
6. Notice to Property Owners (1 copy) – will be supplied to you by the City of Prospect Heights.
7. List of Property Owners (1 copy) for Notice to Property Owners mailing - will be supplied to you by the City of Prospect Heights.

12/19/2024
Date:

Drew Smith Fire Chief
Signature of Applicant

845 Design Group P.C.
 106 Calendar Court, No. 131
 LaGrange, Illinois 60525
 t: 708.218.9974 | f: 708.407.9008

December 19, 2024

Chairperson and Planning and Zoning Board of Appeals Commissioners,

Fire Station 9, is located at 10 East Camp McDonald Road. The existing property is 23,373 square feet, the existing Fire Station is 9,981 square feet. The property is an existing non-conforming property. Three of the existing four setbacks do not meet the code requirement making the property non-conforming.

Setback	Required Setback	Actual Setback	Proposed Setback	Comment
North Setback	50'-0"	45'-11" Existing non-conforming	45'-11"	Variation request
East Setback	15'-0"	27'-10"	7'-8"	Variation request
West Setback	15'-0"	1/4" Existing non-conforming	Remain as is	
South Setback	40'-0"	11'-10" Existing Non-conforming	12'-11"	

The existing fire station does not meet the operational needs of the District. The current building design negatively impacts work flow and functionality. There are insufficient bunk rooms, excessive stairs throughout the plan, a lack of decontamination spaces, no dedicated training facility, no gear locker room, limited office space and insignificant storage. Due to the constraints of the site the District has a hardship and cannot effectively serve the City without significant building modifications and additional space.

Given the close proximity of the property line, the West elevation must remain as it is. The most viable options for expansion are the East and North elevations, which reduces parking on the site. The proposed building expansion will provide 8,930 square feet of living/office space, excluding apparatus areas. According to the City's parking requirement of three spaces per 1,000 sq ft the District must provide 27 spaces on site. However, based on the District's staffing needs, 15 spaces are required. With the proposed plan the site can accommodate 9 parking spaces. To address the shortfall, the District has requested a parking agreement with the City of Prospect Heights for the additional 18 spaces.

The proposed additions and renovation will enhance the site, creating a more functional living and working environment for the Fire District, enabling it to better serve the residents.

Please contact me with any questions.



Jamie Zaura, AIA, LEED AP BD+C
 Principal, 845 Design Group P.C.

RECEIVED DEC 19 2024
December 19, 2024

845 Design Group P.C.
106 Calendar Court, No. 131
LaGrange, Illinois 60525
t: 708.218.9974 | f: 708.407.9008

Variation Standards for 10 East Camp McDonald Road, Fire Station 9

1. Special conditions and circumstances exist which are peculiar to the land, structure of the building involved and which are not applicable to other lands, structures, or buildings in the same district.
 - a. Response: The existing site is non-conforming. The West setback is nearly on the property line. The existing South and North elevations of the building are also over the setbacks of the property. The property is zoned R-1 and houses a commercial fire station that does not meet the necessary functional requirements to effectively carry out its operations.
2. Literal interpretation of the provisions of this ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same district under the terms of this ordinance.
 - a. Response: The Owner of the property lacks the necessary functional requirements to meet the needs of the District. There is no separation between the apparatus and the living quarters, the bunk rooms are insufficient, there are excessive stairs throughout the building, there is no gear locker room, limited office space and insufficient storage in the building.
3. The alleged hardship has not been directly created by any person presently, or a predecessor in interest, having a proprietary interest in the premises.
 - a. Response: The property is the hardship. The site does not allow for additional space and drive through apparatus bays. Parking requirements cannot be met due to the size of the site. Three of the four existing elevations of the building are currently over the allowed setbacks for the site.
4. The proposed variation will not be materially detrimental to the public welfare or injurious to other property or improvements to the neighborhood.
 - a. Response: The improvements to the property will make the surroundings safer. There will no longer be parking off of Camp McDonald Road, and the existing sidewalk will continue to run east and west eliminating the existing sidewalk jog.
5. The proposed variation will not impair an adequate supply of light and air to adjacent property, substantially increase congestion in the public streets, increase the danger of fire, or endanger the public.
 - a. Response: The proposed change will enhance public safety by enabling faster response times and allowing first responders to rest in more conducive conditions. Light impairment will generally remain unchanged, and there will be no additional street congestion. In fact, congestion at the south end of the building will decrease as parking on Camp McDonald Road is eliminated and the jogged sidewalk is removed.
6. The proposed variation will not alter the essential character of the locality.
 - a. Response: The proposed additions will utilize a brick that will match the existing, while adding fiber cement board materials to help balance the addition with the existing building. The proposed additions will blend with the character of the area.

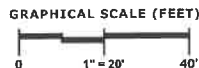


7. The proposed variation is in harmony with the spirit and intent of this Ordinance.
 - a. Response: The variation is in harmony with the spirit of the ordinance. This site has a hardship that cannot be rectified without purchasing adjacent property. The addition solutions help address the site's hardship and provide a more functional living and working environment for the Fire District, enabling them to better serve the residents.
8. Granting the variation requested will not confer on the applicant any special privilege that is denied by this Ordinance to owners of other land, structures, or buildings in the same district.
 - a. Response: This property is unique; in that it is a Fire Station. Granting these variations do not provide a privilege that is denied to other property owners in Prospect Heights. Granting these variations allows the District to better serve the residents.
9. No non-conforming use of neighboring lands, structures, or buildings in the same district, and no permitted use of lands, structures, or buildings in other districts, shall be considered grounds for issuance of a variation.
 - a. Response: Noted, this application is submitted specifically for this property, addressing the unique hardships faced by the property owner.
10. The Plan/Zoning Board of Appeals shall further make a finding that the reasons set forth in the application justify the granting of the variation, and that the variation is the minimum variation that will make possible the reasonable use of land, building, or structure.
 - a. Response: Noted, the owner made a conscious decision to reduce the addition on the southeast elevation in order to avoid requesting an additional variation on the south end of the property.

Please contact me with any questions.

A handwritten signature in black ink that reads 'Jamie Zaura'.

Jamie Zaura, AIA, LEED AP BD+C
Principal, 845 Design Group P.C.



Bearings referenced to the Illinois State Plane Coordinate System, East Zone (120).

LEGAL DESCRIPTION:

LOT 69, THE SOUTH 73.25 FEET OF THE EAST 25 FEET OF LOT 70, THE WEST 73 FEET OF THE SOUTH 20.25 FEET OF LOT 51 TOGETHER WITH THAT PORTION OF THE VACATED 20 FOOT ALLEY WHICH LIES IMMEDIATELY WEST OF THE WEST LINE OF LOT 51 AND THAT PORTION OF THE VACATED ALLEY WHICH LIES WEST OF THE WEST LINE OF LOT 51 AND THE WEST 10 FEET OF THE SOUTH LINE OF LOT 69 AND SOUTH OF THE SOUTH LINE OF THE EAST 25 FEET OF LOT 70, IN SMITH AND DAWSON SECOND ADDITION TO COUNTRY CLUB ACRES, PROSPECT HEIGHTS, ILLINOIS, A CERTAIN PORTION OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 22, TOWNSHIP 42 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF REGISTERED IN THE CLERK OF RECORDS AND DEEDS OF COOK COUNTY, ILLINOIS ON MAY 23, 1924, IN PLAT 10, 187377-9, IN COOK COUNTY, ILLINOIS.

GENERAL NOTES

1. Survey prepared for: 845 Design Group
2. Field work completed on January 12, 2024
3. No title or letter report was provided for this survey. Boundary based on Vesting Deed Document Numbers LR2670709, LR26804219 and 92802854 provided by Property Insight Vesting Deed and Easement Search Order No. 66729515-JMM dated January 12, 2024.
4. At the time of this survey the subject property contained snow covered ground conditions. Pinnacle Engineering Group, LLC takes no responsibility for any improvements that can not be located based on a reasonable visual observation.
5. Flood Zone Classification: The property lies within in Zone "X" of the Flood Insurance Rate Map Community Panel No. 17031-C0206J with an effective date of August 19, 2008. Zone "X" areas are determined to be outside the 0.2% annual chance floodplain.
6. Gross Land Area: 23,373 Square Feet (0.5366 Acres).
7. Vertical Datum: North American Vertical Datum of 1988 (12), (NAVD88). Contours are shown at a 1' interval based on actual ground survey of the current ground terrain. Reference Benchmark: LD018 (PID: DM3895) LAKE COUNTY Elevation = 690.53.
8. The location and size of underground structures and utilities shown herein have been located based on a reasonable visual observation and are shown for informational purposes only. PINNACLE ENGINEERING GROUP, LLC. does not guarantee the location of utilities shown. Contact J.U.L.I.E. prior to the start of any activity.
9. No wetlands were delineated or observed in the process of conducting the fieldwork.

BENCHMARKS:

REFERENCE BENCHMARK:
LD018 (PID: DM3895) LAKE COUNTY

THE DISK IS SET IN THE TOP OF THE NORTH PARAPET WALL OF THE EAST ABUTMENT OF THE LAKE COOK ROAD BRIDGE -NO. 016-3201) OVER RAIL ROAD TRACKS, 4 FT (1.2 M) ABOVE GRADE OF SIDEWALK, APPROXIMATELY 1 MI (1.6 KM) WEST OF THE INTERSECTION OF STATE ROAD 21 WITH LAKE COOK ROAD, 18.2 FT (5.5 M) NORTH OF THE BACK OF CURB OF LAKE COOK ROAD.

DATUM: NAVD88
ELEVATION: 690.53

SITE BENCHMARK 1:
SQUARE CUT ON THE NORTH SIDE OF CONCRETE BASE OF LIGHT POLE,
LOCATED NORTHEAST OF BUILDING.
ELEVATION: 666.88

I, Paul A. Kubicek, an Illinois Professional Land Surveyor, do hereby certify that "This professional service conforms to the current Illinois minimum standards for a boundary survey" and that the PLAT OF SURVEY hereon drawn is a correct representation to the best of my knowledge and belief with the information provided.

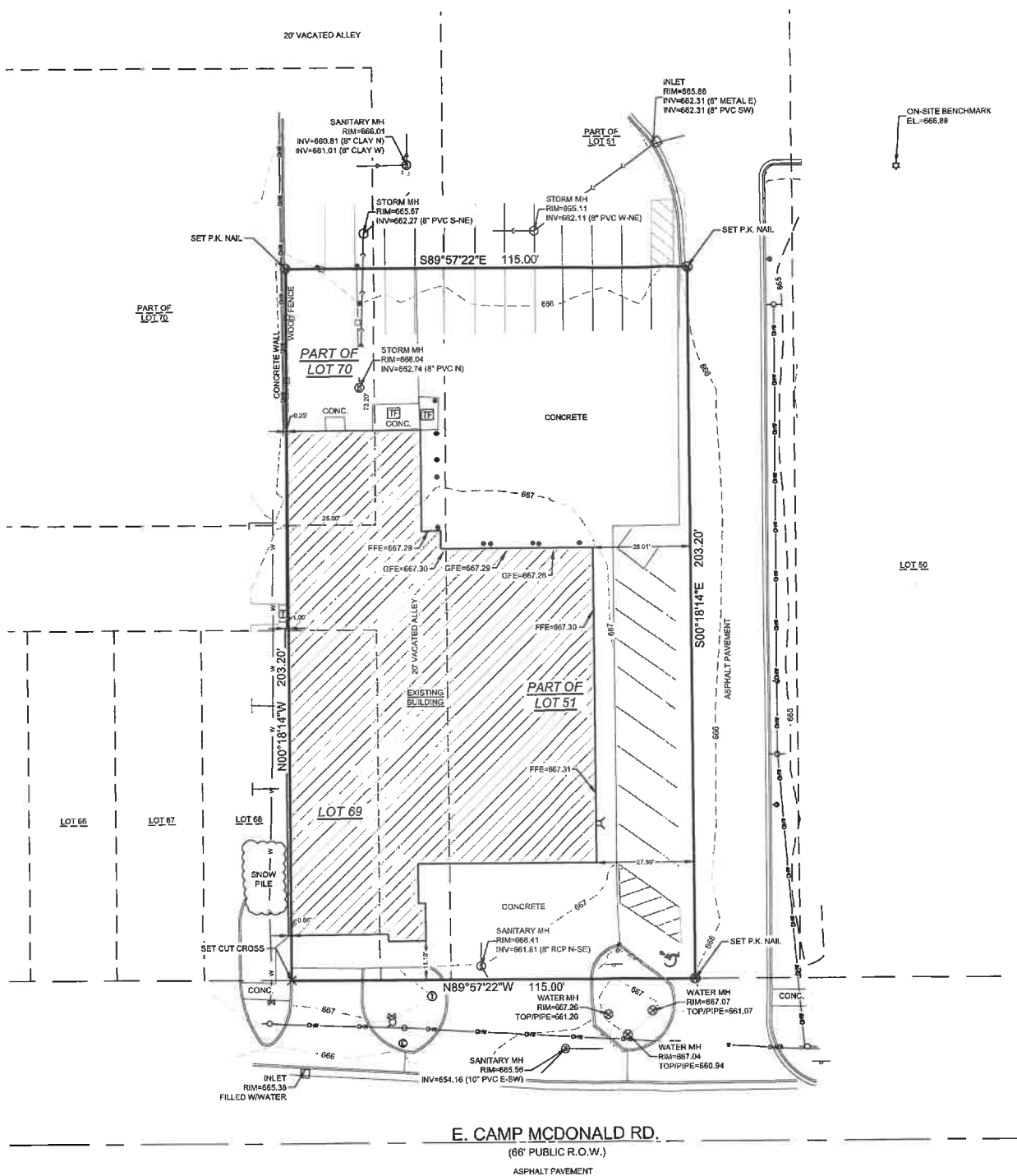
SIGNED

Paul A. Kubacki

PAUL A. KUBICEK, ILLINOIS PROFESSIONAL LAND SURVEYOR 035-003296
EXPIRES 11/30/2024
PINNACLE ENGINEERING GROUP, LLC #184006289-0010
EXPIRES 04/30/2025



LEGEND OF SYMBOLS & ABBREVIATIONS

[illegible]

E. CAMP McDONALD RD
(66' PUBLIC R.O.W.)
ASPHALT PAVEMENT

PLAN | DESIGN | DELIVER
www.pinnacle-engr.com

ILLINOIS OFFICE:
1051 E. MAIN STREET - SUITE 217
EAST DUNDEE, IL 60118
(847) 551-5300

FIRE STATION #9

10 E. CAMP MCDONALD RD., PROSPECT HEIGHTS, IL

PLAT OF SURVEY

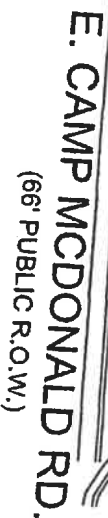
REVISIONS

REG JOB No. 3210.10
REG PM JB
DATE 1/19/24
SCALE 1"=20'
DRAFTED BY: KGD

SHEET

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of
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© COPYRIGHT 2024
SURVEY



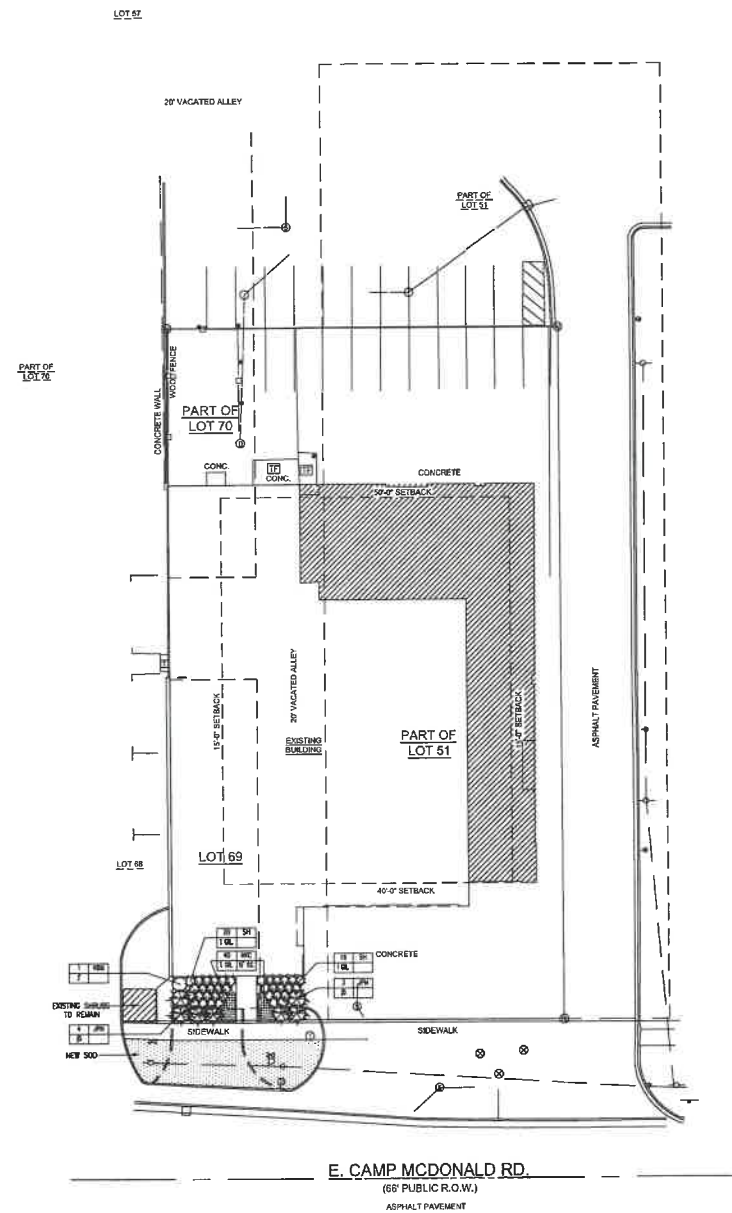
SCALE: 1/16" = 1'-0"

LEGEND

- | | | | |
|---|------------------------------|---|---------------------------|
|  | EXISTING PLANTINGS TO REMAIN |  | PROPOSED ORNAMENTAL GRASS |
|  | PROPOSED DECIDUOUS SHRUB |  | PROPOSED PERENNIALS |
|  | PROPOSED EVERGREEN SHRUB |  | NEW TURF |

LEGEND

SCALE: N.T.S.



LANDSCAPE PLAN

SCALE: 1" = 20'



PLANT LIST

PLANT LIST					
KEY	QUANTITY	BOTANIC NAME	COMMON NAME	SIZE	REMARKS
DECIDUOUS SHRUBS					
	1	VIBURNUM D. 'CHRISTINE'	BLUE MORTIN ARBORVITAE VIBURNUM	5"	CONTAINER
ETERNAL SHRUBS					
LN#	7	JAMBERG'S B. 'MUM'	ORANGE JAPANESE GARDEN JAMBER	#5	CONTAINER
PERENNIALS & ORNAMENTAL GRASSES					
NTC	40	HEPACA K.S. 'ICE CAT'	KIT CAT CATMINT	1 GAL	15" D.C.
SH	36	SPYRODUS HEYDORPUS	PIRANHA CUSCUTCH	1 GAL	

MATERIAL SCHEDULE

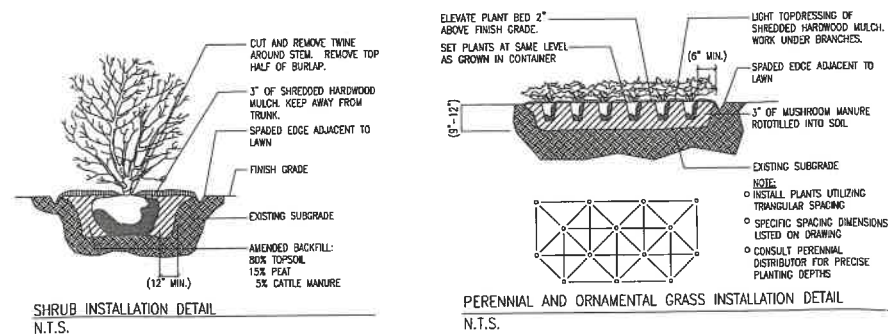
MATERIAL SCHEDULE			
KEY	QUANTITY	MATERIAL	REMARKS
-	2 C.Y.	MURCH	SHEDWOOD HARDWOOD
-	3 C.Y.	CONCRETE	MUSHROOM COMPOST
-	80 S.Y.	GRASS	KENTUCKY BLUEGRASS B.

GENERAL NOTES

1. QUANTITY LISTS ARE SUPPLIED AS A CONVENIENCE. CONTRACTOR SHALL VERIFY ALL QUANTITIES.
2. CONTRACTOR SHALL VERIFY LOCATIONS OF ALL ABOVE GROUND AND UNDERGROUND UTILITIES PRIOR TO BEGINNING.
3. PLANT MATERIAL SHALL BE NURSERY GROWN AND BE OTHER BALL AND BURLEPPED OR CONTAINER GROWN. SIZES INDICATED ON PLANT LIST REPRESENT MINIMUM REQUIREMENTS. THE REQUIREMENTS FOR MEASUREMENT, BRANCHING AND BALL SIZE SHALL CONFORM TO THE "AMERICAN STANDARD FOR NURSERY STOCK" (LATEST EDITION) BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION. PLANT MATERIAL FOR GROUPINGS ON WHERE SPECIFIED IS CRITICAL, SHALL BE MATCHED AS NEARLY AS POSSIBLE.
4. CONTRACTOR SHALL OBTAIN ONE (1) COMPLETE SOIL ANALYSIS REPORT BY A CERTIFIED SOIL TESTING LABORATORY, INCLUDING RECOMMENDATIONS FOR SPECIFIC SOIL AMENDMENTS. SAMPLES ARE TO BE TAKEN PRIOR TO INSTALLATION OF PLANT MATERIALS AND ANY ADDITION OF SOIL AMENDMENTS.

MATERIAL SCHEDULES AND GENERAL NOTES

SCALE: N.T.S.



LANDSCAPE INSTALLATION DETAILS

SCALE: N.T.S.

[illegible]

SCALE: AS NOTED

DATE: 12.19.2024

DRAWN: SW

APPROVED: MH

PROJECT #: 23.12.15

SHEET NUMBER:

L-1



PROSPECT HEIGHTS FIRE
PROTECTION DISTRICT
FIRE STATION 9
10 E. CAMP MCDONALD ROAD
PROSPECT HEIGHTS, IL 60070
PLANNING & ZONING
BOARD OF APPEALS
JANUARY 29, 2025



1 SOUTH ELEVATION



2 SOUTHEAST ELEVATION

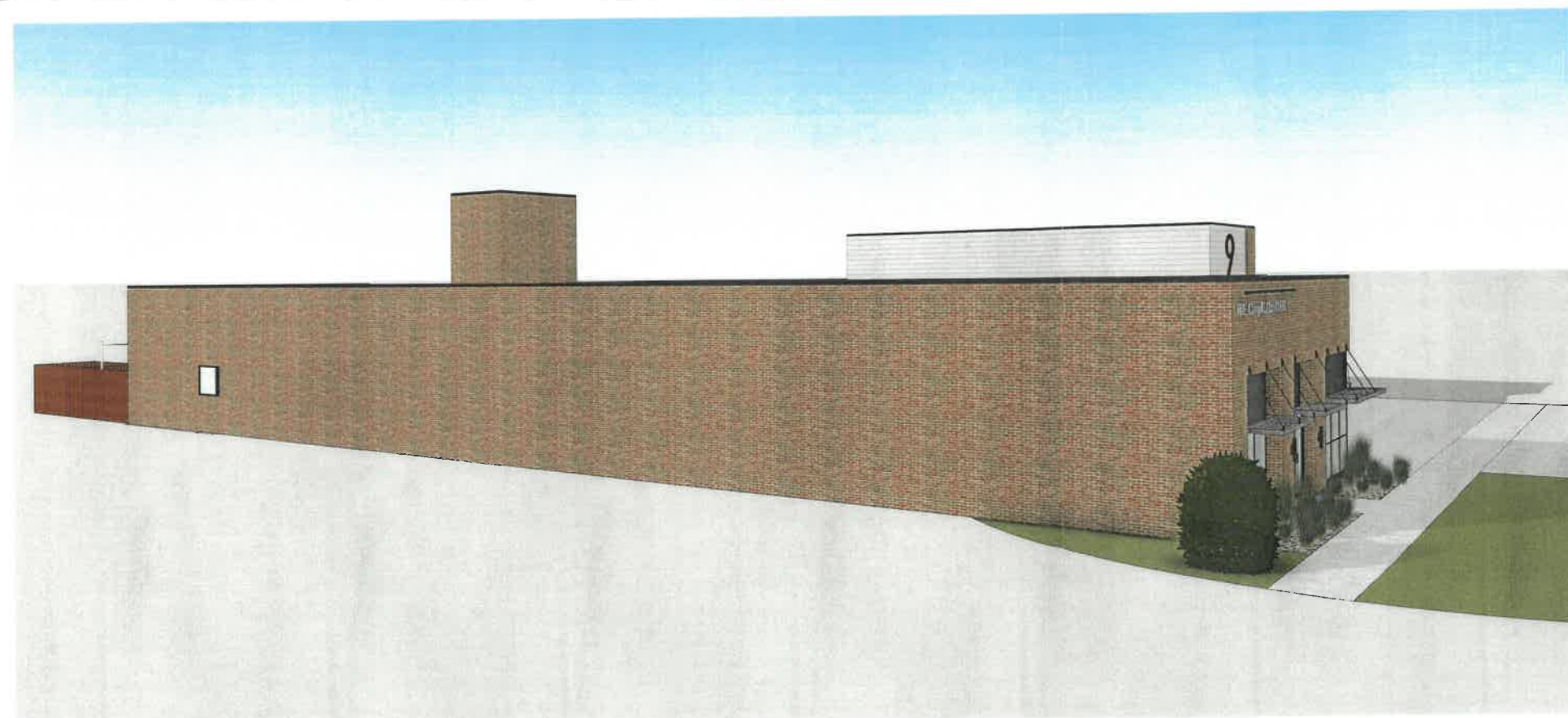


PROSPECT HEIGHTS FIRE
PROTECTION DISTRICT
FIRE STATION 9
10 E. CAMP McDONALD ROAD
PROSPECT HEIGHTS, IL 60070

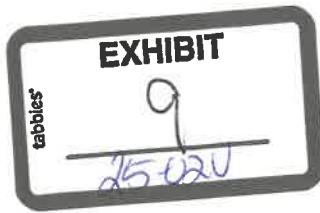
PLANNING & ZONING
BOARD OF APPEALS
JANUARY 29, 2025



1 NORTH ELEVATION



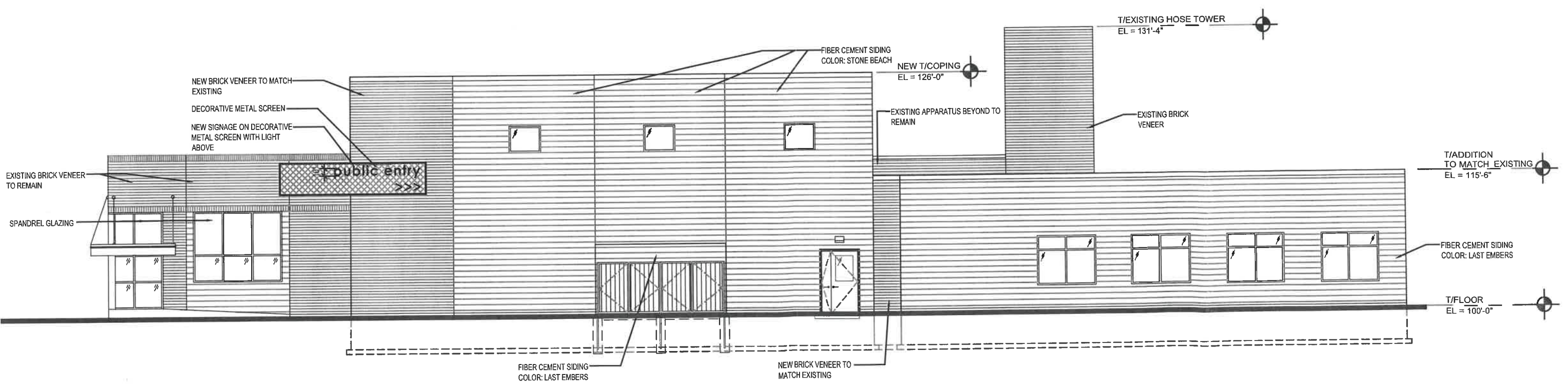
2 WEST ELEVATION



PROSPECT HEIGHTS FIRE PROTECTION DISTRICT
FIRE STATION 9
10 E. CAMP McDONALD ROAD
PROSPECT HEIGHTS, IL 60070
PLANNING & ZONING BOARD OF APPEALS
JANUARY 29, 2025



1 SOUTH ELEVATION
SCALE: 3/32" = 1'-0"

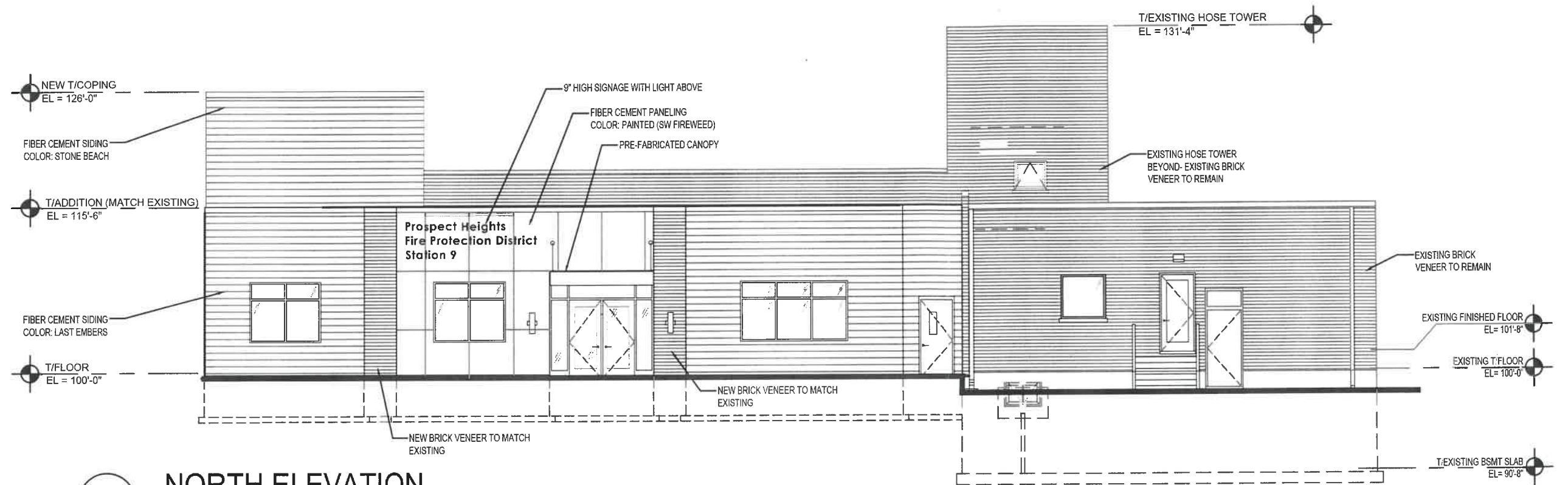


2 EAST ELEVATION
SCALE: 3/32" = 1'-0"

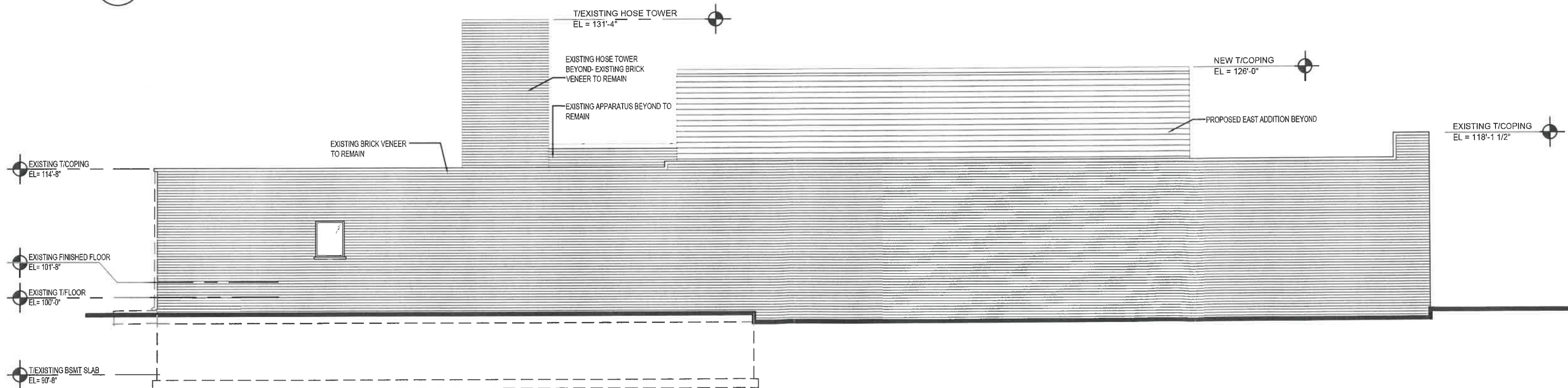


PROSPECT HEIGHTS FIRE
PROTECTION DISTRICT
FIRE STATION 9
10 E. CAMP McDONALD ROAD
PROSPECT HEIGHTS, IL 60070

PLANNING & ZONING
BOARD OF APPEALS
JANUARY 29, 2025



1 NORTH ELEVATION
SCALE: 3/32" = 1'-0"



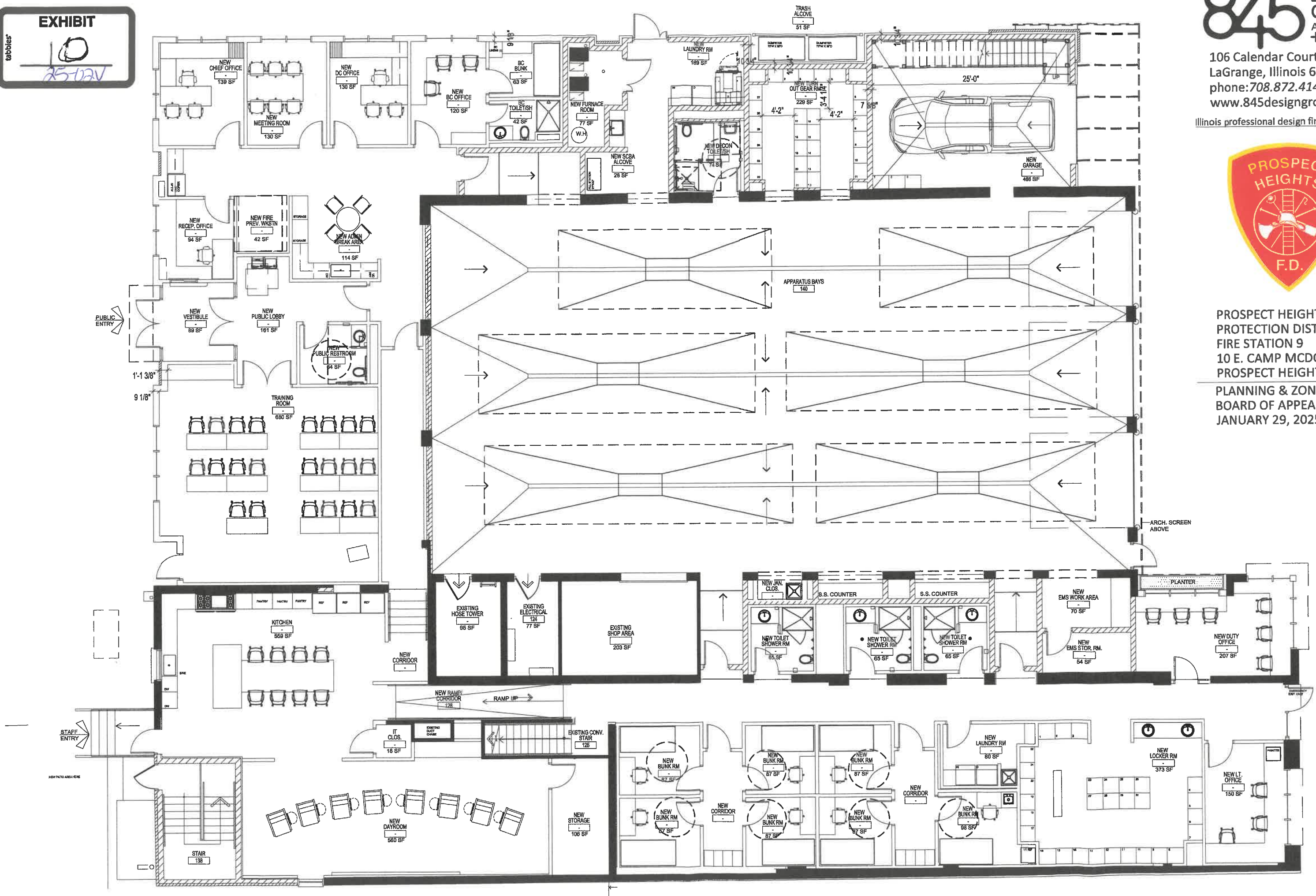
2 WEST ELEVATION
SCALE: 3/32" = 1'-0"

EXHIBIT
tabbies
25-122V

845 DESIGN GROUP
Architects + Planners
106 Calendar Court, N
LaGrange, Illinois 6052
phone: 708.872.4146
www.845designgroup.
Illinois professional design firm #1



PROSPECT HEIGHTS F
PROTECTION DISTRICT
FIRE STATION 9
10 E. CAMP McDONALD
PROSPECT HEIGHTS, IL
PLANNING & ZONING
BOARD OF APPEALS
JANUARY 29, 2025



1

PROPOSED FLOOR PLAN

SCALE: 3/32" = 1'-0"



RECEIVED
Page 44 of 95

Zoning Review



Date: January 14, 2025

Reviewer: Daniel A. Peterson, Director of Building & Development

Applicant: Chief Drew Smith, Prospect Heights Fire District

Subject Property: 10 E. Camp McDonald Rd.

Application: Special Use Expansion Special Use in R-1 District – Section 5-6-1 B
Variations: 1. Side and Rear Yard Setback – Section 5-6-1 E2
2. Parking Reduction – Section 5-8-6 A

Project: Proposed Addition to the Existing Fire Station

Documents Reviewed: Completed Application. See list of exhibits in packet.

Applicable Zoning & Building Code Sections: Special Use: 5-6-1 B
Yard Areas: 5-6-1 E2 Interior Side Yard
Yard Areas: 5-6-1 E5 Rear Yard
Required Parking: 5-8-6 Schedule of Parking
Variation Standards 5-10-8
Special Use Standards 5-10-9

Current Zoning: R-1 Single Family Residential District
Current Use: Fire Station – Special Use

Request: The petitioner is seeking an expansion of the existing special use and three variations.

1. Amend Existing Special Use, 5-10-9 A for the structural alteration to the existing 9,981 sq. ft. fire station to construct a ±3,855 sq. ft. addition creating 8,390 sq. ft. of office/living space and 5,445 sq. ft. of apparatus garage bays.
2. Variation to Section 5-6-1 E2. to reduce the required east interior side yard from 15' to 7.66'; and
3. Variation to Section 5-6-1 E5 to allow a reduction in the required rear yard from 50' to 45' 11" along the north property line.

4. Variation to Section 5-8-6 Schedule Parking to allow a reduction of required parking from 27 spaces to 9.

5-10-9: SPECIAL USES:

A. Authorization: The locations, construction, extension, or structural alteration of any use for which a special use permit is required pursuant to the provisions of this title may be authorized by a permit issued by the corporate authorities, subject to the standards set forth herein, and such conditions as may be imposed pursuant to this chapter. Prior to such authorization, a public hearing shall be held and a published notice shall be given, in the manner prescribed for amendments by this title.

B. Application For Special Use: Any person owning or having interest in the subject property may file an application to use such land for one or more of the special uses provided for in this title in the zoning district in which the land is situated.

Response: **The applicant, Prospect Heights Fire Prevention District, Chief Drew Smith, own the property have the right to apply for the expansion of the existing Special Use for a Fire Station in the R-1 Single-Family District.**

C. Notice Of Hearing: The same procedure for notice of hearing as required for variations (subsection [5-10-8D](#) of this chapter) shall be followed for special use. (Ord. 0-77-27, 7-18-1977)

Response: **Notice was published and has met the notice requirements.**

D. Notice To Property Owners: The petitioner for a special use permit shall notify all property owners within three hundred fifty feet (350'), excluding public land and rights of way, but in no event more than four hundred fifty feet (450'), in each direction of the petitioner's property lines, by certified mail or individual notice executed by said property owners, of the date, hour and location of the public hearing and the special use requested. Such notice shall be in the same form as the published public notice and shall be mailed or delivered and executed not less than fifteen (15) and not more than thirty (30) days prior to the date of the public hearing. The owners to be notified are such persons or entities which appear in the authentic tax records of Cook County. Proof of notification shall be submitted by the petitioner to the plan/zoning board of appeals no later than the day of the public hearing. (Ord. 0-06-35, 8-21-2006)

Response: **Applicant has provided proof mailing notice to the property owners with three hundred fifty (350') of the subject property as required.**

E. Standards: No special use shall be recommended by the plan/zoning board of appeals unless said board shall find: (Ord. 0-77-27, 7-18-1977; amd. Ord. 0-03-35, 9-15-2003)

1. That the establishment, maintenance or operation of the special use will not be unreasonably detrimental to or endanger the public health, safety, morals, comfort or general welfare.

Response: **Standard has been met. Fire Stations are a permitted special use in the R-1 Single-Family District and will not be unreasonably detrimental to or endanger the public health safety, morals, comfort or general welfare.**

2. That the special use will not be injurious to the use and enjoyment of other property in the community for the purposes already permitted, nor diminish and impair property values within the community.

Response: **The expansion of the special use for the addition to the Fire Station will provide the Fire District to better serve the community providing essential fire and life safety services and will not diminish or impair property values with the community.**

3. That the establishment of the special use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.

Response: **Standard Met**

4. That adequate utilities, access roads, drainage and/or other necessary facilities have been or are being provided.

Response: **The request is for an expansion of an existing special use and all improvements are currently provided.**

5. That adequate measures have been or will be taken to provide ingress or egress so designed to minimize traffic congestion in the public streets. (Ord. 0-77-27, 7-18-1977)

Response: **Project will result in loss of parking on the east side of the building. An eighteen (18) parking space deficit from Section 5-8-6 will require a variation. Based upon the project scope even with a parking reduction variation, the site will be 6 parking spaces below the stated staff parking needs of the District. The Fire District is pur to enter into a parking agreement for six (6) parking spaces to address department personnel parking needs with the City. The applicant shall provide testimony to address the parking conditions, operational needs and what alternative solutions have been explored to address the parking shortage. The existing access to the parking lot will remain unchanged.**

6. That the special use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may in each instance be modified by the city council pursuant to the recommendations of the plan/zoning board of appeals. (Ord. 0-77-27, 7-18-1977; amd. Ord. 0-03-35, 9-15-2003)

Response: **The special use application will require several variations for a reduction to the required side and rear yards and a reduction of the required parking for the fire station use.**

7. That the area described in the petition does not lie wholly or partly in floodplain, as defined by the flood control ordinances of the city; or, if it does lie wholly or partly within the floodplain, that adequate provisions for storage, runoff control and floodwater retention, as appropriate, have been made.

Response: **The property does not lie within a floodplain.**

F. Conditions And Standards: Prior to granting any special use, the board may recommend, and the city council shall stipulate, such conditions and restrictions upon the establishment, location, construction, maintenance and operation of the special use as deemed necessary for the protection of the public interest and to secure compliance with the standards and requirements specified herein, or as may be from time to time required. (Ord. 0-77-27, 7-18-1977)

Response:

Standards for Variations:

5-10-8: VARIATIONS:

F. Standards For Variations: The plan/zoning board of appeals shall not recommend variation of the regulations of this title unless it shall make findings of fact based upon the evidence as presented that: (Ord. 0-77-27, 7-18-1977; amd. Ord. 0-03-35, 9-15-2003)

1. Special conditions and circumstances exist which are peculiar to the land, structure, or building involved and which are not applicable to other lands, structures, or buildings in the same district.

Response: The existing property, placement of the building and existing parking are existing non-conforming. See Exhibit 3 Hardship and Exhibit 4 Applicant L Letter addressing standards for approval provided by 845 Design Group.

2. Literal interpretation of the provisions of this title would deprive the applicant of rights commonly enjoyed by other properties in the same district under the terms of this title.

Response: See applicants' response in the hardship letter.

3. The alleged hardship has not been directly created by any person presently, or a predecessor in interest, having a proprietary interest in the premises.

Response: 1. Standard met for all three variations.

4. The proposed variation will not be materially detrimental to the public welfare or injurious to other property or improvements in the neighborhood.

Response: Standard met. The proposed addition will provide more functional living/office space and apparatus garage bay for the Fire District that will result in better service to the residents of the City.

5. The proposed variation will not impair an adequate supply of light and air to adjacent property, substantially increase congestion in the public streets, increase the danger of fire, or endanger the public safety.

Response: Standard met for all three variations.

6. The proposed variation will not alter the essential character of the locality.

Response: The overall project will not alter the essential character of the locality. The proposed additions meet lot coverage requirements.

7. The proposed variation is in harmony with the spirit and intent of this title.

Response: Standard met.

8. Granting the variation requested will not confer the applicant any special privilege that is denied by this title to owners of other lands, structures, or buildings in the same district.

Response: Standard will be met as each case is reviewed and granting of the variation is not denying the right of others in the same district to seek the same variation.

9. No nonconforming use of neighboring lands, structures, or buildings in the same district, and no permitted use of lands, structures, or buildings in other districts shall be considered grounds for issuance of a variation. (Ord. 0-77-27, 7-18-1977)

Response: Standard met. This case is based upon the conditions of the property.

10. The plan/zoning board of appeals shall further make a finding that the reasons set forth in the application justify the granting of the variation, and that the variation is the minimum variation that will make possible the reasonable use of the land, building, or structure. (Ord. 0-77-27, 7-18-1977; amd. Ord. 0-03-35, 9-15-2003)

Response: Condition the approval on satisfactory resolution to the parking deficiency.

The board may impose such conditions and restrictions upon the location, construction, design and use of property benefited by a variation as may be necessary or appropriate to comply with the foregoing standards and to protect adjacent property and property values.

Conclusion

Staff believes the project will not create any negative impacts to the neighbors and is in keeping with the character of the neighborhood.

Staff concurs with the request and recommends approval of all three variations.



City of Prospect Heights

Department of Building & Zoning
 8 North Elmhurst Road, Prospect Heights Illinois, 60070-6070
 Office: 847/398-6070 x 211-FAX: 847/590-1854
www.prospect-heights.il.us

MEMORANDUM

Date: May 7, 2025

To: Patrick Ludvigsen and City Council

Cc: Joe Wade, City Administrator

From: Daniel A. Peterson, Director of Building & Development

Subject: Ordinance #O-25-11 Approving a Special Use Permit for an Automobile Rental Facility
 Gitibin & Associates, LLC dba "Go Rentals"
 750 Pinecrest Rd. Prospect Heights, IL

ISSUE: Consideration of a Special Use Permit to allow Go Rentals to operate an automobile rental business located at 750 Pinecrest Rd., Prospect Heights, IL.

BACKGROUND:

The applicant, Ryjka Andelic, Gitibin & Associates, LLC, "Go Rentals" (Applicant) opened a car rental business within the city unaware of the special use permit requirement. Go Rentals provides rental car service to Chicago Executive Airport FBO's Accension and Signature airlines. They also operate in other states and airports.

The PZBA held a public hearing on April 23, 2025, to hear PZBA Case #25-03 SU, an application for a Special Use Permit to allow an automobile rental facility in the B-3 Commercial, Wholesale and General Service District.

Ms. Andelic provided testimony stating how the company operates, and that this facility is the corporate office for the rentals at the CEA. There was discussion regarding safety and security of vehicles. Ms. Andelic stated that there have been no incidents in the time since they opened. She testified that they park up to 40 vehicles regularly at the location and then rotate them to the two FBO's.

After deliberations the PZBA vote 5-0 to recommend approval for a special use permit to allow Go Rentals to operate a car rental business at this location.

Mr. Andelic is requesting a waiver of first reading. Staff concurs with the petitioner's request.

RECOMMENDATION: Waive 1st reading and Approve an Ordinance #O-25-11 granting a Special Use Permit for an Automobile Rentals at 750 Pinecrest Rd, Prospect Heights IL

ORDINANCE NO. O-25-11

**AN ORDINANCE APPROVING A SPECIAL USE PERMIT TO ALLOW VEHICLE
RENTAL USE AT 750 PINECREST RD., PROSPECT HEIGHTS. IL**

(PZBA CASE #25-03 SU)

WHEREAS, Ryjka Andelic, Gitibin & Associates LLC, dba Go Rentals, (Petitioner), has filed an application to operate a car rental facility at 750 Pinecrest Rd., Prospect Heights, Illinois (the “Property”) legally described in Exhibit A; and

WHEREAS, the Zoning Ordinance requires a Special Use Permit to permit automobile rental use in the B-3 Commercial, Wholesale and General Service District; and

WHEREAS, the Plan Zoning Board of Appeals (PZBA) held a public hearing on April 23, 2025, regarding said application; and

WHEREAS, the PZBA has found the application meets the standards for a Special Use Permit and has recommended that the City Council grant such relief; and

WHEREAS, the Mayor and City Council have reviewed the documents pertinent to the application and the recommendations of the PZBA, concurs with the findings of the PZBA and finds that the standards for special use have been met;

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE
CITY OF PROSPECT HEIGHTS, COOK COUNTY, ILLINOIS** as follows:

SECTION ONE. The City Council hereby finds and determines that the facts and conditions set forth in the preamble hereto are true, correct and appropriate and hereby adopt same as part of this Ordinance.

SECTION TWO. That a Special Use Permit is hereby granted for a car rental facility on the Property and shall run with the use and not with the land.

SECTION THREE. That this Ordinance shall be in full force and effect from and after its passage and approval as provided by law.

PASSED and **APPROVED** this 12th day of May 2025.

Patrick Ludvigsen, Mayor

ATTEST:

Lloyd Austin, Deputy Clerk

AYES:

NAYS:

ABSENT:

Published in pamphlet form: May 13th, 2025

Exhibit A

Legal Description 750 Pinecrest Rd.

ARCEL 2: THE WEST 181.46 FEET OF THE EAST 322.76 FEET (EXCEPT THE SOUTH 661.02 FEET THEREOF) OF A TRACT OF LAND DESCRIBED AS FOLLOWS: THE EAST 40 ACRES OF THE WEST HALF OF THE NORTHWEST QUARTER OF SECTION 24, TOWNSHIP 42, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN (EXCEPTING THEREFROM THAT PART TAKEN FOR PALATINE ROAD AND ALSO EXCETPING THEREFROM THAT PART LYING SOUTH OF AND ADJOINING THE SOOUTH LINE OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SAID SECTION 24) IN COOK COUNTY, ILLINOIS.

PARCEL 4: THE WEST 270.0 FEET (EXCEPT THE SOUTH 661.02 FEET THEREOF) OF A TRACT OF LAND DESCRIBED AS FOLLOWS: THE EAST 40 ACRES OF THE WEST HALF OF THE NORTHWEST QUARTER OF SECTION 24, TOWNSHIP 42, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN (EXCEPTING THEREFROM THAT PART TAKEN FOR PALATINE ROAD AND ALSO EXCEPTING THEREFROM THAT PART LYING SOUTH OF AND ADJOINING THE SOUTH LINE OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SAID SECTION 24), IN COOK COUNTY, ILLINOIS

PIN #: 03-24-100-028 and 03-24-100-038



City of Prospect Heights

Department of Building & Zoning
8 North Elmhurst Road, Prospect Heights Illinois, 60070-6070
Office: 847/398-6070 x 211-FAX: 847/590-1854
www.prospect-heights.il.us

MEMORANDUM

Date: March 26, 2025

To: Maciej Kempa, Chairman
Plan/Zoning Board Commissioners

From: Daniel A. Peterson, Director of Building & Development

Subject: PZBA Case No. 25-03 SU – 750 Pinecrest, Prospect Heights, IL
Special Use Permit for a Car Rental Business – Go Rentals

Please be advised that a Special Use Permit is required to operate an Automobile Rental business in the B-3 Commercial, Wholesale and General Services District. The PZBA will conduct a public hearing on Wednesday April 23, 2025, at the next regularly scheduled PZBA meeting.

The applicant, Rajka Andelic, Gitibin & Associates, LLC, dba Go Rentals, is proposing to lease office and parking spaces to operate a car rental business located at the subject property. The business is the car rental provider to Ascension and Signature FBO's at Chicago Executive Airport.

Thank you.



FOR OFFICE USE ONLY:
FEE PAID \$400.00
RECIEPT # ✓ 81267
DATE 3/24/25
RECV'D BY am
CASE # 25-035U
MEETING DATE 4/23/25

PLAN/ZONING BOARD OF APPEALS
APPLICATION

Special use (\$400)
Variation (\$150)
Text Amendment (\$300)

Map Amendment (Refer to Ord. 0-03-18)
Subdivision/PUD (Refer to Ord. 0-03-18)
Lot Consolidation (Refer to Ord. 0-03-18)
Appearance Review

APPLICANT: Gitibin & Associates, LLC
ADDRESS: 4300 Campus Drive, Suite 100
Newport Beach, California 92660
(224) 571-7221

PHONE: _____
ADDRESS OF SUBJECT PROPERTY: 750 Pinecrest Road, Suite 750

PROPERTY IS LOCATED IN THE B3 ZONING DISTRICT.

APPLICABLE SECTION OF ORDINANCE: 5-7-5 C - Special Use

DESCRIPTION OF REQUEST: Automobile storage in connection with passenger rental car operations. There will be no retail operations from this location. However, this location will support retail operations at PWK Airport (1120 S. Milwaukee Ave. & 1100 S. Milwaukee Ave.)

Are there any covenants, conditions, restrictions or floodplain issues concerning type of improvements, setbacks, area or height requirements, occupancy or use limitations, etc. placed on the property and now of record: YES _____ NO X
If yes, pelase describe: _____

Has the property been the subject of previous or pending adminstrative legislative or court action:
YES _____ NO X If yes, give details: _____

The follow items MUST be submitted at time of filling:

1. Application (12 copies)
2. Plat of Survey (12 copies) – must be drawn to scale and indicate the location of the proposed addition or construction and must contain the legal description of the property, along with additional information to support the application. (12 copies) *Note - please include one copy for file no longer than 11x17.
3. Proof of Ownership (1 copy)
4. Letter indicating Hardship (for variations only 12 copies)
5. Notice to Property Owners (1 copy)
6. List of Property Owners (1 copy) obtained from the **Wheeling Township Office, 1616 N. Arlington Heights Rd. Arlington Heights, IL 60004 – Tel.847-259-1515** of all properties lying within 350ft. of property line/subject's property once approved confirmation letter from the City of Prospect Heights is received.
7. Application Fee (cash or check made payable to: City of Prospect Heights)

March 20th 2025
Date:

[Signature]
Signature of Applicant

RECEIVED MAR 21 2025

Go Rentals respectfully requests special use approval for the storage of vehicles at 750 Pinecrest Drive in connection with passenger rental car operations. While there will be no retail operations from this location, the storage of vehicles will support retail operations at nearby PWK Airport (1120 S. Milwaukee Ave. and 1100 S. Milwaukee Ave.).

A family-owned business, Go Rentals was founded in 1995 by brothers Kaye and Kavous Gitibin to meet a clear need for a high-touch, quality vehicle rental service for discerning business and leisure travelers. Since its launch, Go Rentals has grown into a leading rental service company with unrivaled knowledge, experience, and passion for aviation and hospitality in over 250 FBO locations throughout the United States.

Today, Go Rentals continues to cater to the needs of guests as well as aviation, travel, and hospitality professionals, with an extraordinary level of personalized service, beautifully maintained vehicles, and a dedicated team who go to heroic lengths to make the travel experience enjoyable, memorable, and convenient.

By fostering strong, meaningful relationships with clients and partners alike, Go Rentals has continued to expand its reach and reputation to airports, FBOs, world-class hotels and resorts nationwide. Go Rentals is committed to finding, training, and retaining the best talent in aviation, customer service, hospitality, and transportation, who share our company's core values and passion for always putting the client first.

There's an extraordinarily dedicated team of professionals behind our exceptional selection of vehicles. All Go Rentals team members complete our proprietary in-house training program for hospitality and aviation. Go Rentals wants to see our team grow, advance, and thrive. We cultivate a culture of curiosity and continual learning, starting with our proprietary in-house training for all new hires. We promote from within, and encourage our team members to actively engage with our partners, guests, and peers as part of their career development.

At Go Rentals, personal growth matters just as much as professional growth. We have high expectations of our team members. We'll challenge and empower them to fulfill potential, be accountable for our employees' performance, and take ownership of their accomplishments.

Go Rentals is an equal opportunity employer and is committed to fostering a workplace free from discrimination. Our dedication to diversity and inclusion encompasses all aspects of employment, including recruitment, hiring, promotions, and employment practices. We comply with all relevant legislation, including the California Fair Employment and Housing Act (FEHA), Title VII of the Civil Rights Act of 1964, the Age Discrimination in Employment Act (ADEA), the Americans with Disabilities Act (ADA), and other federal laws that prohibit discrimination based on race, color, religion, sex, sexual orientation, gender identity, national origin, age, disability, or any other legally protected characteristic. We ensure that all qualified candidates are considered for employment without regard to any protected characteristic.

RECEIVED MAR 21 2025



Zoning Review

Date: March 26, 2025
Reviewer: Daniel A. Peterson, Director of Building & Development
Applicant: City of Prospect Heights
Subject Property: 750 Pinecrest Rd., Prospect Heights, IL
Application: ZBA #25-03 SU
Special Use Permit for an Automobile Rental Business in the B-3
Commercial, Wholesale and General Services District
Project: Go Rental

Documents Reviewed:

- A. Application prepared by Rajka Andelic, Gitibin & Associates LLC, dba Go Rentals
- B. Deed Legal Description by Voss Brother's, Property Owners
- C. Business Description and Request of Special Use.

Applicable Zoning Code Sections: Special Uses: 5-10-9 and 5-7-5 C

Current Zoning: B-3
Proposed: B-3

Current Use: Commercial/Office Space
Proposed: Automobile Rental and Storage
Unit Area ±: 7,820 sf.

Parking: Class 29. Required parking = 40 spaces. Adequate parking is available
Automobile Rental use.

5-10-9: SPECIAL USES:

A. Authorization: The locations, construction, extension, or structural alteration of any use for which a special use permit is required pursuant to the provisions of this title may be authorized by a permit issued by the corporate authorities, subject to the standards set forth herein, and such conditions as may be imposed pursuant to this chapter. Prior to such authorization, a public hearing shall be held and a published notice shall be given, in the manner prescribed for amendments by this title.

B. Application For Special Use: Any person owning or having interest in the subject property may file an application to use such land for one or more of the special uses provided for in this title in the zoning district in which the land is situated.

Response: The applicant, Go Rentals, Gitibin & Associates, LLC has a lease interest and has right to apply for the Special Use Permit.

C. Notice Of Hearing: The same procedure for notice of hearing as required for variations (subsection [5-10-8D](#) of this chapter) shall be followed for special use. (Ord. 0-77-27, 7-18-1977)

Response: Notice was published and has met the notice requirements.

D. Notice To Property Owners: The petitioner for a special use permit shall notify all property owners within three hundred fifty feet (350'), excluding public land and rights of way, but in no event more than four hundred fifty feet (450'), in each direction of the petitioner's property lines, by certified mail or individual notice executed by said property owners, of the date, hour and location of the public hearing and the special use requested. Such notice shall be in the same form as the published public notice and shall be mailed or delivered and executed not less than fifteen (15) and not more than thirty (30) days prior to the date of the public hearing. The owners to be notified are such persons or entities which appear in the authentic tax records of Cook County. Proof of notification shall be submitted by the petitioner to the plan/zoning board of appeals no later than the day of the public hearing. (Ord. 0-06-35, 8-21-2006)

Response: Notice has been mailed to the property owners with three hundred fifty (350') of the subject property as required.

E. Standards: No special use shall be recommended by the plan/zoning board of appeals unless said board shall find: (Ord. 0-77-27, 7-18-1977; amd. Ord. 0-03-35, 9-15-2003)

1. That the establishment, maintenance or operation of the special use will not be unreasonably detrimental to or endanger the public health, safety, morals, comfort or general welfare.

Response: Standard has been met. The use will not be detrimental to public health safety or general welfare of the community. There is adequate access to parking and roadways to service the two FBO operators at the CEA.

2. That the special use will not be injurious to the use and enjoyment of other property in the community for the purposes already permitted, nor diminish and impair property values within the community.

Response: The Special Use for the automobile rentals will not diminish or impair property values with the community.

3. That the establishment of the special use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.

Response: The proposed special use will not impede normal and orderly development. The facility has adequate parking to support the use.

4. That adequate utilities, access roads, drainage and/or other necessary facilities have been or are being provided.

Response: The special use will be leasing space in an existing occupied facility and all improvements are currently provided.

5. That adequate measures have been or will be taken to provide ingress or egress so designed to minimize traffic congestion in the public streets. (Ord. 0-77-27, 7-18-1977)

Response: **Complies. The existing access to the parking lot will remain unchanged.**

6. That the special use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may in each instance be modified by the city council pursuant to the recommendations of the plan/zoning board of appeals. (Ord. 0-77-27, 7-18-1977; amd. Ord. 0-03-35, 9-15-2003)

Response: **The special use application conforms to the applicable regulations of the B-3 Commercial, Wholesale and General Service District.**

7. That the area described in the petition does not lie wholly or partly in floodplain, as defined by the flood control ordinances of the city; or, if it does lie wholly or partly within the floodplain, that adequate provisions for storage, runoff control and floodwater retention, as appropriate, have been made.

Response: **The property does not lie within a floodplain the use will not impact storm water run-off or retention.**

F. Conditions And Standards: Prior to granting any special use, the board may recommend, and the city council shall stipulate, such conditions and restrictions upon the establishment, location, construction, maintenance and operation of the special use as deemed necessary for the protection of the public interest and to secure compliance with the standards and requirements specified herein, or as may be from time to time required. (Ord. 0-77-27, 7-18-1977)

Response: **No additional conditions or restrictions are recommended by staff.**

Conclusion:

The project meets both the general requirements and standards for a Special Use Permit for a Automobile Rental use. Staff support the request for granting the special use.

Resolution R-25-33
A Resolution Approving Bid and Contract for Public Works excavator

WHEREAS, the City of Prospect Heights reviewed multiple sources for equipment under joint and state purchase programs; and

WHEREAS, the City Council of the City of Prospect Heights finds that the lowest responsible bid is Altorfer Cat on the Sourcewell Governmental Discount program #011723-CAT. Equipment Caterpillar 305-07a CR Mini Hydraulic Excavator \$80,734.00 not to exceed \$82,000 for purchase.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Prospect Heights, Cook County, Illinois as follows:

Section One: That the Purchase Order (attached hereto as Exhibit A) with Aldorfer Cat for one excavator is hereby approved and accepted.

Section Two: That the Mayor, or his designee, is authorized to take all necessary steps to implement this Resolution.

Section Three: That this Resolution shall be in full force and effect from and after its passage and approval as required by law.

PASSED AND APPROVED this 12th day of May, 2025.

Patrick Ludvigsen, Mayor

ATTEST:

Deputy Clerk

AYES:

NAYES:

ABSENT:

Exhibit A

Contract with Aldorfer Cat



129813-01

Jan 29, 2025

CITY OF PROSPECT HEIGHTS
CITY HALL
8 NORTH ELMHURST ROAD
PROSPECT HEIGHTS, IL 60070

Attention: MARK ROSCOE



Dear Mark Roscoe,

We would like to thank you for your interest in our company and our products and are pleased to quote the following for your consideration.

ONE (1) NEW CATERPILLAR MODEL: 305-07A CR MINI HYDRAULIC EXCAVATOR WITH ALL STANDARD EQUIPMENT IN ADDITION TO THE ADDITIONAL SPECIFICATIONS LISTED BELOW:

STOCK NUMBER: Y00277

SERIAL NUMBER: 05G504173

YEAR: 2024

SMU: 3.30

We wish to thank you for the opportunity of quoting on your equipment needs. This quotation is valid for 30 days, after which time we reserve the right to re-quote. If there are any questions, please do not hesitate to contact me. **In closing, we do greatly appreciate this opportunity to earn your business. We are confident that our products, backed by our unparalleled product support after the sale, will exceed your expectations.**

Sincerely,

Gil Contreras

Gil Contreras
Machine Sales Representative

ONE (1) NEW CATERPILLAR MODEL: 305-07A CR MINI HYDRAULIC EXCAVATOR WITH ALL STANDARD EQUIPMENT IN ADDITION TO THE ADDITIONAL SPECIFICATIONS LISTED BELOW:

STANDARD EQUIPMENT

POWERTRAIN -Cat C1.7T diesel engine -- U.S. EPA tier 4 final -- EU stage V -- ISO 9249/EEC 80/1270 -- Rated net power 34.1kW -- 2,400 rpm - ISO 9249/EEC 80/1269 -- Electronic engine, turbo, DOC (diesel -oxidation catalyst) -Automatic engine idle -Automatic engine shut-off -Automatic swing brake -Automatic two speed travel -Fuel and water separator with indicator -Radial seal, double element air filter -with restrictions indicator -

HYDRAULICS -Smart tech electronic pump -Variable displacement piston pump -Load sensing & flow sharing hydraulics -Power on demand -Hydraulic temperature monitoring -Accumulator - certified.

ELECTRICAL -12-volt electrical system -85 ampere alternator -650 CCA maintenance free battery -Battery disconnect -Circuit breaker -Ignition key stop switch -Signaling/warning horn -Work lights -- Cab, boom left -- Courtesy safety light.

OPERATOR ENVIRONMENT -Sealed and pressurized unitized cab -Operator sound pressure 72 dB(A) ISO6396 -Integrated lower front window -Rear window emergency exit -Radio - Bluetooth, USB, aux, mic -12V power socket -Ergonomic joystick control levers -Adjustable wrist rests -Pattern changer -Color LCD monitor -- Fuel level, coolant temperature and -warning indicator -- Maintenance and machine monitoring -- Performance & machine adjustments -- Numeric security code -- Multiple languages -- Hour meter -- Jog dial control interface -Coat hook -Cup holder -Hydraulic lockout controls -Literature holder -Molded footrests -Removable washable floor mat -Retractable fluorescent "high - visibility" seat belt -Travel control pedals with hand levers -Utility space for mobile phone - skylight -mounting bosses for top & front guards

FLUIDS -Extended life coolant - 37C -Hydro advanced hydraulic oil

OTHER STANDARD EQUIPMENT -Cat key with passcode option -Locks on external enclosure doors -Lockable fuel cap -Beacon socket -Ecology drain - engine oil -Side by side engine & hydraulic -oil cooler -Stick steer mode -Cruise control mode -Power on demand -Rear reflectors -Roll-over protective structure (ROPS) -(ISO 12117-2) -Product Link PL243 (regulations apply) -Auxiliary hydraulic lines -- 1-way and 2-way (combined function) -- Auxiliary line quick disconnects -- Adjustable auxiliary flow -- Continuous flow -- Adjustable auxiliary relief -Thumb ready stick -



MACHINE SPECIFICATIONS

305 07A CR MHE DCA3A	610-5456
MIRROR, CAB, RIGHT	428-7870
BELT, SEAT, 3" RETRACTABLE	510-6085
WATER JACKET HEATER, 120V	519-8302
CAT KEY, WITH PASSCODE OPTION	522-6460
BOOM, SWING	527-7599
LINES, BOOM	527-7611
TRACK, 16", RUBBER BELT	527-7627
SOFTWARE, PROPORTIONAL CONTROL	557-1709
SOFTWARE, STICK STEER CONTROL	557-1710
SOFTWARE, 2 WAY CONTROL	557-1711
SOFTWARE, CODED START	557-1713
305 07A CR MINI EXCAVATOR	576-7009
CAB, WITH HEAT AND A/C	576-7025
COUNTERWEIGHT, STANDARD	576-9149
ALARM, TRAVEL	579-8852
ELECTRICAL ARR, C1.7 HRC	579-8859
LIGHTS, LED, REAR	579-8870
INTEGRATED RADIO	579-8873
MONITOR NEXT GEN, CAMERA READY	579-8876
PRODUCT LINK, CELLULAR PL243	579-8889
CAMERA, REAR VIEW	579-8892
LINES, STICK	584-3653
LINKAGE BUCKET W/LIFTING EYE	584-4306
INSTRUCTIONS, ANSI	595-7021
HYDRAULIC OIL	595-9905
STICK, LONG, WITH 1ST AUX	596-7594
BLADE, STD, BOCE	597-0753
ENGINE, EPA TIER 4 FINAL	611-2416
LIGHTS, LED	579-8868
CONTROL, QC, 3 LINE	584-4311
LINES, QC, LNG STK, 3 LINE	586-0416
FILM, INC. CANADA	552-5984
LANE 1 ORDER	0P-9001
SERIALIZED TECHNICAL MEDIA KIT	421-8926
SHIPPING/STORAGE PROTECTION	0P-2266
PACKING, LAST MILE PROGRAM	0P-4299
DEALER PDI SERVICES - STANDARD	617-2838
FUEL-BULK	343-5820
COUPLER, PG, HYDR.D.LOCK, 5-6T	485-5301
BUCKET-HD, 24", 4.6 FT3, 5T	464-9911
PINS, BUCKET, 45MM	282-2785
FLAIL MOWER, HMF110	504-6010
KIT, CASE DRAIN, MHE 4-6T NG	609-6156

WARRANTY & COVERAGE

Standard Warranty: 24 Months/2,000 Hours Full Machine Standard Warranty

LIST PRICE	\$113,997.00
FREIGHT & DEALER PREP	\$2,350.00
SOURCEWELL GOVERNMENTAL DISCOUNT	(\$35,613.00)
NET BALANCE DUE Excavator + Bucket	\$80,734.00


EXTENDED WARRANTY OPTIONS:

Options to Add Extended Warranties: You have the option to add extended machine warranty. We can tailor these options available to you however you want. Just tell us what you need, and we will do our best to meet or exceed your expectations. Here are just a few examples of some Extended Warranty options:

Warranty	Sell
305-36 MO/3000 HR POWERTRAIN	\$110.00
305-36 MO/3000 HR POWERTRAIN + HYDRAULICS	\$280.00
305-36 MO/3000 HR POWERTRAIN + HYDRAULICS + TECH	\$290.00
305-36 MO/3000 HR PREMIER	\$510.00

ALTORFER

PURCHASE ORDER FORM

PUBLIC WORKS
401 PIPER LANE
PROSPECT HEIGHTS, IL 60070
(847) 398-6070 x 264 TEL.
(847) 459-0618 FAX

TAX NO. E99757745

DATE: 5/2/2025

PURCHASE ORDER: 20250502PW

**This order number MUST appear on all packages, correspondence, invoices, shipping documents, etc.



SHIP / INVOICE TO:

☐ Prospect Heights City Hall
8 N. Elmhurst Road
Prospect Heights, IL 60070

☒ Prospect Heights Public Works
401 Piper Lane
Prospect Heights, IL 60070

☐ Prospect Heights Police Dept.
14 E. Camp McDonald Rd.
Prospect Heights, IL 60070

☐

COMPANY NAME & ADDRESS

Altorfer Cat

1030 E Main St.
East Dundee, IL, 60118
630-538-1088
Gil Contreras
gil.contreras@altorfer.com

DEPARTMENT	ACCOUNT NUMBER	SHIP VIA
Public Works	State Purchase Sourcwell # 011723-CAT	

DEPARTMENT CODE	UNIT PRICE	QUANTITY ORDERED	QUOTE/ORDER #	PRODUCT DESCRIPTION	TOTAL PRICE
	\$80,734.00	1	129813-01	CAT 305-07A Mini Excavator	\$80,734.00

TERMS AND CONDITIONS OF PURCHASE

1. This order may not be filled at a price higher than shown without authorization the purchasing department.
2. All material must conform to specifications submitted and/or shown hereon.
3. Receiving Department hours of operation: Monday-Friday 8:30 a.m. to 4:30 p.m.

Mark Roscoe - PW Director
from **EMPLOYEE REQUEST**

PURCHASE ORDER AUTHORIZATION



To: Mayor Ludvigsen and Members of the City Council
From: Joe Wade, City Administrator
Subject: Saints Becket and Liguori Parish Carnival
Date: May 7, 2025

Background

Staff has been working with Saints Becket and Liguori Parish in assisting in the planning of their Summer Carnival, June 12-15, 2025,

Hours of the event are:

Thursday, 5-10pm

Friday, 5-11pm

Saturday, 12-11pm

Sunday, 1-8pm

The attached Parish Carnival Plan outlines the event's activity, entertainment, food/alcohol proposal.

Analysis

City concerns are related to public safety, traffic and mitigating the impact on surrounding neighbors. Staff advised Parish Carnival planners of the following requirements:

- Security- The event will pay for two police officers during peak hours.
- Parking- To mitigate the impact of overflow parking on neighboring residential streets, the event will run shuttle buses (2) from the Saint Becket property on Burning Bush, Prospect Heights.
- Amusement rides and food trucks will be checked by appropriate staff for public safety concerns prior to operation.

- Appropriate bathrooms, per anticipated crowd size, are available within the Parish facility

Recommendation

Staff expresses their appreciation to the event planning staff for their cooperation in meeting City requirements. Event planners have also demonstrated knowledge and expertise in addressing event needs that are internal to the festival. Staff recommends approval of this special event, and we extend our best wishes for the success of the festival.

Carnival Plan

1. Organizer-SS.T. Becket & Liguori Parish

2. Address 411 N. Wheeling Rd, Prospect Heights

3. Date June 12-15

Thursday 5-10 pm

Friday 5-11 pm

Saturday 12-11 pm

Friday 1-8 pm

4. Fri-Sun, Food Trucks will be selling food

-Tacomotora-Spanish food

-I love grill and Lemonade-Polish and American food

-Aca Service (sweet snack)-sweet desserts

5. Beer Garden place where adults only over 21 will be able to buy alcohol-canned beer and wine

6. DJ Marek Kalinowski will play music for kids and adults on Friday from 5-10 pm and Sunday from 1 pm to 6 pm. 7. DJ Olaf will be playing music on Saturday from 4 pm to 10 pm

8. Dzika Show - Aerobics for children and adults 4 pm-5 pm

9. Polonia Orchestra Chicago will play a concert on Saturday at 5pm-6pm

10. Car Show - PRL cars - 10 Old Polish Cars will be parked in the parking lot and guests will be able to take pictures

11. Clown Lulu - will entertain children and paint their faces on Fri, Sat, Sun.

12. Business Expo - local businesses will be exhibiting their services in the gym on Sat, 12-9 pm, and Sun, 1-7 pm. 13. Rock band GPE Band - our parishioner and his friends will play for the youth on Friday from 7 to 8:30 pm

14 On Sunday, -Father's Day- two children's bands from our Parish will perform. They will sing songs for children and parents

14. All volunteers will have bright T-shirts with the word's "volunteer".

15. Advertising and announcements - parish bulletin, radio, newspapers, local shops, social media

**CITY OF PROSPECT HEIGHTS
WARRANT LIST SUMMARY
5/12/2025**

Checks

General Fund	\$ 261,466.08
Motor Fuel Tax Fund	-
Tourism District	1,593.99
Solid Waste Fund	34,050.00
Drug Enforcement Agency Fund	-
Special Service Area #1	-
Special Service Area #2	-
Special Service Area #3	-
Special Service Area #4	-
Special Service Area #5	110.42
Special Service Area-Constr#6(Water Main)	-
Special Service Area #8 - Levee Wall #37	-
Capital Improvements	109,472.22
Special Service Area-Debt#6	600.00
Road Construction Debt	-
Water Fund	11,521.49
Parking Fund	782.38
Sanitary Sewer Fund	5,204.36
Road/Building Bond Escrow	11,083.90
TOTAL	\$ 435,884.84

Wire Payments

05.02.25 PAYROLL	\$ 182,149.68
TOTAL WARRANT	\$ 618,034.52

Report Criteria:

Detail report.

Invoices with totals above \$0.00 included.

Paid and unpaid invoices included.

Vendor Name	Invoice Number	Description	Invoice Date	GL Account Number	Net Invoice Amt	Amount Paid	Date Paid
ADAM BIONDO	04282025	MEAL ALLOWANCE PER CONT	04/28/2025	51-300-4010	20.00	.00	
Total ADAM BIONDO:					20.00	.00	
AKERMAN LLP	10070401	SERVICES	04/21/2025	01-324-5123	24,297.00	.00	
AKERMAN LLP	10070401	DISBURSEMENTS	04/21/2025	01-324-5123	33.33	.00	
AKERMAN LLP	10070402	MAP 253 NEGOTIATIONS	04/21/2025	01-324-5123	4,368.00	.00	
Total AKERMAN LLP:					28,698.33	.00	
ALEK MENDEZ	04282025	OVERTIME MEAL ALLOWANCE	04/28/2025	51-300-4010	20.00	.00	
Total ALEK MENDEZ:					20.00	.00	
ALLEGRA MARKETING	105644	WINDOW ENVELOPES	04/28/2025	01-320-5700	332.19	.00	
Total ALLEGRA MARKETING:					332.19	.00	
ALPHA PRIME COMMUNICATIO	120236	PD RADIO EQUIP	04/24/2025	01-350-5020	1,010.00	.00	
Total ALPHA PRIME COMMUNICATIONS:					1,010.00	.00	
AMERI-SHINE INC.	2nd Qtr	PD CARPET CLEANING	05/05/2025	01-360-5610	250.00	.00	
AMERI-SHINE INC.	2nd Quarter 20	GYM PD CLEANING	05/05/2025	01-350-5104	400.00	.00	
Total AMERI-SHINE INC.:					650.00	.00	
ANDREW HART	04142025	SAFETY BOOTS	05/01/2025	01-340-5100	314.99	.00	
ANDREW HART	05042025	APR 25 PHONE REIMBURSEME	05/05/2025	01-340-5100	50.00	.00	
Total ANDREW HART:					364.99	.00	
CANON FINANCIAL SERVICES	40461772	MAY 25 CH COPIER	05/02/2025	01-340-7020	198.97	.00	
Total CANON FINANCIAL SERVICES:					198.97	.00	
CARDMEMBER SERVICE	3/21-4/18/2025	WATERCON TRAINING	04/18/2025	51-300-5330	444.74	.00	
CARDMEMBER SERVICE	3/21-4/18/2025	SAFETY GRANT SUPPLIES	04/18/2025	01-320-7020	519.99	.00	
CARDMEMBER SERVICE	3/21-4/18/2025	MAR-APR25 CH COMCAST	04/18/2025	01-320-5410	216.90	.00	
CARDMEMBER SERVICE	3/21-4/18/2025	POLICE SMALL EQUIP	04/18/2025	01-360-7022	70.32	.00	
CARDMEMBER SERVICE	3/21-4/18/2025	FEB25ATT	04/18/2025	01-320-5410	642.98	.00	
CARDMEMBER SERVICE	3/21-4/18/2025	PW FURNITURE	04/18/2025	01-350-5710	78.00	.00	
CARDMEMBER SERVICE	3/21-4/18/2025	ANNUAL FEE	04/18/2025	01-310-5100	209.90	.00	
CARDMEMBER SERVICE	3/21-4/18/2025	INVESTIGATION EQUIP	04/18/2025	01-365-5983	93.09	.00	
CARDMEMBER SERVICE	3/21-4/18/2025	WATERCON TRAINING	04/18/2025	51-300-5330	444.74	.00	
CARDMEMBER SERVICE	3/21-4/18/2025	NCR SUPPLIES	04/18/2025	01-310-5960	452.34	.00	
CARDMEMBER SERVICE	3/21-4/18/2025	CH SIGNS	04/18/2025	01-350-5710	572.02	.00	
CARDMEMBER SERVICE	3/21-4/18/2025	COFFEE FOR PD,PW, ADMIN	04/18/2025	01-350-5700	60.35	.00	
CARDMEMBER SERVICE	3/21-4/18/2025	AV SUPPLIES	04/18/2025	01-310-7020	173.06	.00	
CARDMEMBER SERVICE	3/21-4/18/2025	ICLOUD	04/18/2025	01-350-7025	.99	.00	
CARDMEMBER SERVICE	3/21-4/18/2025	PW TV	04/18/2025	01-350-5710	748.00	.00	
CARDMEMBER SERVICE	3/21-4/18/2025	PD GATE ARM	04/18/2025	01-350-5710	188.99	.00	
CARDMEMBER SERVICE	3/21-4/18/2025	COMCAST 101 N WOLF	04/18/2025	52-300-5410	171.35	.00	

Vendor Name	Invoice Number	Description	Invoice Date	GL Account Number	Net Invoice Amt	Amount Paid	Date Paid
CARDMEMBER SERVICE	3/21-4/18/2025	MAR25 COMCAST PD	04/18/2025	01-360-5410	324.17	.00	
CARDMEMBER SERVICE	3/21-4/18/2025	OFFICE SUPPLIES	04/18/2025	01-360-5700	27.52	.00	
CARDMEMBER SERVICE	3/21-4/18/2025	SMALL EQUIPMENT	04/18/2025	01-360-7022	58.97	.00	
CARDMEMBER SERVICE	3/21-4/18/2025	PRINTER INK	04/18/2025	01-350-5710	745.34	.00	
CARDMEMBER SERVICE	3/21-4/18/2025	NCR SUPPLIES	04/18/2025	01-310-5960	34.98	.00	
CARDMEMBER SERVICE	3/21-4/18/2025	OFFICE SUPPLIES	04/18/2025	01-360-5700	26.50	.00	
CARDMEMBER SERVICE	3/21-4/18/2025	FEB25ATT	04/18/2025	01-350-5410	197.82	.00	
CARDMEMBER SERVICE	3/21-4/18/2025	POLICE SMALL EQUIP	04/18/2025	01-360-7022	3,524.38	.00	
CARDMEMBER SERVICE	3/21-4/18/2025	FEB25ATT	04/18/2025	51-300-5410	610.00	.00	
CARDMEMBER SERVICE	3/21-4/18/2025	NCR SUPPLIES	04/18/2025	01-310-5960	56.20	.00	
CARDMEMBER SERVICE	3/21-4/18/2025	POLICE SMALL EQUIP	04/18/2025	01-360-7022	56.76	.00	
CARDMEMBER SERVICE	3/21-4/18/2025	SMALL EQUIP	04/18/2025	01-360-7022	43.65	.00	
CARDMEMBER SERVICE	3/21-4/18/2025	COFFEE FOR PD,PW, ADMIN	04/18/2025	01-320-5700	60.34	.00	
CARDMEMBER SERVICE	3/21-4/18/2025	EQUIPMENT	04/18/2025	01-310-7020	16.98	.00	
CARDMEMBER SERVICE	3/21-4/18/2025	NCR SUPPLIES	04/18/2025	01-310-5960	17.49	.00	
CARDMEMBER SERVICE	3/21-4/18/2025	FLOOR LINER	04/18/2025	01-350-5020	130.95	.00	
CARDMEMBER SERVICE	3/21-4/18/2025	NCR SUPPLIES	04/18/2025	01-310-5960	29.92	.00	
CARDMEMBER SERVICE	3/21-4/18/2025	PD WALL BOARD	04/18/2025	01-350-5710	17.99	.00	
CARDMEMBER SERVICE	3/21-4/18/2025	LABELS	04/18/2025	01-350-5700	97.72	.00	
CARDMEMBER SERVICE	3/21-4/18/2025	SAFETY GRANT SUPPLIES	04/18/2025	01-320-7020	290.98	.00	
CARDMEMBER SERVICE	3/21-4/18/2025	SWEARING IN	04/18/2025	01-360-5710	31.57	.00	
CARDMEMBER SERVICE	3/21-4/18/2025	POLICE SMALL EQUIP	04/18/2025	01-360-7022	547.99	.00	
CARDMEMBER SERVICE	3/21-4/18/2025	PW DATA 3/6/25	04/18/2025	01-350-5410	216.35	.00	
CARDMEMBER SERVICE	3/21-4/18/2025	PW SUPPLY	04/18/2025	01-350-5710	194.95	.00	
CARDMEMBER SERVICE	3/21-4/18/2025	FTO PINS	04/18/2025	01-360-7022	57.84	.00	
CARDMEMBER SERVICE	3/21-4/18/2025	COFFEE FOR PD,PW, ADMIN	04/18/2025	01-360-5700	60.34	.00	
CARDMEMBER SERVICE	3/21-4/18/2025	IACP MEMBERSHIP	04/18/2025	01-360-5310	220.00	.00	
CARDMEMBER SERVICE	3/21-4/18/2025	SAFETY GRANT SUPPLIES	04/18/2025	01-320-7020	440.86	.00	
CARDMEMBER SERVICE	3/21-4/18/2025	NCR SUPPLIES	04/18/2025	01-310-5960	313.28	.00	
CARDMEMBER SERVICE	3/21-4/18/2025	TRAINING CODE	04/18/2025	01-340-5330	935.00	.00	
CARDMEMBER SERVICE	3/21-4/18/2025	PW SUPPLY	04/18/2025	01-350-5710	52.91	.00	
CARDMEMBER SERVICE	3/21-4/18/2025	FEB25ATT	04/18/2025	01-360-5410	197.82	.00	
CARDMEMBER SERVICE	3/21-4/18/2025	CITATION ENVELOPES	04/18/2025	01-360-5221	224.94	.00	
Total CARDMEMBER SERVICE:					14,950.27	.00	
CHI-TOWN CLEANING SERVICE	25-0163	CUSTODIAL APRIL 25	05/05/2025	01-350-5104	1,220.90	.00	
Total CHI-TOWN CLEANING SERVICES:					1,220.90	.00	
Classic Plumbing of Illinois	21-315B	BOND REFUND 21-315B	05/06/2025	72-000-2310	1,500.00	.00	
Classic Plumbing of Illinois	21-517B	BOND REFUND 21-517B	05/06/2025	72-000-2310	7,551.40	.00	
Total Classic Plumbing of Illinois:					9,051.40	.00	
COLLEEN ZITKUS	N/A	UNIFORM REIMBURSEMENT	04/29/2025	01-360-5741	115.37	.00	
Total COLLEEN ZITKUS:					115.37	.00	
CONSERV FS INC.	101032269	FUEL 04.30.25	05/05/2025	01-350-5751	3,130.30	.00	
Total CONSERV FS INC.:					3,130.30	.00	
CONSTELLATION NEWENERGY	70523640001	801 E CAMP MCDLD 3.5-4.4.25	04/28/2025	51-300-5410	2,477.55	.00	
CONSTELLATION NEWENERGY	70523640001	0 COR EUCLID 3.18-4.17.25	04/28/2025	01-350-5411	325.55	.00	
CONSTELLATION NEWENERGY	70523640001	900 E OLD WILLOW 3.14-4.15.25	04/28/2025	25-300-5050	110.42	.00	
CONSTELLATION NEWENERGY	70523640001	711 ELM 3.5-4.4.25	04/28/2025	01-350-5411	312.73	.00	
CONSTELLATION NEWENERGY	70523640001	US RT 45 RT 3.18-4.17.25	04/28/2025	01-350-5411	594.28	.00	

Vendor Name	Invoice Number	Description	Invoice Date	GL Account Number	Net Invoice Amt	Amount Paid	Date Paid
Total CONSTELLATION NEWENERGY INC.:					3,820.53	.00	
COOK COUNTY DEPT OF TRAN	2025-1	SIGNAL MAINT 11.02.24-03.31.2	04/29/2025	01-350-5031	1,445.00	.00	
Total COOK COUNTY DEPT OF TRANSPORTATION & HIG:					1,445.00	.00	
CPS ELK GROVE VILLAGE	40V0032049	SQUAD 844	05/05/2025	01-350-5020	122.35	.00	
Total CPS ELK GROVE VILLAGE:					122.35	.00	
DACRA Adjudication System	DT 2025-04-08	DACRA MONTHLY SERVICE FE	05/06/2025	01-360-5100	1,500.00	.00	
Total DACRA Adjudication System:					1,500.00	.00	
DAILY HERALD	332816	BUDGET HEARING NOTICE	04/21/2025	01-320-5222	43.20	.00	
Total DAILY HERALD:					43.20	.00	
DEKIND COMPUTER CONSULT	41813	JUNE 25 IT CONSULT	05/01/2025	01-360-5100	1,644.83	.00	
DEKIND COMPUTER CONSULT	41813	JUNE 25 IT CONSULT	05/01/2025	53-300-5100	939.90	.00	
DEKIND COMPUTER CONSULT	41813	JUNE 25 IT CONSULT	05/01/2025	01-350-5100	704.92	.00	
DEKIND COMPUTER CONSULT	41813	JUNE 25 IT CONSULT	05/01/2025	51-300-5100	704.93	.00	
DEKIND COMPUTER CONSULT	41813	JUNE 25 IT CONSULT	05/01/2025	01-320-5130	704.92	.00	
DEKIND COMPUTER CONSULT	41907	BUILDING PRINTER	04/30/2025	01-340-7020	713.99	.00	
DEKIND COMPUTER CONSULT	41969	APR 25 TRIP CHARGES	05/01/2025	01-320-5130	120.00	.00	
DEKIND COMPUTER CONSULT	41992	ADMIN WIFI	05/06/2025	01-320-5130	858.60	.00	
DEKIND COMPUTER CONSULT	41992	PD FIREWALL & WIFI	05/06/2025	01-360-5100	16,779.88	.00	
Total DEKIND COMPUTER CONSULTANTS:					23,171.97	.00	
DES PLAINES MATERIAL & SUP	6107	WATER MAIN DUMP	04/25/2025	51-300-5634	95.00	.00	
DES PLAINES MATERIAL & SUP	6162	WATER MAIN DUMP	04/25/2025	51-300-5634	322.50	.00	
DES PLAINES MATERIAL & SUP	6176	WATER MAIN SUPPLIES & MAT	04/25/2025	51-300-5634	586.02	.00	
DES PLAINES MATERIAL & SUP	6714	STORM PIPE REPAIR	04/28/2025	51-300-5634	302.75	.00	
DES PLAINES MATERIAL & SUP	6742	STORM PIPE REPAIR	04/29/2025	51-300-5634	172.75	.00	
DES PLAINES MATERIAL & SUP	6804	STORM PIPE REPAIR	04/29/2025	51-300-5634	172.75	.00	
DES PLAINES MATERIAL & SUP	7438	STORM PIPE REPAIR	05/01/2025	51-300-5634	428.25	.00	
DES PLAINES MATERIAL & SUP	7440	LANDSCAPE DIRT	05/01/2025	01-350-5650	82.00	.00	
DES PLAINES MATERIAL & SUP	8561	STORM PIPE REPAIR	05/06/2025	51-300-5634	417.25	.00	
Total DES PLAINES MATERIAL & SUPPLY:					2,579.27	.00	
Doreen Perkins	05.01.25	REFUND OVRPYMNT #7072900	05/05/2025	53-100-3884	636.96	.00	
Total Doreen Perkins:					636.96	.00	
FOOD & ALCOHOL SERVICE TR	2025-6	HEALTH INSP MAR 25	03/31/2025	01-340-5100	1,625.00	.00	
Total FOOD & ALCOHOL SERVICE TRAINING INC:					1,625.00	.00	
GANZIANO SEWER & WATER, I	ELM ST FLOO	ELM STREET FLOOD CONTROL	04/30/2025	30-550-7062	109,472.22	.00	
Total GANZIANO SEWER & WATER, INC.:					109,472.22	.00	
GONSALO SAINS	04172025	SAFETY BOOTS	04/17/2025	01-340-5100	184.99	.00	

Vendor Name	Invoice Number	Description	Invoice Date	GL Account Number	Net Invoice Amt	Amount Paid	Date Paid
Total GONSALO SAINS:					184.99	.00	
GREATER WHEELING AREA CH	7207	BASIC MEMBERSHIP	01/01/2025	01-310-5310	300.00	.00	
Total GREATER WHEELING AREA CHAMBER OF COMMERC:					300.00	.00	
HIGHSTAR TRAFFIC	12605	SIGN POST POUNDER	05/05/2025	01-350-5721	3,779.00	.00	
Total HIGHSTAR TRAFFIC:					3,779.00	.00	
HOME DEPOT CREDIT SERVIC	4/28/2025 #258	NRC SUPPLY	04/28/2025	01-310-5960	170.35	.00	
HOME DEPOT CREDIT SERVIC	4/28/2025 #258	SUPPLY	04/28/2025	01-350-5710	59.81	.00	
HOME DEPOT CREDIT SERVIC	4/28/2025 #258	PW TOOLS	04/28/2025	01-350-5730	524.11	.00	
HOME DEPOT CREDIT SERVIC	4/28/2025 #258	PD KEYS FOR GUN RANGE	04/28/2025	01-350-5710	32.85	.00	
HOME DEPOT CREDIT SERVIC	4/28/2025 #258	LANDSCAPING	04/28/2025	01-350-5650	75.24	.00	
HOME DEPOT CREDIT SERVIC	4/28/2025 #258	LANDSCAPING	04/28/2025	01-350-5650	10.00	.00	
Total HOME DEPOT CREDIT SERVICES:					872.36	.00	
ILLINOIS ASSOCIATION OF CHE	19551	MEMBERSHIP JOIN - ACTIVE M	04/24/2025	01-360-5100	265.00	.00	
Total ILLINOIS ASSOCIATION OF CHEIFS OF POLICE:					265.00	.00	
ILLINOIS PUBLIC RISK FUND	93695	MAY25 WC PREMIUMS	03/17/2025	01-320-5530	13,306.00	.00	
Total ILLINOIS PUBLIC RISK FUND:					13,306.00	.00	
ILLINOIS STATE POLICE	20250306388	HEIGHTS LIQUOR CONTROL C	04/29/2025	01-320-5100	25.75	.00	
Total ILLINOIS STATE POLICE:					25.75	.00	
ILLINOIS-AMERICAN WATER C	APR 25 #5309	APR 25 700 N MILWKE	05/02/2025	13-300-5410	101.99	.00	
ILLINOIS-AMERICAN WATER C	APR 25 #5629	APR 25 401 PIPER LN	05/02/2025	01-350-5410	226.42	.00	
Total ILLINOIS-AMERICAN WATER CO.:					328.41	.00	
INNOVATIVE TELEPHONE & DA	1084893	MAY SERVICE	05/01/2025	01-350-5410	202.69	.00	
INNOVATIVE TELEPHONE & DA	1084893	MAY SERVICE	05/01/2025	01-320-5410	524.60	.00	
INNOVATIVE TELEPHONE & DA	1084893	MAY SERVICE	05/01/2025	01-360-5410	629.06	.00	
INNOVATIVE TELEPHONE & DA	1084893	MAY SERVICE	05/01/2025	51-300-5412	22.52	.00	
Total INNOVATIVE TELEPHONE & DATA SOLUTION:					1,378.87	.00	
IUOE LOCAL 150 MEMBERSHIP	04.30.25	APRIL 25 ADMIN	05/05/2025	01-000-2050	729.02	.00	
IUOE LOCAL 150 MEMBERSHIP	04.30.25	APRIL 25 MEM	05/05/2025	01-000-2050	146.76	.00	
Total IUOE LOCAL 150 MEMBERSHIP:					875.78	.00	
JEFFREY L BAUREIS	01302025	ELEC INSP JAN 2025	05/01/2025	01-340-5100	576.00	.00	
JEFFREY L BAUREIS	03252025	ELEC INSP MAR 2025	05/01/2025	01-340-5100	886.50	.00	
Total JEFFREY L BAUREIS:					1,462.50	.00	
JG UNIFORMS INC	142994	UNIFORMS O'CONNOR	02/18/2025	01-360-5741	49.95	.00	
JG UNIFORMS INC	143112	UNIFORMS SMITH	02/20/2025	01-360-5741	168.00	.00	
JG UNIFORMS INC	145158	UNIFORMS DERMAN	04/17/2025	01-360-5741	179.95	.00	
JG UNIFORMS INC	145159	UNIFORMS AMMARI	04/17/2025	01-360-5741	96.00	.00	

Vendor Name	Invoice Number	Description	Invoice Date	GL Account Number	Net Invoice Amt	Amount Paid	Date Paid
JG UNIFORMS INC	145654	NEW OFC BADGES	04/29/2025	01-360-7022	270.00	.00	
JG UNIFORMS INC	145931	REPLACEMENT PHPD PATCHE	05/02/2025	01-360-5741	590.00	.00	
JG UNIFORMS INC	146120	UNIFORMS FARINA	05/06/2025	01-360-5741	154.00	.00	
Total JG UNIFORMS INC:					1,507.90	.00	
JOE FIORITO	N/A	FIRE POLICE COMMISSION	05/02/2025	01-360-5330	394.19	.00	
Total JOE FIORITO:					394.19	.00	
JOE KRON	04282025	OVERTIME MEAL ALLOWANCE	04/28/2025	51-300-4010	20.00	.00	
Total JOE KRON:					20.00	.00	
JOSEPH CASSATA	04282025	OVERTIME MEAL ALLOWANCE	04/28/2025	51-300-4010	20.00	.00	
Total JOSEPH CASSATA:					20.00	.00	
JUST TIRES MP INC.	0000117924	SQUADS 604 & STOCK	04/30/2025	01-350-5020	891.00	.00	
JUST TIRES MP INC.	0000118049	SQUADS 603 TIRES	05/05/2025	01-350-5020	59.97	.00	
JUST TIRES MP INC.	0000118178	SQUAD 601 ALIGNMENT	05/06/2025	01-350-5020	167.39	.00	
Total JUST TIRES MP INC.:					1,118.36	.00	
KATHY BUSSERT	3176	APRIL 2025 - SPRING - NEWSLE	05/02/2025	01-320-5220	1,095.00	.00	
Total KATHY BUSSERT:					1,095.00	.00	
LANDSCAPE CONCEPTS MANA	59319	MAY 2025 LANDSCAPE MAINTENANCE	05/05/2025	13-300-5108	1,492.00	.00	
Total LANDSCAPE CONCEPTS MANAGEMENT:					1,492.00	.00	
Law Offices of John L. Fiotti	APRIL 2025	APRIL 25 ADJUDICATION	04/28/2025	01-324-5121	800.00	.00	
Total Law Offices of John L. Fiotti:					800.00	.00	
LEXISNEXIS RISK SOLUTIONS	1100137853	APRIL 2025 ACCURINT	05/05/2025	01-360-5100	221.85	.00	
Total LEXISNEXIS RISK SOLUTIONS:					221.85	.00	
MADISON NATIONAL LIFE	1692316	EMPL SUPPL LIFE MAY	04/18/2025	01-000-2030	144.00	.00	
MADISON NATIONAL LIFE	1692316	EMPLOYEE LIFE INS MAY	04/18/2025	01-350-4110	48.98	.00	
MADISON NATIONAL LIFE	1692316	EMPLOYEE LIFE INS MAY	04/18/2025	01-310-4110	7.58	.00	
MADISON NATIONAL LIFE	1692316	EMPLOYEE LIFE INS MAY	04/18/2025	01-360-4110	214.50	.00	
MADISON NATIONAL LIFE	1692316	EMPLOYEE LIFE INS MAY	04/18/2025	01-320-4110	30.94	.00	
MADISON NATIONAL LIFE	1692316	EMPLOYEE LIFE INS MAY	04/18/2025	01-340-4110	33.00	.00	
MADISON NATIONAL LIFE	1692316	EMPLOYEE LIFE INS MAY	04/18/2025	51-300-4110	10.31	.00	
Total MADISON NATIONAL LIFE:					489.31	.00	
MENARDS	50450	POLICE & PW SUPPLIES	04/28/2025	01-350-5710	40.46	.00	
Total MENARDS:					40.46	.00	
METROPOLITAN ALLIANCE OF	#252 04/2025	MAP 252 APR 25	05/05/2025	01-000-2050	720.00	.00	
METROPOLITAN ALLIANCE OF	#253 04/2025	MAP 253 APR 25	05/05/2025	01-000-2050	225.00	.00	

Vendor Name	Invoice Number	Description	Invoice Date	GL Account Number	Net Invoice Amt	Amount Paid	Date Paid
Total METROPOLITAN ALLIANCE OF POLICE:					945.00	.00	
METROPOLITAN INDUSTRIES I	INV072407	WATER DATA 04-15-25	04/28/2025	51-300-5100	258.00	.00	
Total METROPOLITAN INDUSTRIES INC:					258.00	.00	
MOE FUNDS	4008855	JUN 25 GARCIA	05/05/2025	01-350-4100	1,001.00	.00	
MOE FUNDS	4008857	JUN 25 SIARA	05/05/2025	53-300-4100	1,001.00	.00	
MOE FUNDS	4008857	JUN 25 SIARA	05/05/2025	51-300-4100	1,001.00	.00	
MOE FUNDS	4008858	JUN25 FAMILY PREM	05/05/2025	51-300-4100	1,526.50	.00	
MOE FUNDS	4008858	JUN25 FAMILY PREM	05/05/2025	53-300-4100	1,526.50	.00	
MOE FUNDS	4008858	JUN25 FAMILY PREM	05/05/2025	01-350-4100	9,159.00	.00	
Total MOE FUNDS:					15,215.00	.00	
N SUBURBAN EMPL BENEFIT C	# 4.2025M	MEDICAL INSURANCE PPO - AP	05/06/2025	51-300-4100	1,059.89	.00	
N SUBURBAN EMPL BENEFIT C	# 4.2025M	MEDICAL INSURANCE PPO - AP	05/06/2025	01-320-4100	5,956.70	.00	
N SUBURBAN EMPL BENEFIT C	# 4.2025M	MEDICAL INSURANCE PPO - AP	05/06/2025	01-310-4100	981.21	.00	
N SUBURBAN EMPL BENEFIT C	# 4.2025M	MEDICAL INSURANCE PPO - AP	05/06/2025	01-360-4100	40,003.56	.00	
N SUBURBAN EMPL BENEFIT C	# 4.2025M	MEDICAL INSURANCE PPO - AP	05/06/2025	01-350-4100	2,934.38	.00	
N SUBURBAN EMPL BENEFIT C	# 4.2025M	MEDICAL INSURANCE PPO - AP	05/06/2025	01-340-4100	3,924.84	.00	
N SUBURBAN EMPL BENEFIT C	# 4.2025M	MEDICAL INSURANCE PPO - AP	05/06/2025	01-370-4101	6,202.00	.00	
N SUBURBAN EMPL BENEFIT C	#4.2025D	APR 25 PPO DENTAL - RETIREE	05/06/2025	01-370-4101	531.00	.00	
N SUBURBAN EMPL BENEFIT C	#4.2025D	APR 25 PPO DENTAL	05/06/2025	01-340-4100	216.00	.00	
N SUBURBAN EMPL BENEFIT C	#4.2025D	APR 25 PPO DENTAL	05/06/2025	01-310-4100	54.00	.00	
N SUBURBAN EMPL BENEFIT C	#4.2025D	APR 25 PPO DENTAL	05/06/2025	51-300-4100	52.50	.00	
N SUBURBAN EMPL BENEFIT C	#4.2025D	APR 25 PPO DENTAL	05/06/2025	01-360-4100	2,225.00	.00	
N SUBURBAN EMPL BENEFIT C	#4.2025D	APR 25 PPO DENTAL	05/06/2025	01-350-4100	155.00	.00	
N SUBURBAN EMPL BENEFIT C	#4.2025D	APR 25 PPO DENTAL	05/06/2025	01-320-4100	315.50	.00	
Total N SUBURBAN EMPL BENEFIT COOP:					64,611.58	.00	
NAPA AUTO PARTS	04242025	POLICE VEHICLE STOCK PART	05/01/2025	01-350-5020	44.02	.00	
NAPA AUTO PARTS	04242025	SQUAD 613	05/01/2025	01-350-5020	19.68	.00	
NAPA AUTO PARTS	04242025	CH GENERATOR	05/01/2025	01-350-5710	392.36	.00	
NAPA AUTO PARTS	354664	VEHICLE 844	05/01/2025	01-350-5020	85.75	.00	
Total NAPA AUTO PARTS:					541.81	.00	
NICOR GAS	03.25.25-04.24	03.25.25-04.24.25 401 PIPER LN	04/24/2025	01-320-5410	439.99	.00	
NICOR GAS	03.25.25-04.24	03.25.25-04.24.25 14 E CAMP M	04/24/2025	01-320-5410	293.75	.00	
NICOR GAS	03.25.25-04.24	03.25.25-04.24.25 101 S WOLF R	04/24/2025	52-300-5410	136.03	.00	
NICOR GAS	04232025	CITY HALL 4/23/25	04/28/2025	01-320-5410	360.64	.00	
NICOR GAS	04242025	WELL HOUSE	04/29/2025	51-300-5410	211.54	.00	
Total NICOR GAS:					1,441.95	.00	
NOLAN SIARA	04282025	OVERTIME MEAL ALLOWANCE	04/28/2025	51-300-4010	20.00	.00	
Total NOLAN SIARA:					20.00	.00	
NORTHEASTERN IL REGIONAL	387	NORTHEASTERN IL REGIONAL	05/01/2025	01-360-5310	26,445.00	.00	
Total NORTHEASTERN IL REGIONAL CRIME LAB:					26,445.00	.00	
NORTHWEST MUNICIPAL CONF	11207	NWMC 2025-26 MEMBER DUES	05/05/2025	01-310-5310	8,189.58	.00	

Vendor Name	Invoice Number	Description	Invoice Date	GL Account Number	Net Invoice Amt	Amount Paid	Date Paid
Total NORTHWEST MUNICIPAL CONFERENCE:					8,189.58	.00	
PACE ANALYTICAL SERVICES	25711840	WATER TESTING	05/01/2025	51-300-5100	80.00	.00	
Total PACE ANALYTICAL SERVICES:					80.00	.00	
PETTY CASH PD	N/A	MEETINGS/NWCD/CCPA	04/29/2025	01-360-5330	170.59	.00	
PETTY CASH PD	N/A	EXP FOR PROMOS/BIRTHDAYS	04/29/2025	01-360-5710	3.00	.00	
PETTY CASH PD	N/A	OPERATING SUPPLIES	04/29/2025	01-360-5710	90.29	.00	
PETTY CASH PD	N/A	PRISONER BLANKETS, PRISON	04/29/2025	01-360-5140	110.27	.00	
Total PETTY CASH PD:					374.15	.00	
PORTER LEE CORPORATION	31631	ANNUAL BEAST SOFTWARE SU	04/29/2025	01-360-5610	1,055.00	.00	
Total PORTER LEE CORPORATION:					1,055.00	.00	
PSD Citywide Inc.	30	PW SOFTWARE LICENSE AND I	05/05/2025	01-350-7025	19,300.00	.00	
PSD Citywide Inc.	34	SOFTWARE IMPLEMENTATION	05/05/2025	01-350-7025	9,700.00	.00	
Total PSD Citywide Inc.:					29,000.00	.00	
RAY O'HERRON CO INC	2408430	UNIFORMS COLLINS	04/30/2025	01-360-5741	609.90	.00	
RAY O'HERRON CO INC	2409466	UNIFORMS TIROVOLAS	05/06/2025	01-360-5741	300.46	.00	
RAY O'HERRON CO INC	2409475	UNIFORMS PUFUNDT	05/06/2025	01-360-5741	31.14	.00	
Total RAY O'HERRON CO INC:					941.50	.00	
S D ENTERPRISES INC	04102025	MAR 25 SEWER INSPC	05/01/2025	53-300-5100	1,100.00	.00	
Total S D ENTERPRISES INC:					1,100.00	.00	
SAFEBUILT LLC	21-49B	APR 2025 PLUMBING INSP	09/27/2021	01-340-5100	1,040.12	.00	
Total SAFEBUILT LLC:					1,040.12	.00	
SEAN HEBER	04282025	OVERTIME MEAL ALLOWANCE	04/28/2025	51-300-4010	20.00	.00	
Total SEAN HEBER:					20.00	.00	
SiteOne Landscape Supply LLC	152834382-00	FERTILIZER	05/05/2025	01-350-5650	1,247.16	.00	
Total SiteOne Landscape Supply LLC:					1,247.16	.00	
SOLID WASTE AGENCY	7834	JUNE 25 FY2026 O&M COSTS	05/01/2025	17-300-5420	34,050.00	.00	
Total SOLID WASTE AGENCY:					34,050.00	.00	
SUBURBAN ACCENTS INC.	36404	SQUAD CAR LETTERING	05/02/2025	01-360-5321	125.00	.00	
Total SUBURBAN ACCENTS INC.:					125.00	.00	
THERM FLO INC.	T37806INV	CH GENERATOR REPAIR	04/24/2025	01-350-5104	6,597.00	.00	
Total THERM FLO INC.:					6,597.00	.00	
THOMPSON ELEVATOR INSPEC	25-0953	APR 25 ELEVATOR	05/01/2025	01-340-5100	172.00	.00	

Vendor Name	Invoice Number	Description	Invoice Date	GL Account Number	Net Invoice Amt	Amount Paid	Date Paid
Total THOMPSON ELEVATOR INSPECT SVC INC:					172.00	.00	
T-MOBILE	3.21.25-4.20.2	3.21.25-4.20.25 CELLPHONE	04/21/2025	01-340-7020	80.18	.00	
T-MOBILE	3.21.25-4.20.2	3.21.25-4.20.25 CELLPHONE	04/21/2025	01-320-5410	40.09	.00	
T-MOBILE	3.21.25-4.20.2	3.21.25-4.20.25 CELLPHONE	04/21/2025	01-350-5410	320.72	.00	
T-MOBILE	3.21.25-4.20.2	3.21.25-4.20.25 CELLPHONE	04/21/2025	01-360-5410	445.23	.00	
Total T-MOBILE:					886.22	.00	
Tracy Anderson	21-49B	BOND REFUND PERMIT 21-49B	05/06/2025	72-000-2310	2,032.50	.00	
Total Tracy Anderson:					2,032.50	.00	
TRIPLE CROWN PRODUCTS	384686	SAFETY HOODIES - CREW	05/05/2025	01-350-7023	201.86	.00	
TRIPLE CROWN PRODUCTS	384686	UNIFORM SHIRT ORDER	05/05/2025	01-350-5104	126.37	.00	
TRIPLE CROWN PRODUCTS	384857	PW UNIFORM SHIRTS	05/06/2025	01-350-5104	203.11	.00	
Total TRIPLE CROWN PRODUCTS:					531.34	.00	
TRUGREEN PROCESSING CEN	207515670	PARKING LOT SALT	05/01/2025	52-300-5632	475.00	.00	
Total TRUGREEN PROCESSING CENTER:					475.00	.00	
UNIFIRST CORPORATION	1320218201	PW UNIFORMS	05/01/2025	01-350-5104	163.89	.00	
UNIFIRST CORPORATION	1320219741	PW UNIFORMS	05/05/2025	01-350-5104	165.09	.00	
Total UNIFIRST CORPORATION:					328.98	.00	
US BANK NA	7722666	SERIES 2013 AGENT FEE	05/05/2025	46-300-5430	600.00	.00	
Total US BANK NA:					600.00	.00	
USPS	04302025	SPRING 2025 NEWSLETTER PO	05/01/2025	01-320-5200	1,858.74	1,858.74	05/01/2025
USPS	04302025B	PSTG INK JET-SPRING 2025 NE	05/01/2025	01-320-5200	185.26	185.26	05/01/2025
Total USPS:					2,044.00	2,044.00	
X-Grain Sportswear	320246	UNIFORM GROUP BUY	04/29/2025	01-360-7022	1,360.00	.00	
Total X-Grain Sportswear:					1,360.00	.00	
Grand Totals:					435,884.84	2,044.00	

Vendor Name	Invoice Number	Description	Invoice Date	GL Account Number	Net Invoice Amt	Amount Paid	Date Paid
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Dated: _____

Mayor: _____

City Council: _____

City Recorder: _____

Report Criteria:

- Detail report.
- Invoices with totals above \$0.00 included.
- Paid and unpaid invoices included.

GL Account and Title	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid
GENERAL FUND							
01-000-2030 WITHHOLDING INSURAN	MADISON NATIONAL LIFE	1692316	EMPL SUPPL LIFE MAY	04/18/2025	144.00	.00	
01-000-2050 UNION DUES	IUOE LOCAL 150 MEMBERSHIP	04.30.25	APRIL 25 MEM	05/05/2025	146.76	.00	
01-000-2050 UNION DUES	IUOE LOCAL 150 MEMBERSHIP	04.30.25	APRIL 25 ADMIN	05/05/2025	729.02	.00	
01-000-2050 UNION DUES	METROPOLITAN ALLIANCE OF	#252 04/2025	MAP 252 APR 25	05/05/2025	720.00	.00	
01-000-2050 UNION DUES	METROPOLITAN ALLIANCE OF	#253 04/2025	MAP 253 APR 25	05/05/2025	225.00	.00	
Total :					1,964.78	.00	
CITY COUNCIL & BOARDS							
01-310-4100 HEALTH INSURANCE	N SUBURBAN EMPL BENEFIT C	# 4.2025M	MEDICAL INSURANCE PPO - AP	05/06/2025	981.21	.00	
01-310-4100 HEALTH INSURANCE	N SUBURBAN EMPL BENEFIT C	#4.2025D	APR 25 PPO DENTAL	05/06/2025	54.00	.00	
01-310-4110 LIFE INSURANCE COUN	MADISON NATIONAL LIFE	1692316	EMPLOYEE LIFE INS MAY	04/18/2025	7.58	.00	
01-310-5100 PROFESSIONAL SERVIC	CARDMEMBER SERVICE	3/21-4/18/2025	ANNUAL FEE	04/18/2025	209.90	.00	
01-310-5310 MEMBERSHIPS	GREATER WHEELING AREA CH	7207	BASIC MEMBERSHIP	01/01/2025	300.00	.00	
01-310-5310 MEMBERSHIPS	NORTHWEST MUNICIPAL CONF	11207	NWMC 2025-26 MEMBER DUES	05/05/2025	8,189.58	.00	
01-310-5960 NRC OPERATIONS	CARDMEMBER SERVICE	3/21-4/18/2025	NCR SUPPLIES	04/18/2025	313.28	.00	
01-310-5960 NRC OPERATIONS	CARDMEMBER SERVICE	3/21-4/18/2025	NCR SUPPLIES	04/18/2025	34.98	.00	
01-310-5960 NRC OPERATIONS	CARDMEMBER SERVICE	3/21-4/18/2025	NCR SUPPLIES	04/18/2025	17.49	.00	
01-310-5960 NRC OPERATIONS	CARDMEMBER SERVICE	3/21-4/18/2025	NCR SUPPLIES	04/18/2025	29.92	.00	
01-310-5960 NRC OPERATIONS	CARDMEMBER SERVICE	3/21-4/18/2025	NCR SUPPLIES	04/18/2025	452.34	.00	
01-310-5960 NRC OPERATIONS	CARDMEMBER SERVICE	3/21-4/18/2025	NCR SUPPLIES	04/18/2025	56.20	.00	
01-310-5960 NRC OPERATIONS	HOME DEPOT CREDIT SERVIC	4/28/2025 #258	NRC SUPPLY	04/28/2025	170.35	.00	
01-310-7020 EQUIPMENT	CARDMEMBER SERVICE	3/21-4/18/2025	EQUIPMENT	04/18/2025	16.98	.00	
01-310-7020 EQUIPMENT	CARDMEMBER SERVICE	3/21-4/18/2025	AV SUPPLIES	04/18/2025	173.06	.00	
Total CITY COUNCIL & BOARDS:					11,006.87	.00	
ADMINISTRATION							
01-320-4100 HEALTH INSURANCE	N SUBURBAN EMPL BENEFIT C	# 4.2025M	MEDICAL INSURANCE PPO - AP	05/06/2025	5,956.70	.00	
01-320-4100 HEALTH INSURANCE	N SUBURBAN EMPL BENEFIT C	#4.2025D	APR 25 PPO DENTAL	05/06/2025	315.50	.00	
01-320-4110 LIFE INSURANCE	MADISON NATIONAL LIFE	1692316	EMPLOYEE LIFE INS MAY	04/18/2025	30.94	.00	
01-320-5100 PROFESSIONAL SERVIC	ILLINOIS STATE POLICE	20250306388	HEIGHTS LIQUOR CONTROL C	04/29/2025	25.75	.00	
01-320-5130 COMPUTER CONSULTAN	DEKIND COMPUTER CONSULT	41813	JUNE 25 IT CONSULT	05/01/2025	704.92	.00	
01-320-5130 COMPUTER CONSULTAN	DEKIND COMPUTER CONSULT	41969	APR 25 TRIP CHARGES	05/01/2025	120.00	.00	
01-320-5130 COMPUTER CONSULTAN	DEKIND COMPUTER CONSULT	41992	ADMIN WIFI	05/06/2025	858.60	.00	
01-320-5220 PHOTOCOPY	KATHY BUSSERT	3176	APRIL 2025 - SPRING - NEWSLE	05/02/2025	1,095.00	.00	
01-320-5222 LEGAL NOTICES	DAILY HERALD	332816	BUDGET HEARING NOTICE	04/21/2025	43.20	.00	
01-320-5410 UTILITIES	CARDMEMBER SERVICE	3/21-4/18/2025	MAR-APR25 CH COMCAST	04/18/2025	216.90	.00	
01-320-5410 UTILITIES	CARDMEMBER SERVICE	3/21-4/18/2025	FEB25ATT	04/18/2025	642.98	.00	

GL Account and Title	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid
01-320-5410 UTILITIES	INNOVATIVE TELEPHONE & DA	1084893	MAY SERVICE	05/01/2025	524.60	.00	
01-320-5410 UTILITIES	NICOR GAS	03.25.25-04.24	03.25.25-04.24.25 401 PIPER LN	04/24/2025	439.99	.00	
01-320-5410 UTILITIES	NICOR GAS	03.25.25-04.24	03.25.25-04.24.25 14 E CAMP M	04/24/2025	293.75	.00	
01-320-5410 UTILITIES	NICOR GAS	04232025	CITY HALL 4/23/25	04/28/2025	360.64	.00	
01-320-5410 UTILITIES	T-MOBILE	3.21.25-4.20.2	3.21.25-4.20.25 CELLPHONE	04/21/2025	40.09	.00	
01-320-5530 WORKERS COMPENSATI	ILLINOIS PUBLIC RISK FUND	93695	MAY25 WC PREMIUMS	03/17/2025	13,306.00	.00	
01-320-5700 OFFICE SUPPLIES	ALLEGRA MARKETING	105644	WINDOW ENVELOPES	04/28/2025	332.19	.00	
01-320-5700 OFFICE SUPPLIES	CARDMEMBER SERVICE	3/21-4/18/2025	COFFEE FOR PD,PW, ADMIN	04/18/2025	60.34	.00	
01-320-7020 EQUIPMENT	CARDMEMBER SERVICE	3/21-4/18/2025	SAFETY GRANT SUPPLIES	04/18/2025	440.86	.00	
01-320-7020 EQUIPMENT	CARDMEMBER SERVICE	3/21-4/18/2025	SAFETY GRANT SUPPLIES	04/18/2025	519.99	.00	
01-320-7020 EQUIPMENT	CARDMEMBER SERVICE	3/21-4/18/2025	SAFETY GRANT SUPPLIES	04/18/2025	290.98	.00	
Total ADMINISTRATION:					26,619.92	.00	
LEGAL							
01-324-5121 ADJUDICATION ATTORN	Law Offices of John L. Fioti	APRIL 2025	APRIL 25 ADJUDICATION	04/28/2025	800.00	.00	
01-324-5123 LABOR ATTORNEY	AKERMAN LLP	10070401	SERVICES	04/21/2025	24,297.00	.00	
01-324-5123 LABOR ATTORNEY	AKERMAN LLP	10070401	DISBURSEMENTS	04/21/2025	33.33	.00	
01-324-5123 LABOR ATTORNEY	AKERMAN LLP	10070402	MAP 253 NEGOTIATIONS	04/21/2025	4,368.00	.00	
Total LEGAL:					29,498.33	.00	
BUILDING DEPARTMENT							
01-340-4100 HEALTH INSURANCE	N SUBURBAN EMPL BENEFIT C	# 4.2025M	MEDICAL INSURANCE PPO - AP	05/06/2025	3,924.84	.00	
01-340-4100 HEALTH INSURANCE	N SUBURBAN EMPL BENEFIT C	#4.2025D	APR 25 PPO DENTAL	05/06/2025	216.00	.00	
01-340-4110 LIFE INSURANCE	MADISON NATIONAL LIFE	1692316	EMPLOYEE LIFE INS MAY	04/18/2025	33.00	.00	
01-340-5100 PROFESSIONAL SERVIC	ANDREW HART	04142025	SAFETY BOOTS	05/01/2025	314.99	.00	
01-340-5100 PROFESSIONAL SERVIC	ANDREW HART	05042025	APR 25 PHONE REIMBURSEME	05/05/2025	50.00	.00	
01-340-5100 PROFESSIONAL SERVIC	FOOD & ALCOHOL SERVICE TR	2025-6	HEALTH INSP MAR 25	03/31/2025	1,625.00	.00	
01-340-5100 PROFESSIONAL SERVIC	GONSALO SAINS	04172025	SAFETY BOOTS	04/17/2025	184.99	.00	
01-340-5100 PROFESSIONAL SERVIC	JEFFREY L BAUREIS	01302025	ELEC INSP JAN 2025	05/01/2025	576.00	.00	
01-340-5100 PROFESSIONAL SERVIC	JEFFREY L BAUREIS	03252025	ELEC INSP MAR 2025	05/01/2025	886.50	.00	
01-340-5100 PROFESSIONAL SERVIC	SAFEBUILT LLC	21-49B	APR 2025 PLUMBING INSP	09/27/2021	1,040.12	.00	
01-340-5100 PROFESSIONAL SERVIC	THOMPSON ELEVATOR INSPEC	25-0953	APR 25 ELEVATOR	05/01/2025	172.00	.00	
01-340-5330 TRAINING	CARDMEMBER SERVICE	3/21-4/18/2025	TRAINING CODE	04/18/2025	935.00	.00	
01-340-7020 EQUIPMENT	CANON FINANCIAL SERVICES	40461772	MAY 25 CH COPIER	05/02/2025	198.97	.00	
01-340-7020 EQUIPMENT	DEKIND COMPUTER CONSULT	41907	BUILDING PRINTER	04/30/2025	713.99	.00	
01-340-7020 EQUIPMENT	T-MOBILE	3.21.25-4.20.2	3.21.25-4.20.25 CELLPHONE	04/21/2025	80.18	.00	
Total BUILDING DEPARTMENT:					10,951.58	.00	

GL Account and Title	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid
PUBLIC WORKS							
01-350-4100 HEALTH INSURANCE	MOE FUNDS	4008855	JUN 25 GARCIA	05/05/2025	1,001.00	.00	
01-350-4100 HEALTH INSURANCE	MOE FUNDS	4008858	JUN25 FAMILY PREM	05/05/2025	9,159.00	.00	
01-350-4100 HEALTH INSURANCE	N SUBURBAN EMPL BENEFIT C	# 4.2025M	MEDICAL INSURANCE PPO - AP	05/06/2025	2,934.38	.00	
01-350-4100 HEALTH INSURANCE	N SUBURBAN EMPL BENEFIT C	#4.2025D	APR 25 PPO DENTAL	05/06/2025	155.00	.00	
01-350-4110 LIFE INSURANCE	MADISON NATIONAL LIFE	1692316	EMPLOYEE LIFE INS MAY	04/18/2025	48.98	.00	
01-350-5020 VEHICLE MAINTENANCE	ALPHA PRIME COMMUNICATIO	120236	PD RADIO EQUIP	04/24/2025	1,010.00	.00	
01-350-5020 VEHICLE MAINTENANCE	CARDMEMBER SERVICE	3/21-4/18/2025	FLOOR LINER	04/18/2025	130.95	.00	
01-350-5020 VEHICLE MAINTENANCE	CPS ELK GROVE VILLAGE	40V0032049	SQUAD 844	05/05/2025	122.35	.00	
01-350-5020 VEHICLE MAINTENANCE	JUST TIRES MP INC.	0000117924	SQUADS 604 & STOCK	04/30/2025	891.00	.00	
01-350-5020 VEHICLE MAINTENANCE	JUST TIRES MP INC.	0000118049	SQUADS 603 TIRES	05/05/2025	59.97	.00	
01-350-5020 VEHICLE MAINTENANCE	JUST TIRES MP INC.	0000118178	SQUAD 601 ALIGNMENT	05/06/2025	167.39	.00	
01-350-5020 VEHICLE MAINTENANCE	NAPA AUTO PARTS	04242025	POLICE VEHICLE STOCK PART	05/01/2025	44.02	.00	
01-350-5020 VEHICLE MAINTENANCE	NAPA AUTO PARTS	04242025	SQUAD 613	05/01/2025	19.68	.00	
01-350-5020 VEHICLE MAINTENANCE	NAPA AUTO PARTS	354664	VEHICLE 844	05/01/2025	85.75	.00	
01-350-5031 SIGNAL MAINTENANCE	COOK COUNTY DEPT OF TRAN	2025-1	SIGNAL MAINT 11.02.24-03.31.2	04/29/2025	1,445.00	.00	
01-350-5100 PROFESSIONAL SERVIC	DEKIND COMPUTER CONSULT	41813	JUNE 25 IT CONSULT	05/01/2025	704.92	.00	
01-350-5104 PROF SERVICES - BUILD	AMERI-SHINE INC.	2nd Quarter 20	GYM PD CLEANING	05/05/2025	400.00	.00	
01-350-5104 PROF SERVICES - BUILD	CHI-TOWN CLEANING SERVICE	25-0163	CUSTODIAL APRIL 25	05/05/2025	1,220.90	.00	
01-350-5104 PROF SERVICES - BUILD	THERM FLO INC.	T37806INV	CH GENERATOR REPAIR	04/24/2025	6,597.00	.00	
01-350-5104 PROF SERVICES - BUILD	TRIPLE CROWN PRODUCTS	384686	UNIFORM SHIRT ORDER	05/05/2025	126.37	.00	
01-350-5104 PROF SERVICES - BUILD	TRIPLE CROWN PRODUCTS	384857	PW UNIFORM SHIRTS	05/06/2025	203.11	.00	
01-350-5104 PROF SERVICES - BUILD	UNIFIRST CORPORATION	1320218201	PW UNIFORMS	05/01/2025	163.89	.00	
01-350-5104 PROF SERVICES - BUILD	UNIFIRST CORPORATION	1320219741	PW UNIFORMS	05/05/2025	165.09	.00	
01-350-5410 UTILITIES	CARDMEMBER SERVICE	3/21-4/18/2025	PW DATA 3/6/25	04/18/2025	216.35	.00	
01-350-5410 UTILITIES	CARDMEMBER SERVICE	3/21-4/18/2025	FEB25ATT	04/18/2025	197.82	.00	
01-350-5410 UTILITIES	ILLINOIS-AMERICAN WATER C	APR 25 #5629	APR 25 401 PIPER LN	05/02/2025	226.42	.00	
01-350-5410 UTILITIES	INNOVATIVE TELEPHONE & DA	1084893	MAY SERVICE	05/01/2025	202.69	.00	
01-350-5410 UTILITIES	T-MOBILE	3.21.25-4.20.2	3.21.25-4.20.25 CELLPHONE	04/21/2025	320.72	.00	
01-350-5411 WATER AND ELECTRIC P	CONSTELLATION NEWENERGY	70523640001	0 COR EUCLID 3.18-4.17.25	04/28/2025	325.55	.00	
01-350-5411 WATER AND ELECTRIC P	CONSTELLATION NEWENERGY	70523640001	US RT 45 RT 3.18-4.17.25	04/28/2025	594.28	.00	
01-350-5411 WATER AND ELECTRIC P	CONSTELLATION NEWENERGY	70523640001	711 ELM 3.5-4.4.25	04/28/2025	312.73	.00	
01-350-5650 LANDSCAPE SUPPLIES	DES PLAINES MATERIAL & SUP	7440	LANDSCAPE DIRT	05/01/2025	82.00	.00	
01-350-5650 LANDSCAPE SUPPLIES	HOME DEPOT CREDIT SERVIC	4/28/2025 #258	LANDSCAPING	04/28/2025	75.24	.00	
01-350-5650 LANDSCAPE SUPPLIES	HOME DEPOT CREDIT SERVIC	4/28/2025 #258	LANDSCAPING	04/28/2025	10.00	.00	
01-350-5650 LANDSCAPE SUPPLIES	SiteOne Landscape Supply LLC	152834382-00	FERTILIZER	05/05/2025	1,247.16	.00	
01-350-5700 OFFICE SUPPLIES	CARDMEMBER SERVICE	3/21-4/18/2025	COFFEE FOR PD,PW, ADMIN	04/18/2025	60.35	.00	
01-350-5700 OFFICE SUPPLIES	CARDMEMBER SERVICE	3/21-4/18/2025	LABELS	04/18/2025	97.72	.00	
01-350-5710 OPERATING SUPPLIES	CARDMEMBER SERVICE	3/21-4/18/2025	PW TV	04/18/2025	748.00	.00	
01-350-5710 OPERATING SUPPLIES	CARDMEMBER SERVICE	3/21-4/18/2025	PW FURNITURE	04/18/2025	78.00	.00	
01-350-5710 OPERATING SUPPLIES	CARDMEMBER SERVICE	3/21-4/18/2025	PD WALL BOARD	04/18/2025	17.99	.00	

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01-350-5710 OPERATING SUPPLIES	CARDMEMBER SERVICE	3/21-4/18/2025	PW SUPPLY	04/18/2025	52.91	.00	
01-350-5710 OPERATING SUPPLIES	CARDMEMBER SERVICE	3/21-4/18/2025	PRINTER INK	04/18/2025	745.34	.00	
01-350-5710 OPERATING SUPPLIES	CARDMEMBER SERVICE	3/21-4/18/2025	PD GATE ARM	04/18/2025	188.99	.00	
01-350-5710 OPERATING SUPPLIES	CARDMEMBER SERVICE	3/21-4/18/2025	PW SUPPLY	04/18/2025	194.95	.00	
01-350-5710 OPERATING SUPPLIES	CARDMEMBER SERVICE	3/21-4/18/2025	CH SIGNS	04/18/2025	572.02	.00	
01-350-5710 OPERATING SUPPLIES	HOME DEPOT CREDIT SERVIC	4/28/2025 #258	PD KEYS FOR GUN RANGE	04/28/2025	32.85	.00	
01-350-5710 OPERATING SUPPLIES	HOME DEPOT CREDIT SERVIC	4/28/2025 #258	SUPPLY	04/28/2025	59.81	.00	
01-350-5710 OPERATING SUPPLIES	MENARDS	50450	POLICE & PW SUPPLIES	04/28/2025	40.46	.00	
01-350-5710 OPERATING SUPPLIES	NAPA AUTO PARTS	04242025	CH GENERATOR	05/01/2025	392.36	.00	
01-350-5721 SIGNS	HIGHSTAR TRAFFIC	12605	SIGN POST POUNDER	05/05/2025	3,779.00	.00	
01-350-5730 TOOLS	HOME DEPOT CREDIT SERVIC	4/28/2025 #258	PW TOOLS	04/28/2025	524.11	.00	
01-350-5751 GASOLINE	CONSERV FS INC.	101032269	FUEL 04.30.25	05/05/2025	3,130.30	.00	
01-350-7023 SAFETY EQUIPMENT	TRIPLE CROWN PRODUCTS	384686	SAFETY HOODIES - CREW	05/05/2025	201.86	.00	
01-350-7025 SOFTWARE	CARDMEMBER SERVICE	3/21-4/18/2025	ICLOUD	04/18/2025	.99	.00	
01-350-7025 SOFTWARE	PSD Citywide Inc.	30	PW SOFTWARE LICENSE AND I	05/05/2025	19,300.00	.00	
01-350-7025 SOFTWARE	PSD Citywide Inc.	34	SOFTWARE IMPLEMENTATION	05/05/2025	9,700.00	.00	
Total PUBLIC WORKS:					70,584.72	.00	
PUBLIC SAFETY							
01-360-4100 HEALTH INSURANCE	N SUBURBAN EMPL BENEFIT C	# 4.2025M	MEDICAL INSURANCE PPO - AP	05/06/2025	40,003.56	.00	
01-360-4100 HEALTH INSURANCE	N SUBURBAN EMPL BENEFIT C	#4.2025D	APR 25 PPO DENTAL	05/06/2025	2,225.00	.00	
01-360-4110 LIFE INSURANCE	MADISON NATIONAL LIFE	1692316	EMPLOYEE LIFE INS MAY	04/18/2025	214.50	.00	
01-360-5100 PROFESSIONAL SERVIC	DACRA Adjudication System	DT 2025-04-08	DACRA MONTHLY SERVICE FE	05/06/2025	1,500.00	.00	
01-360-5100 PROFESSIONAL SERVIC	DEKIND COMPUTER CONSULT	41813	JUNE 25 IT CONSULT	05/01/2025	1,644.83	.00	
01-360-5100 PROFESSIONAL SERVIC	DEKIND COMPUTER CONSULT	41992	PD FIREWALL & WIFI	05/06/2025	16,779.88	.00	
01-360-5100 PROFESSIONAL SERVIC	ILLINOIS ASSOCIATION OF CHE	19551	MEMBERSHIP JOIN - ACTIVE M	04/24/2025	265.00	.00	
01-360-5100 PROFESSIONAL SERVIC	LEXISNEXIS RISK SOLUTIONS	1100137853	APRIL 2025 ACCURINT	05/05/2025	221.85	.00	
01-360-5140 PRISONERS CARE	PETTY CASH PD	N/A	PRISONER BLANKETS, PRISON	04/29/2025	110.27	.00	
01-360-5221 PRINTING	CARDMEMBER SERVICE	3/21-4/18/2025	CITATION ENVELOPES	04/18/2025	224.94	.00	
01-360-5310 MEMBERSHIPS	CARDMEMBER SERVICE	3/21-4/18/2025	IACP MEMBERSHIP	04/18/2025	220.00	.00	
01-360-5310 MEMBERSHIPS	NORTHEASTERN IL REGIONAL	387	NORTHEASTERN IL REGIONAL	05/01/2025	26,445.00	.00	
01-360-5321 AUTO EXPENSE	SUBURBAN ACCENTS INC.	36404	SQUAD CAR LETTERING	05/02/2025	125.00	.00	
01-360-5330 TRAINING	JOE FIORITO	N/A	FIRE POLICE COMMISSION	05/02/2025	394.19	.00	
01-360-5330 TRAINING	PETTY CASH PD	N/A	MEETINGS/NWCD/CCPA	04/29/2025	170.59	.00	
01-360-5410 UTILITIES	CARDMEMBER SERVICE	3/21-4/18/2025	MAR25 COMCAST PD	04/18/2025	324.17	.00	
01-360-5410 UTILITIES	CARDMEMBER SERVICE	3/21-4/18/2025	FEB25ATT	04/18/2025	197.82	.00	
01-360-5410 UTILITIES	INNOVATIVE TELEPHONE & DA	1084893	MAY SERVICE	05/01/2025	629.06	.00	
01-360-5410 UTILITIES	T-MOBILE	3.21.25-4.20.2	3.21.25-4.20.25 CELLPHONE	04/21/2025	445.23	.00	
01-360-5610 EQUIPMENT MAINTENAN	AMERI-SHINE INC.	2nd Qtr	PD CARPET CLEANING	05/05/2025	250.00	.00	
01-360-5610 EQUIPMENT MAINTENAN	PORTER LEE CORPORATION	31631	ANNUAL BEAST SOFTWARE SU	04/29/2025	1,055.00	.00	

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01-360-5700 OFFICE SUPPLIES	CARDMEMBER SERVICE	3/21-4/18/2025	COFFEE FOR PD,PW, ADMIN	04/18/2025	60.34	.00	
01-360-5700 OFFICE SUPPLIES	CARDMEMBER SERVICE	3/21-4/18/2025	OFFICE SUPPLIES	04/18/2025	27.52	.00	
01-360-5700 OFFICE SUPPLIES	CARDMEMBER SERVICE	3/21-4/18/2025	OFFICE SUPPLIES	04/18/2025	26.50	.00	
01-360-5710 OPERATING SUPPLIES	CARDMEMBER SERVICE	3/21-4/18/2025	SWEARING IN	04/18/2025	31.57	.00	
01-360-5710 OPERATING SUPPLIES	PETTY CASH PD	N/A	EXP FOR PROMOS/BIRTHDAYS	04/29/2025	3.00	.00	
01-360-5710 OPERATING SUPPLIES	PETTY CASH PD	N/A	OPERATING SUPPLIES	04/29/2025	90.29	.00	
01-360-5741 CLOTHING	COLLEEN ZITKUS	N/A	UNIFORM REIMBURSEMENT	04/29/2025	115.37	.00	
01-360-5741 CLOTHING	JG UNIFORMS INC	142994	UNIFORMS O'CONNOR	02/18/2025	49.95	.00	
01-360-5741 CLOTHING	JG UNIFORMS INC	143112	UNIFORMS SMITH	02/20/2025	168.00	.00	
01-360-5741 CLOTHING	JG UNIFORMS INC	145158	UNIFORMS DERMAN	04/17/2025	179.95	.00	
01-360-5741 CLOTHING	JG UNIFORMS INC	145159	UNIFORMS AMMARI	04/17/2025	96.00	.00	
01-360-5741 CLOTHING	JG UNIFORMS INC	145931	REPLACEMENT PHPD PATCHE	05/02/2025	590.00	.00	
01-360-5741 CLOTHING	JG UNIFORMS INC	146120	UNIFORMS FARINA	05/06/2025	154.00	.00	
01-360-5741 CLOTHING	RAY O'HERRON CO INC	2408430	UNIFORMS COLLINS	04/30/2025	609.90	.00	
01-360-5741 CLOTHING	RAY O'HERRON CO INC	2409466	UNIFORMS TIROVOLAS	05/06/2025	300.46	.00	
01-360-5741 CLOTHING	RAY O'HERRON CO INC	2409475	UNIFORMS PUFUNDT	05/06/2025	31.14	.00	
01-360-7022 POLICE - SMALL EQUIPM	CARDMEMBER SERVICE	3/21-4/18/2025	POLICE SMALL EQUIP	04/18/2025	56.76	.00	
01-360-7022 POLICE - SMALL EQUIPM	CARDMEMBER SERVICE	3/21-4/18/2025	POLICE SMALL EQUIP	04/18/2025	547.99	.00	
01-360-7022 POLICE - SMALL EQUIPM	CARDMEMBER SERVICE	3/21-4/18/2025	POLICE SMALL EQUIP	04/18/2025	70.32	.00	
01-360-7022 POLICE - SMALL EQUIPM	CARDMEMBER SERVICE	3/21-4/18/2025	POLICE SMALL EQUIP	04/18/2025	3,524.38	.00	
01-360-7022 POLICE - SMALL EQUIPM	CARDMEMBER SERVICE	3/21-4/18/2025	SMALL EQUIP	04/18/2025	43.65	.00	
01-360-7022 POLICE - SMALL EQUIPM	CARDMEMBER SERVICE	3/21-4/18/2025	FTO PINS	04/18/2025	57.84	.00	
01-360-7022 POLICE - SMALL EQUIPM	CARDMEMBER SERVICE	3/21-4/18/2025	SMALL EQUIPMENT	04/18/2025	58.97	.00	
01-360-7022 POLICE - SMALL EQUIPM	JG UNIFORMS INC	145654	NEW OFC BADGES	04/29/2025	270.00	.00	
01-360-7022 POLICE - SMALL EQUIPM	X-Grain Sportswear	320246	UNIFORM GROUP BUY	04/29/2025	1,360.00	.00	
Total PUBLIC SAFETY:					101,969.79	.00	
PUBLIC SAFETY-SPECIAL ACCT EXP							
01-365-5983 SEIZED ASSET - EXPENS	CARDMEMBER SERVICE	3/21-4/18/2025	INVESTIGATION EQUIP	04/18/2025	93.09	.00	
Total PUBLIC SAFETY-SPECIAL ACCT EXP:					93.09	.00	
REIMBURSABLE EXP							
01-370-4101 RETIREE HEALTH INSUR	N SUBURBAN EMPL BENEFIT C	# 4.2025M	MEDICAL INSURANCE PPO - AP	05/06/2025	6,202.00	.00	
01-370-4101 RETIREE HEALTH INSUR	N SUBURBAN EMPL BENEFIT C	#4.2025D	APR 25 PPO DENTAL - RETIREE	05/06/2025	531.00	.00	
Total REIMBURSABLE EXP:					6,733.00	.00	
Total GENERAL FUND:					259,422.08	.00	

GL Account and Title	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid
TOURISM DISTRICT EXPENSES							
13-300-5108 BEAUTIFICATION	LANDSCAPE CONCEPTS MANA	59319	MAY 2025 LANDSCAPE MAINTENANCE	05/05/2025	1,492.00	.00	
13-300-5410 UTILITIES	ILLINOIS-AMERICAN WATER CO	APR 25 #5309	APR 25 700 N MILWAUKEE	05/02/2025	101.99	.00	
Total EXPENSES:					1,593.99	.00	
Total TOURISM DISTRICT:					1,593.99	.00	

GL Account and Title	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid
SOLID WASTE DISPOSAL FUND EXPENSES							
17-300-5420 SWANCC CHARGES	SOLID WASTE AGENCY	7834	JUNE 25 FY2026 O&M COSTS	05/01/2025	34,050.00	.00	
Total EXPENSES:					34,050.00	.00	
Total SOLID WASTE DISPOSAL FUND:					34,050.00	.00	

GL Account and Title	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid
SSA #5							
EXPENSES							
25-300-5050 SYSTEM MAINTENANCE	CONSTELLATION NEWENERGY	70523640001	900 E OLD WILLOW 3.14-4.15.25	04/28/2025	110.42	.00	
Total EXPENSES:					110.42	.00	
Total SSA #5:					110.42	.00	

GL Account and Title	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid
CAPITAL IMPROVEMENTS							
30-550-7062 STORMWATER PROJECT	GANZIANO SEWER & WATER, I	ELM ST FLOO	ELM STREET FLOOD CONTROL	04/30/2025	109,472.22	.00	
Total :					109,472.22	.00	
Total CAPITAL IMPROVEMENTS:					109,472.22	.00	

GL Account and Title	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid
SSA #6 DEBT EXPENSES							
46-300-5430 BANK FEES	US BANK NA	7722666	SERIES 2013 AGENT FEE	05/05/2025	600.00	.00	
Total EXPENSES:					600.00	.00	
Total SSA #6 DEBT:					600.00	.00	

GL Account and Title	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid
WATER FUND							
EXPENSES							
51-300-4010 OVERTIME	ADAM BIONDO	04282025	MEAL ALLOWANCE PER CONT	04/28/2025	20.00	.00	
51-300-4010 OVERTIME	ALEK MENDEZ	04282025	OVERTIME MEAL ALLOWANCE	04/28/2025	20.00	.00	
51-300-4010 OVERTIME	JOE KRON	04282025	OVERTIME MEAL ALLOWANCE	04/28/2025	20.00	.00	
51-300-4010 OVERTIME	JOSEPH CASSATA	04282025	OVERTIME MEAL ALLOWANCE	04/28/2025	20.00	.00	
51-300-4010 OVERTIME	NOLAN SIARA	04282025	OVERTIME MEAL ALLOWANCE	04/28/2025	20.00	.00	
51-300-4010 OVERTIME	SEAN HEBER	04282025	OVERTIME MEAL ALLOWANCE	04/28/2025	20.00	.00	
51-300-4100 HEALTH INSURANCE	MOE FUNDS	4008857	JUN 25 SIARA	05/05/2025	1,001.00	.00	
51-300-4100 HEALTH INSURANCE	MOE FUNDS	4008858	JUN25 FAMILY PREM	05/05/2025	1,526.50	.00	
51-300-4100 HEALTH INSURANCE	N SUBURBAN EMPL BENEFIT C	# 4.2025M	MEDICAL INSURANCE PPO - AP	05/06/2025	1,059.89	.00	
51-300-4100 HEALTH INSURANCE	N SUBURBAN EMPL BENEFIT C	#4.2025D	APR 25 PPO DENTAL	05/06/2025	52.50	.00	
51-300-4110 LIFE INSURANCE	MADISON NATIONAL LIFE	1692316	EMPLOYEE LIFE INS MAY	04/18/2025	10.31	.00	
51-300-5100 PROFESSIONAL SERVIC	DEKIND COMPUTER CONSULT	41813	JUNE 25 IT CONSULT	05/01/2025	704.93	.00	
51-300-5100 PROFESSIONAL SERVIC	METROPOLITAN INDUSTRIES I	INV072407	WATER DATA 04-15-25	04/28/2025	258.00	.00	
51-300-5100 PROFESSIONAL SERVIC	PACE ANALYTICAL SERVICES	25711840	WATER TESTING	05/01/2025	80.00	.00	
51-300-5330 TRAINING	CARDMEMBER SERVICE	3/21-4/18/2025	WATERCON TRAINING	04/18/2025	444.74	.00	
51-300-5330 TRAINING	CARDMEMBER SERVICE	3/21-4/18/2025	WATERCON TRAINING	04/18/2025	444.74	.00	
51-300-5410 UTILITIES	CARDMEMBER SERVICE	3/21-4/18/2025	FEB25ATT	04/18/2025	610.00	.00	
51-300-5410 UTILITIES	CONSTELLATION NEWENERGY	70523640001	801 E CAMP MCDLD 3.5-4.4.25	04/28/2025	2,477.55	.00	
51-300-5410 UTILITIES	NICOR GAS	04242025	WELL HOUSE	04/29/2025	211.54	.00	
51-300-5412 WATER	INNOVATIVE TELEPHONE & DA	1084893	MAY SERVICE	05/01/2025	22.52	.00	
51-300-5634 STONE AND CONCRETE	DES PLAINES MATERIAL & SUP	6107	WATER MAIN DUMP	04/25/2025	95.00	.00	
51-300-5634 STONE AND CONCRETE	DES PLAINES MATERIAL & SUP	6162	WATER MAIN DUMP	04/25/2025	322.50	.00	
51-300-5634 STONE AND CONCRETE	DES PLAINES MATERIAL & SUP	6176	WATER MAIN SUPPLIES & MAT	04/25/2025	586.02	.00	
51-300-5634 STONE AND CONCRETE	DES PLAINES MATERIAL & SUP	6714	STORM PIPE REPAIR	04/28/2025	302.75	.00	
51-300-5634 STONE AND CONCRETE	DES PLAINES MATERIAL & SUP	6742	STORM PIPE REPAIR	04/29/2025	172.75	.00	
51-300-5634 STONE AND CONCRETE	DES PLAINES MATERIAL & SUP	6804	STORM PIPE REPAIR	04/29/2025	172.75	.00	
51-300-5634 STONE AND CONCRETE	DES PLAINES MATERIAL & SUP	7438	STORM PIPE REPAIR	05/01/2025	428.25	.00	
51-300-5634 STONE AND CONCRETE	DES PLAINES MATERIAL & SUP	8561	STORM PIPE REPAIR	05/06/2025	417.25	.00	
Total EXPENSES:					11,521.49	.00	
Total WATER FUND:					11,521.49	.00	

GL Account and Title	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid
PARKING FUND							
EXPENSES							
52-300-5410 UTILITIES	CARDMEMBER SERVICE	3/21-4/18/2025	COMCAST 101 N WOLF	04/18/2025	171.35	.00	
52-300-5410 UTILITIES	NICOR GAS	03.25.25-04.24	03.25.25-04.24.25 101 S WOLF R	04/24/2025	136.03	.00	
52-300-5632 ICE CONTROL MAINTEN	TRUGREEN PROCESSING CEN	207515670	PARKING LOT SALT	05/01/2025	475.00	.00	
Total EXPENSES:					782.38	.00	
Total PARKING FUND:					782.38	.00	

GL Account and Title	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid
SANITARY SEWER FUND							
REVENUES							
53-100-3884 SANITARY SEWER CHAR	Doreen Perkins	05.01.25	REFUND OVRPYMNT #7072900	05/05/2025	636.96	.00	
Total REVENUES:					636.96	.00	
EXPENSES							
53-300-4100 HEALTH INSURANCE	MOE FUNDS	4008857	JUN 25 SIARA	05/05/2025	1,001.00	.00	
53-300-4100 HEALTH INSURANCE	MOE FUNDS	4008858	JUN25 FAMILY PREM	05/05/2025	1,526.50	.00	
53-300-5100 PROFESSIONAL SERVIC	DEKIND COMPUTER CONSULT	41813	JUNE 25 IT CONSULT	05/01/2025	939.90	.00	
53-300-5100 PROFESSIONAL SERVIC	S D ENTERPRISES INC	04102025	MAR 25 SEWER INSPC	05/01/2025	1,100.00	.00	
Total EXPENSES:					4,567.40	.00	
Total SANITARY SEWER FUND:					5,204.36	.00	

GL Account and Title	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid
ROAD & BUILDING BOND ESCROW							
72-000-2310 DEPOSIT ROAD/BUILDE	Classic Plumbing of Illinois	21-315B	BOND REFUND 21-315B	05/06/2025	1,500.00	.00	
72-000-2310 DEPOSIT ROAD/BUILDE	Classic Plumbing of Illinois	21-517B	BOND REFUND 21-517B	05/06/2025	7,551.40	.00	
72-000-2310 DEPOSIT ROAD/BUILDE	Tracy Anderson	21-49B	BOND REFUND PERMIT 21-49B	05/06/2025	2,032.50	.00	
Total :					11,083.90	.00	
Total ROAD & BUILDING BOND ESCROW:					11,083.90	.00	
Grand Totals:					433,840.84	.00	

GL Account and Title	Net Invoice Amount	Amount Paid	Date Paid
GENERAL FUND			
Total GENERAL FUND:	261,466.08	2,044.00	
TOURISM DISTRICT			
Total TOURISM DISTRICT:	1,593.99	.00	
SOLID WASTE DISPOSAL FUND			
Total SOLID WASTE DISPOSAL FUND:	34,050.00	.00	
SSA #5			
Total SSA #5:	110.42	.00	
CAPITAL IMPROVEMENTS			
Total CAPITAL IMPROVEMENTS:	109,472.22	.00	
SSA #6 DEBT			
Total SSA #6 DEBT:	600.00	.00	
WATER FUND			
Total WATER FUND:	11,521.49	.00	
PARKING FUND			
Total PARKING FUND:	782.38	.00	
SANITARY SEWER FUND			
Total SANITARY SEWER FUND:	5,204.36	.00	
ROAD & BUILDING BOND ESCROW			
Total ROAD & BUILDING BOND ESCROW:	11,083.90	.00	
Grand Totals:	435,884.84	2,044.00	